

**Historic building recording of a mid-
20th century industrial building at
Trafalgar Street & Wellington Street,
Sheffield**



View of the industrial building from the south west.

ARS Ltd Report 2020/126

August 2020 (Updated June 2021)

OASIS ID: archaeo15 - 402798

Compiled by:
George Nuth

Archaeological Research Services Ltd
Unit 2
Aizlewood's Mill
Nursery Street
Sheffield
S3 8GG

Checked By:
Robin Holgate MCIfA

Tel: 0114 275 0140

admin@archaeologicalresearchservices.com
www.archaeologicalresearchservices.com



**ARCHAEOLOGICAL
RESEARCH SERVICES LTD**
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Historic building recording of a mid-20th century industrial building at Trafalgar Street and Wellington Street, Sheffield

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Unit 2, Aizlewood's Mill, Nursery Street, Sheffield, S3 8GG

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Prepared on behalf of: Code Students Ltd

Date of compilation: August 2020 (Updated June 2021)

Compiled by: George Nuth

Checked by: Robin Holgate MCifA

Planning Reference: 19/03779/FUL (formerly PP_08216410)

Local Authority: Sheffield City Council

Site central NGR: SK 35003, 86916

EXECUTIVE SUMMARY

In August 2020 Archaeological Research Services Ltd was commissioned by Code Students Ltd (the client) to undertake a historic building recording of a mid-20th century industrial building at Trafalgar Street and Wellington Street, Sheffield. The building was probably originally constructed as a distribution warehouse attached to the former printing works that was situated to the north east of the site. This building is the south western corner of the proposed development area, facing onto Trafalgar Street. The remaining buildings within the PDA consist of a modern office building (to the north), and a garage/workshop (to the east). The historic building recording was required to assist in discharging condition 5 of the planning permission (19/03779/FUL) granted by Sheffield City Council for the demolition of all of the existing structures on site and the erection of a mixed use building up to 12/17/38 storeys to form residential units with ancillary amenities including gymnasium, cinema, common rooms and raised external deck, associated cycle and bin storage and ground floor retail unit (Use Class A1).

The surviving industrial building that is the subject of this report is situated on the south western end of the development site. It is the oldest surviving building on the site. A study of 20th century mapping and aerial imagery suggests this building was constructed between 1937 and 1950. It was labelled as a garage on the 1950s Ordnance Survey but it is not clear whether this was its intended function. Any fabric indicative of its use as part of the printing works has since been stripped out, most likely as a result of the building being cleared to make space for car parking.

The historic building recording provides an analytical description and a photographic record of the former industrial building on-site at Trafalgar Street, Sheffield at the time and provides a comprehensive preservation by record of the building prior to development works taking place.

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1 INTRODUCTION

1.1 Archaeological Research Services Ltd (ARS Ltd) was commissioned by Code Students Ltd (the client) to undertake a historic building recording of a mid-20th century industrial building at Trafalgar Street and Wellington Street, Sheffield. This building was likely originally constructed as a distribution warehouse attached to a former printing works that was situated to the north east of the site.

1.2 The historic building recording was required to assist in discharging condition 5 of the planning permission (19/03779/FUL) granted by Sheffield City Council for the demolition of all of the existing structures within the wider site at Wellington Street and the erection of a mixed use building up to 12/17/38 storeys to form residential units with ancillary amenities including gymnasium, cinema, common rooms and raised external deck, associated cycle and bin storage and ground floor retail unit (Use Class A1).

1.3 In consultation with Dinah Saich, Principal Archaeologist of South Yorkshire Archaeology Service (SYAS), it was agreed that a Level 2 historic building recording of the extant industrial building within the site should be undertaken – as outlined in the Historic England (HE)'s *Understanding Historic Buildings. A Guide to Good Recording Practice* (2016) – in advance of demolition works. This approach is supported by the *National Planning Policy Framework* (NPPF) paragraph 199 (MHCLG 2019, 56), 'to record and enhance understanding of the significance of any heritage assets to be lost during the proposed development in a manner proportionate to their importance, and to make this evidence (and any archive generated) publically accessible.'

1.4 The on-site historic building recording work was carried out by George Nuth (BA Hons, MA) of ARS Ltd working to the Chartered Institute for Archaeologists' (CIfA) *Code of Conduct* (CIfA 2019) and *Standard and Guidance for archaeological investigation and recording of standing buildings or structures* (CIfA 2020).

2 SITE LOCATION AND GEOLOGY

2.1 The 'red line boundary' of the wider proposed development area (hereafter 'PDA') is depicted by a red polygon on Figure 1 and is c.0.37ha (3,746m²) in area. The wider PDA is oriented south-east to north-west, and bounded to the east by Rockingham Street, by Wellington Street to the north, by Trafalgar Street to the west and by an industrial building and its associated car park to the south. Within the larger PDA, Wellington House and the former South Yorkshire Housing Association (SYHA) offices line Wellington Street, while the SYHA buildings continue down Trafalgar Street. Two former industrial buildings line the southern boundary of the PDA with the rest of the site comprising of car parking.

2.2 The site of the assessment is depicted by a light blue polygon on Figures 1 and 2, is located within the south-western corner of the PDA and comprises an area of c.400m² and is the location of a single mid-20th century industrial building fronting onto Trafalgar Street. The building occupies a level plot of land at c.79m above Ordnance Datum (aOD) and is centred at NGR SK 35003, 86916 (Figures 1 and 2).

2.3 The underlying solid geology of the PDA comprises Mudstone and Siltstone of the Pennine Lower Coal Measures Formation, and this is overlain by a superficial deposit of Alluvium – Gravel, Sand, Silt and Clay (BGS 2019). The soils of the PDA are recorded as slowly permeable, seasonably wet, acidic, loamy and clayey soils (CU 2020).

3 AIMS AND OBJECTIVES

3.1 The overarching aim of the project was to carry out a Level 2 photographic and written report of the building in question, off Trafalgar Street, Sheffield, as outlined in Historic England's *Understanding Historic Buildings. A Guide to Good Recording Practice* (HE 2016).

3.2 The building recording aimed to produce the following.

- ◆ A formal description of the building on the site, its architectural plans, elevations, roof structure, flooring, internal layout and spaces, detailing, form, fabric, and evidence for phasing and development. The descriptive account will include all associated buildings, structures and spaces within the grounds.
- ◆ A photographic record comprising black & white and colour slide photography supplemented by digital photography with photographic scales, with all photographs descriptively captioned and cross referenced to a plan, plans and/or elevations clearly showing the viewing position, direction and photographic image reference.
- ◆ An appropriate historic context account for the buildings to outline their historic significance.

3.3 A full account of specific objectives is provided within a Written Scheme of Investigation (WSI) prepared by ARS Ltd (Appendix 5).

4 METHODOLOGY

4.1 A historic building recording of the structure, broadly equating to Historic England Level 2 standard (HE 2016), was carried out in August 2020. The recording was conducted in line with the WSI (Appendix 5) that was approved by SYAS's Principal Archaeologist prior to the commencement of work. The Level 2 survey provides a descriptive record of this structure and the recording consists of a written, drawn and photographic account comprising the following.

- ◆ The written record provides the precise location of the building together with any statutory and non-statutory designations, the date of the survey, and the location of the archive. It also includes a descriptive account of the building's form, function, and phasing, together with a summary of the names of its architects, builders, patrons and owners, if known.
- ◆ The photographic record includes all external elevations, general views of the building in its setting. Detail photographs of internal fixtures and fittings are also provided where relevant. The photographic record consists of 35mm black and white film and colour slide photography of elements where colour

was deemed to be an important aspect of the record. This was supplemented by high resolution colour digital photography at 7 megapixel minimum in order to illustrate the report, but this does not form part of the formal site archive. All photographs contain a graduated photographic scale, where practicable. A photographic register detailing (as a minimum) location and direction of each shot was compiled, and this is included as Appendix 3 of this report. The location and direction of each photograph have also been noted on plans of the building to accompany the archival photographs (Appendix 2).

4.2 The fieldwork was undertaken in accordance with the guidelines outlined in Historic England's *Understanding Historic Buildings – A Guide to Good Recording Practice* (HE 2016), ClfA's *Code of Conduct* (ClfA 2019) and *Standard and Guidance for archaeological investigation and recording of standing buildings or structures* (ClfA 2020).

5 HISTORICAL BACKGROUND

5.1 An archaeological desk-based assessment was produced by University of Leicester Archaeological Services (ULAS) which provides a detailed account of the archaeological and historical development and significance of the wider site (Hunt 2019). A brief overview of this is given below, with a focus upon the history of the surviving industrial building, supplemented with information obtained during recent archival research.

5.2 Early maps of the area, such as Gosling's 1736 *Plan of Sheffield*, Fairbank's 1771 *A Correct Plan of the Town of Sheffield* and W. & J. Fairbank's 1808 *Map of the Town and Environs of Sheffield*, do not depict the PDA as a whole in any detail (Hunt 2019, 17). The earliest cartographic evidence to show structures within the site boundary is Tayler's 1832 *Map of the town and environs of Sheffield* which illustrates the full length of the major surrounding streets, including Wellington Street, Rockingham Street, and Trafalgar Street to the north, east and west respectively. This plan is also the first to depict buildings fronting Trafalgar Street, though due to the scale of the map, it is not possible to determine if these structures extend into the site boundary of interest.

5.3 The 1853 Ordnance Survey (OS) is the first plan to show extensive building works as having taken place within the wider PDA, with a Methodist Reformers' Chapel ('Mount Tabor') now present at the junction of Wellington and Rockingham Streets in the north-eastern corner of the PDA. A small steel works, ('The Foundling Works'), is depicted just to the south of this, fronting Rockingham Street. The remaining Wellington Street and Trafalgar Street frontages within the wider side boundary appear to be occupied by back-to-back terraced housing with associated outbuildings and courtyards.

5.4 Both the 1890 OS and the 1896/1905 *Good Fire Insurance Plan of Sheffield* provide more detail of the site as a whole at the end of the 19th/beginning of the 20th century. These plans note that the current site is the location of a row of 3-storey back-to-back terraced houses fronting Trafalgar Street (nos. 99-103 odd), with the remaining dwellings within the site boundary comprising three 3-storey dwellings

(nos. 6-8), and six 2-2½ storey dwellings (nos. 1-6) of Court No.5, Trafalgar Street. Within various areas of the courtyard itself are a single 2-storey workshop and a series of smaller, 1-storey outbuildings (Hunt 2019, 22). The 1901 census indicates that during this period, 48 people were living within the 11 residential dwellings within the small site boundary.

5.5 Towards the end of the 19th century and into the 20th century, the introduction of the Public Health Acts resulted in the improvement of the cityscape as a whole, with many areas designed as ‘slums’ being demolished, and some 25,000 new houses built between the first and second World Wars (Hunt 2019, 13). In 1935, under the Housing Acts 1925-1930, the Trafalgar Street frontage and Court 5 buildings were included within ‘Clearance Areas No.151-161’, with the site itself a part of area 157a (Sheffield Archive CA491/4). Aerial photograph from 1937 (EPW055244) indicates that the houses indicated on the 1890 OS and 1905 GOAD plan are still extant, with additional photos, taken by the Estates Surveyors Office during the late 1930s to document the site conditions, also showing the site as still extant (u02494; u02496). Based on these latter photographs, and similar photographs held by Picture Sheffield, it would appear that the site was cleared during the mid-late part of 1939.

5.6 Aerial photographs from 1950 (EAW031257) and 1952 (EAW042506), and the 1952/54 OS plan indicate that by the mid-20th century, all the structures identified within the earlier clearance area plans have been demolished. The former site of Nos.99-103 (odd) Trafalgar Street and Court No.5 are now the site of a single industrial building, labelled as ‘garage’, which is the focus of this historic building recording.

5.7 Archival research has not identified if this garage structure was associated with any of the neighbouring works (e.g. Embassy Works and Mount Tabor Works to the east and Britain’s Tool Factory to the south). Trade directories dating between 1930-1960 that have been consulted do not record any entries for structures at the junction of Wellington Street and Trafalgar Street to Nos. 105/107 Trafalgar Street, the site of James Bros. (Engineers) Ltd, south of the PDA boundary.

5.8 Historic mapping and Google Earth aerial imagery consulted from the mid-20th century to present day indicate that the overall footprint of the single ‘garage’ structure within the site boundary has remained unchanged since then.

6 BUILDING DESCRIPTION

6.1 The surviving industrial building (Plates 1-3) is situated in the south western corner of the PDA. It is a single storey structure of red brick in an English Garden Wall bond and is covered with a roof of corrugated asbestos. In the centre of the roof is a large raised portion of roof, which was used to provide additional lighting and ventilation. This building was most likely originally constructed as a distribution warehouse that was attached to the former printing works that was situated to the north east of the PDA. To the north of this building is a large office block that looks out onto Wellington Street. Immediately next to the industrial building is a small brick built electrical substation.



Plate 1: View of the building from the south west, facing north east. Scale 1m.



Plate 2: View of the building from the north west, facing south east. Scale 1m.



Plate 3: View of the north western side of the building, facing south. The building to the right is the modern office block that is abutting the earlier industrial building.

Exterior

6.2 The south west facing front elevation (Plate 4) contains a number of apertures. At ground level is a large central goods entrance, within which is large rolling shuttered doorway. This is covered with a large concrete lintel. To the left of this is a smaller, wooden personnel doorway with a much narrower concrete lintel. The central doorway is bounded on either side by two large windows that are slightly raised. These are both of 12 lights with the central 6 panes hinged, creating a hopper style window. In the centre, directly above the large central doorway is a smaller, fixed light window of 9 lights. All of these windows are covered with large concrete lintels; the two larger windows also have concrete sills. In the gable is a round window with brick voussoirs (Plate 5).



Plate 4: The south west facing elevation, facing north east. Scale 1m.



Plate 5: The round window in the apex of the south east facing elevation, facing north west.

6.3 The north west facing elevation (Plates 6-11) is being abutted by the large grey brick office block (formerly occupied by the South Yorkshire Housing Association) on its south western end, obscuring that part of the wall. This elevation looks into the enclosed courtyard area that is accessed by means of a gateway from Trafalgar Street on the south eastern side of the PDA. In the centre of this elevation is another large goods entrance covered with a steel I-beam lintel (Plate 8). To the right of this is another steel beam set into the wall, most likely for support or as a means of repair. This beam has been split from another that continues to the south west behind the grey brick wall by a pillar of brick infill (Plate 9). This most likely defines a former buttress that is now lost. On the north eastern end of this elevation is another, much smaller, wooden doorway with a wooden lintel. An external skin of brickwork is visible from the north eastern corner of this building (Plate 11). This was most likely added to support the north eastern elevation as it is peculiar in shape.

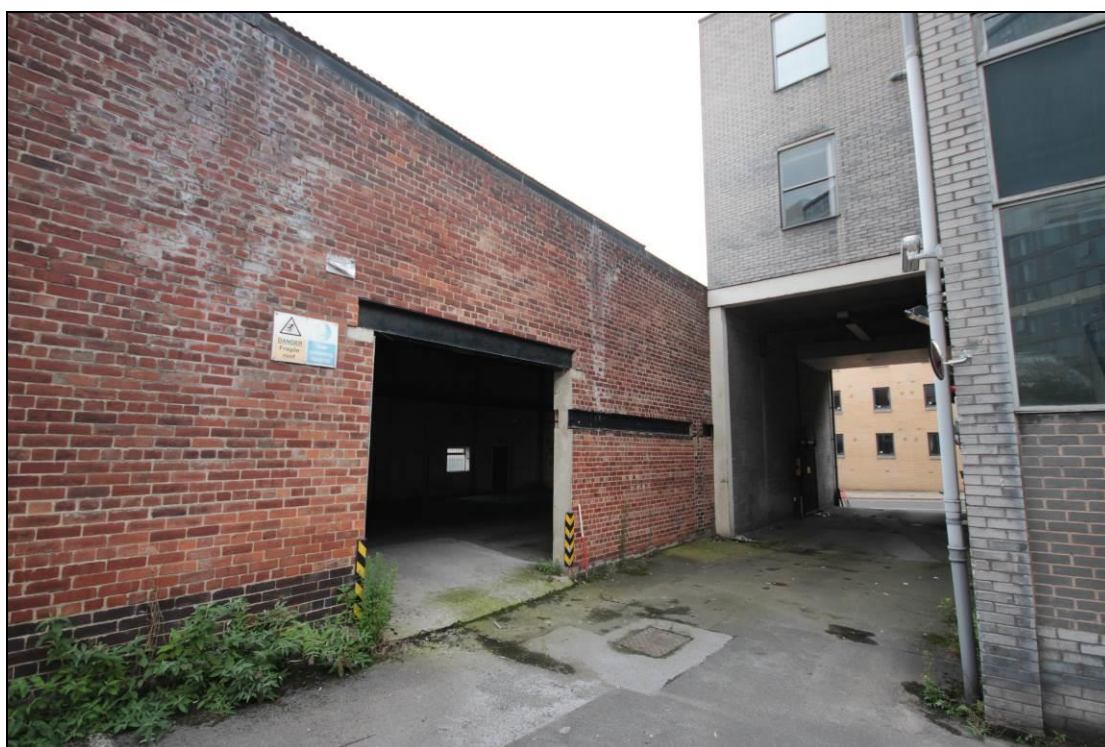


Plate 6: The western end of the north western elevation, facing south west. Scale 1m.



Plate 7: The eastern end of the north western elevation, facing south east. Scale 1m.



Plate 8: The large goods entrance in the north western elevation, facing south east. Scale 1m.



Plate 9: The feature situated to the right of the large goods entrance in the north western elevation, facing south east. Scale 1m.

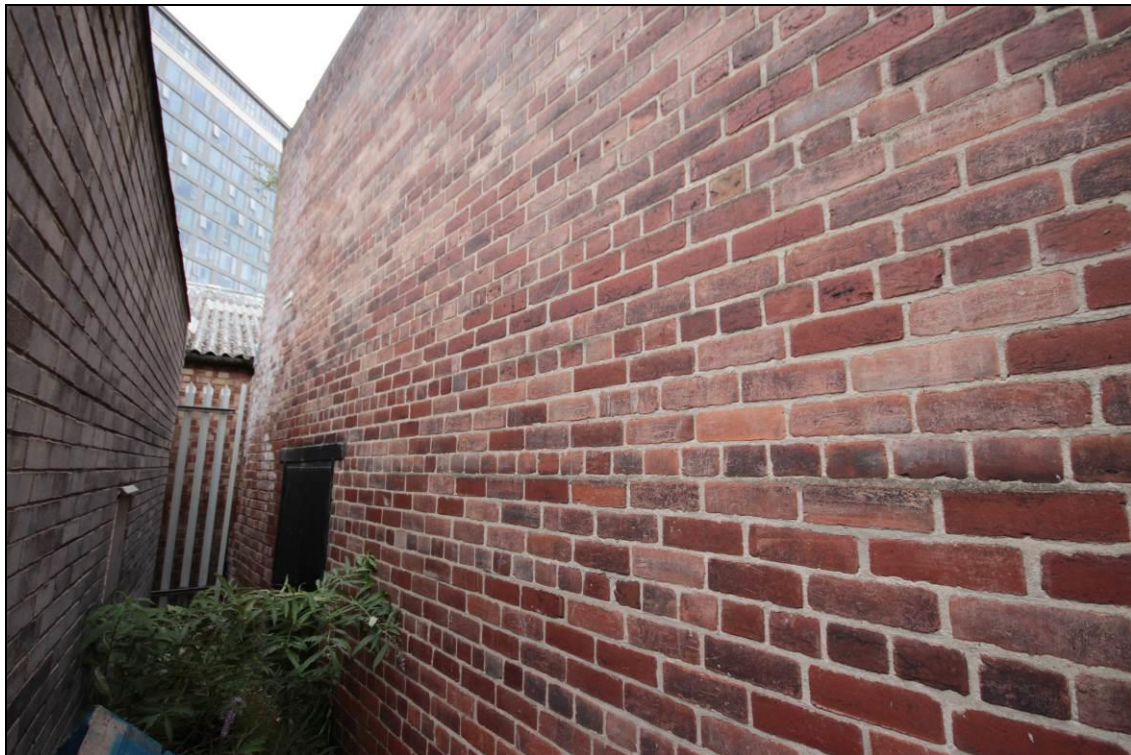


Plate 10: The far eastern end of the north western elevation, facing north east. The brick building to the left is the electrical substation.

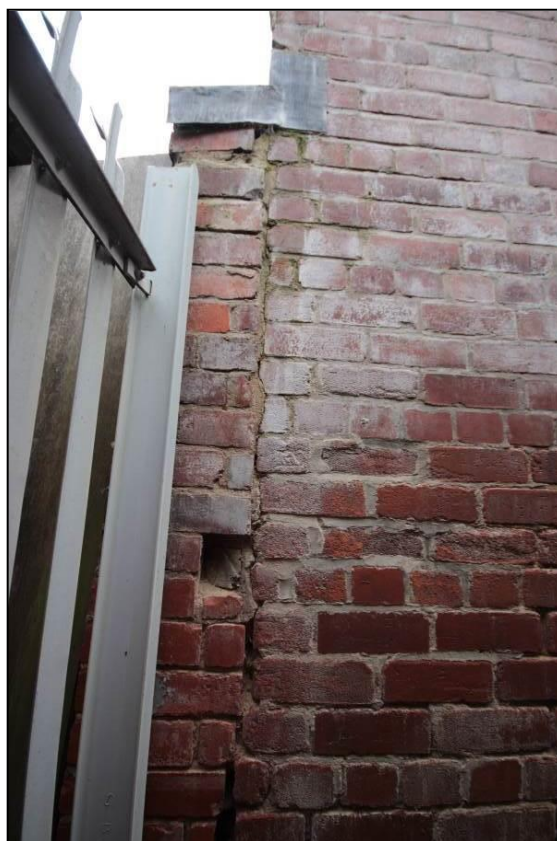


Plate 11: The outer skin of brick built up to the north eastern elevation, visible from the western corner of the north western elevation. Facing south east.

6.4 The south eastern elevation is only accessible by means of entering a neighboring car park to the south and was therefore unavailable for surveying.

Interior

6.5 The interior of this building (Plates 12-25) is relatively featureless. The floor here is covered with level concrete that mostly seems to be original. Upon this are white painted lines, indicating a former use as a car park. On the south western end two lines of brick in the floor leading from each side of the large doorway most likely indicate a former access ramp (Plate 14). This part of the floor has also been levelled. The walls in this space have been whitewashed and painted in some areas. Along both the north western and south eastern walls are a series of brick buttresses. The north eastern wall is of an odd shape, being curved (Plates 21 & 21). This is most likely respecting a land boundary behind the wall, or a former building. Within this curved wall, just below the apex, is a raised window. The north eastern end contains a series of large metal ventilation ducts. The roof structure is also visible internally (Plate 25), this consists of a number of large steel trusses carrying the corrugated asbestos roof.



Plate 12: General view of the interior of the building, facing north east.



Plate 13: General view of the interior of the building, facing south west.



Plate 14: The south western internal wall, facing south west. Scale 1m. Note the brickwork on the floor to the right of this photograph. This may define an earlier access ramp.



Plate 15: The far western end of the north western internal wall, facing north west. Scale 1m.



Plate 16: The centre of the north western internal wall, to the left of the door, facing north west. Scale 1m.

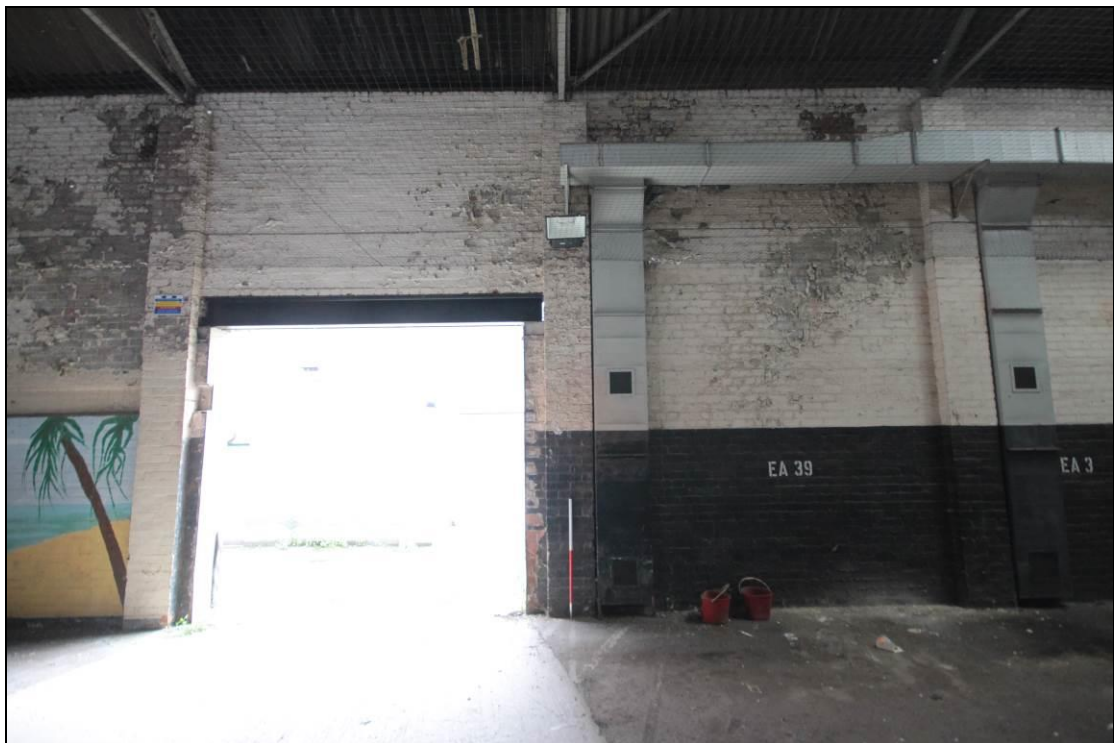


Plate 17: The centre of the north western internal wall, to the right of the door, facing north west. Scale 1m.



Plate 18: The eastern end of the north western internal wall, facing north west. Scale 1m.



Plate 19: The doorway in the eastern end of the north western wall, facing north west.



Plate 20: The north eastern wall, facing north east. Scale 1m.



Plate 21: A different view of the north eastern wall showing the curve, facing north. Scale 1m.



Plate 22: The eastern end of the south eastern wall, facing south east. Scale 1m.

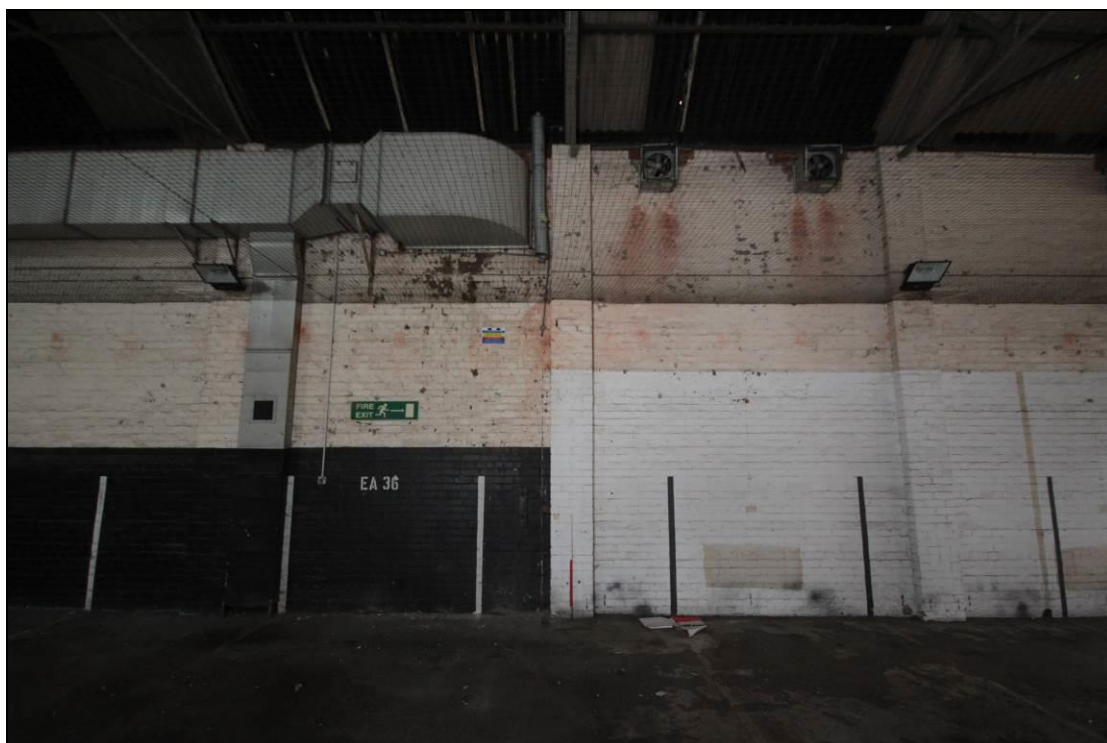


Plate 23: The centre of the south eastern wall, facing south east. Scale 1m.



Plate 24: The western end of the south eastern wall, facing south east. Scale 1m.



Plate 25: The roof structure of the building, facing south west.

7 DISCUSSION AND CONCLUSIONS

7.1 The surviving industrial building that is the subject of this report is situated on the south western end of the wider development site. It is the oldest surviving building on the site. A study of 20th century mapping, photographs, aerial imagery and trade directories suggests that this building had been erected by 1950. The workers' cottages that formerly occupied this part of the site were still extant in an aerial photograph from 1937 and street photographs from 1939 suggesting that the building in question was constructed between 1939 and 1950. It would have been built when this site was occupied by the Mount Tabor Printing Works in the north-eastern part of the site and the former foundry (at this time part of the Embassy Silverware and Cutlery Works) in the south-eastern part of the site (Hunt 2019, 22). The building also abutted what had been an electroplate works located to the immediate south of the PDA, although it is not clear whether this works was still in use at the time of construction.

7.2 The 1952/54 OS plan is the first to show this building and it is labelled as a 'garage' on this map. It is possible that the building had been constructed as a garage although it is also possible that the building's original use had been relatively short-lived and that it had become a garage by the 1950s. This map shows an open piece of land on the northern side of the building, also seen on the 1950s' aerial photographs, which appears to be a small yard area. There are no access doors connecting the building with any of the surrounding structures, which may support the theory that it was built for an independent business rather than as an addition to one of the existing nearby businesses. Any fabric indicative of its use has since been stripped out, most likely as a result of the building being cleared to make space for car parking.

7.3 The historic building recording provides an analytical description and a photographic record of the former industrial building on-site at Trafalgar Street, Sheffield at the time and provides a comprehensive preservation by record of the building prior to development works taking place.

8 PUBLICITY, CONFIDENTIALITY AND COPYRIGHT

8.1 Any publicity will be handled by the client.

8.2 Archaeological Research Services Ltd will retain the copyright of all documentary and photographic material under the Copyright, Designs and Patent Act (1988).

9 STATEMENT OF INDEMNITY

9.1 All statements and opinions contained within this report arising from the works undertaken are offered in good faith and compiled according to professional standards. No responsibility can be accepted by the author/s of the report for any errors of fact or opinion resulting from data supplied by any third party, or for loss or other consequence arising from decisions or actions made upon the basis of facts or opinions expressed in any such report(s), howsoever such facts and opinions may have been derived.

10 ARCHIVES

10.1 A digital and paper archive has been prepared by ARS Ltd. The paper archive, consisting of all primary written documents, plans, elevations, sections and photographs, and the digital archive, consisting of the final project report in PDF/A format, will be deposited at Sheffield Archives. An OASIS form has been completed and is included as Appendix 4 of this report. A digital copy of the final report will also be uploaded to OASIS.

11 ACKNOWLEDGEMENTS

11.1 ARS Ltd would like to thank Chris May of Howes Percival LLP for commissioning the historic building recording on behalf of CODE Student Accommodation Vikki Porter of CODE Student Accommodation for arranging access to the site; and Dinah Saich, Principal Archaeologist of South Yorkshire Archaeological Service, for her advice and for both approving the WSI and providing further information about the site.

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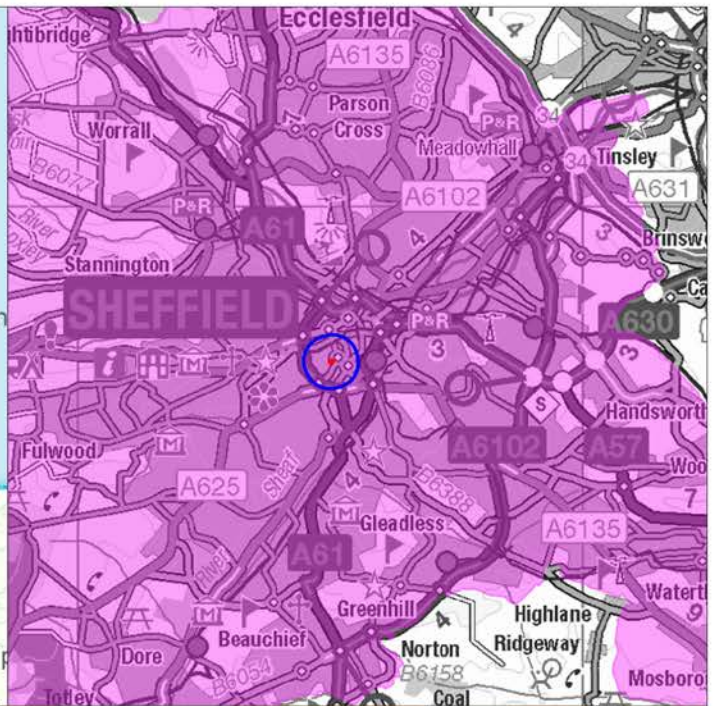
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APPENDIX 1: FIGURES



Site name: Wellington Street, Sheffield
 Date: June 2021
 Drawn by: MB
 Scale: Varies

**Figure 1:
 Site location**



Archaeological Research Services Ltd

Unit 2
 Aizewood's Mill
 Nursery Street
 Sheffield
 South Yorkshire
 S3 8GG



ARCHAEOLOGICAL
 RESEARCH SERVICES LTD
 Diligentia in Rebus

Tel: 0114 275 0140

www.archaeologicalresearchservices.com

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 Site Boundary

 Sheffield City Council

 Building Recording Area

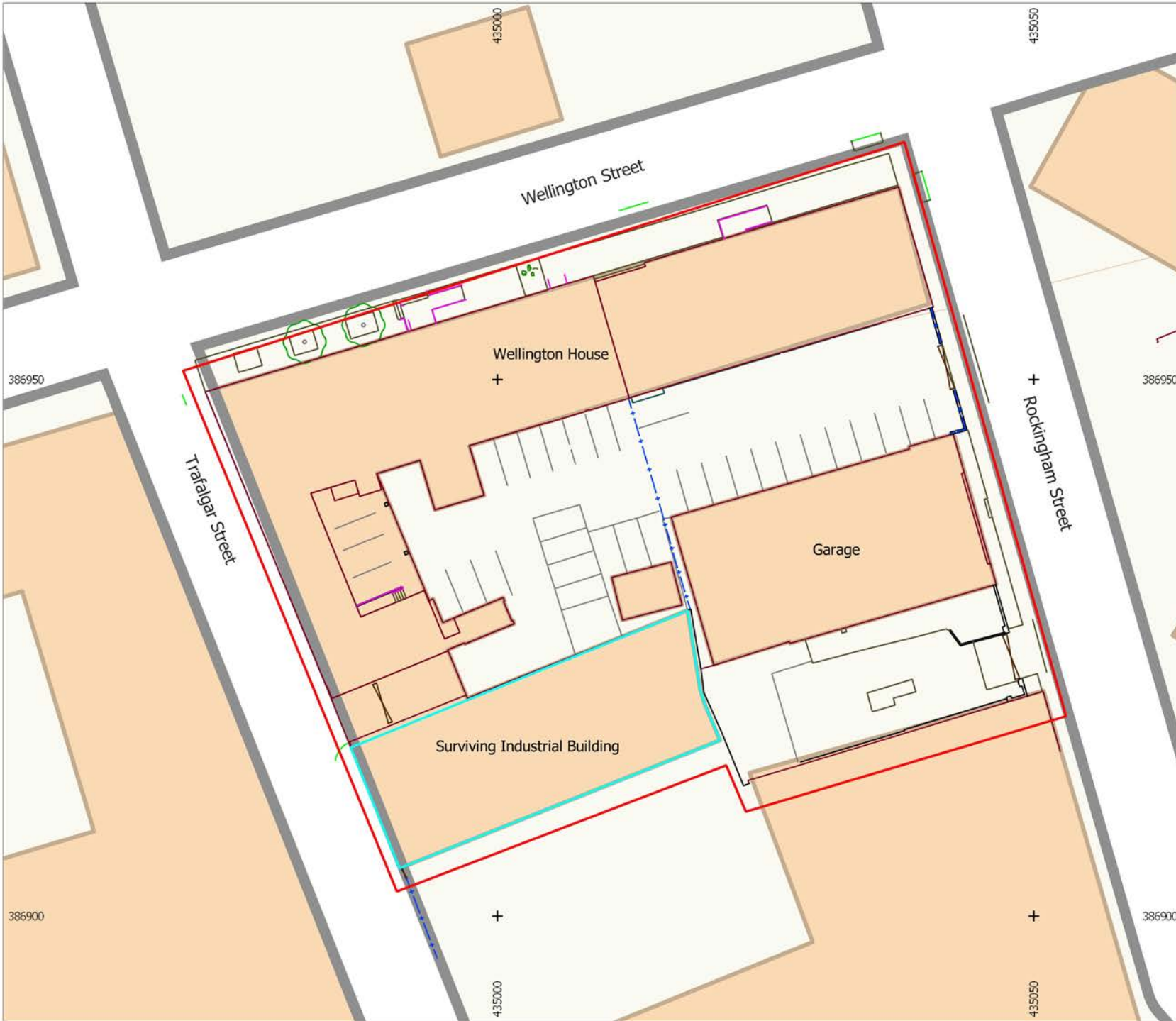
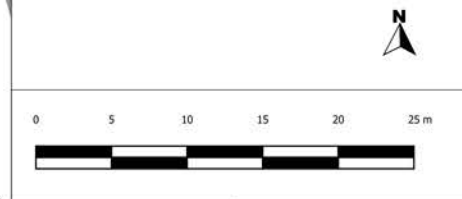


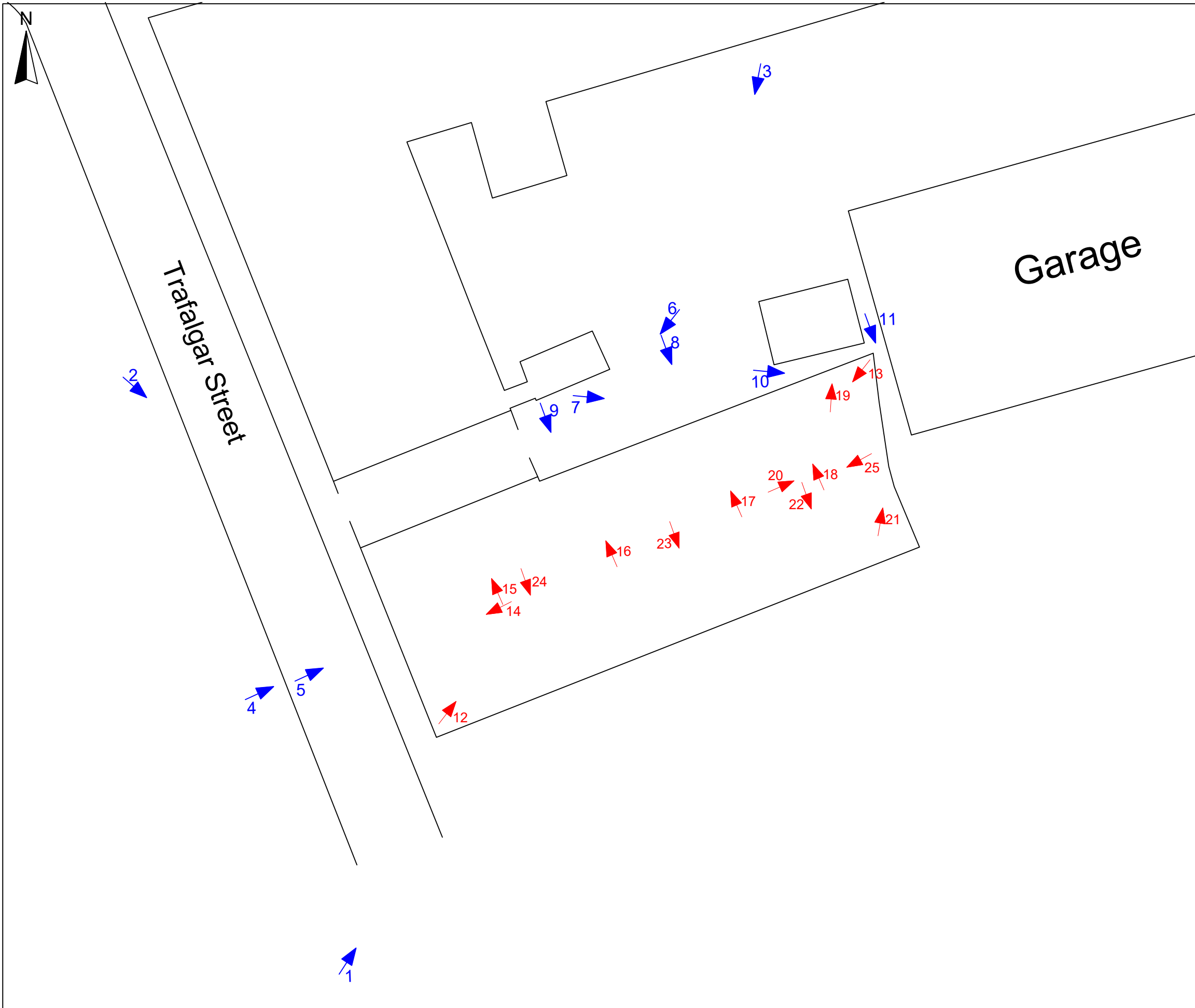
Figure 2: Site Plan

- Site Boundary
- Historic Building Recording Building



Site name: Wellington Street, Sheffield Date: June 2021 Drawn by: MB Scale: 1:500 @ A4	Archaeological Research Services Ltd Unit 2 Ashwood's Hill Nursery Street Sheffield S3 8GG  Tel: 0114 2750140 www.archaeologicalresearchservices.com
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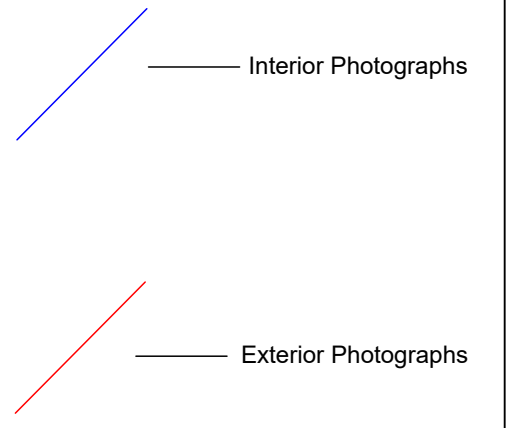
APPENDIX 2: PLANS



Site Name: Wellington Street, Sheffield
 Date: 02/09/2020
 Drawn by: GN
 Scale: N/A

Title: Digital photographic location plan of the site.

Key:

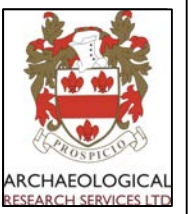


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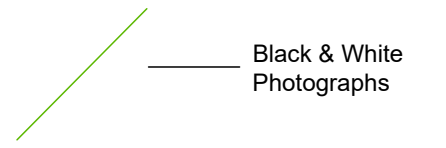
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Site Name: Wellington Street, Sheffield
 Date: 02/09/2020
 Drawn by: GN
 Scale: N/A

Title: Black and white film photographic location plan of the site.

Key:

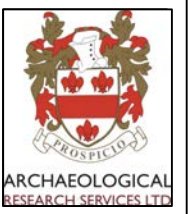


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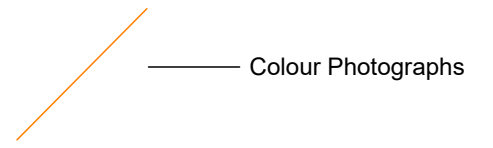
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Site Name: Wellington Street, Sheffield
 Date: 02/09/2020
 Drawn by: GN
 Scale: N/A

Title: Colour film photographic location plan of the site.

Key:



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 DE45 1HB



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APPENDIX 3: PHOTOGRAPHIC REGISTERS

SITE NAME: Wellington Street, Sheffield, South Yorkshire				NGR: SK 35016 86946	
Format	Digital	Photographer	GN	Date	09-2020
Plate	Description				Direction
1	View of the building from the south west, facing north east. Scale 1m.				NE
2	View of the building from the north west, facing south east. Scale 1m.				SE
3	View of the north western side of the building, facing south. The building to the right is the modern office block that is abutting the earlier industrial building.				S
4	The south west facing elevation, facing north east. Scale 1m.				NE
5	The round window in the apex of the south east facing elevation, facing north west.				NW
6	The western end of the north western elevation, facing south west. Scale 1m.				SW
7	The eastern end of the north western elevation, facing south east. Scale 1m.				SE
8	The large goods entrance in the north western elevation, facing south east. Scale 1m.				SE
9	The feature situated to the right of the large goods entrance in the north western elevation, facing south east. Scale 1m.				SE
10	The far eastern end of the north western elevation, facing north east. The brick building to the left is the electrical substation.				NE
11	The outer skin of brick built up to the north eastern elevation, visible from the western corner of the north western elevation. Facing south east.				SE
12	General view of the interior of the building, facing north east.				NE
13	General view of the interior of the building, facing south west.				SW
14	The south western internal wall, facing south west. Scale 1m. Note the brickwork on the floor to the right of this photograph. This may define an earlier access ramp.				SW
15	The far western end of the north western internal wall, facing north west. Scale 1m.				NW
16	The centre of the north western internal wall, to the left of the door, facing north west. Scale 1m.				NW
17	The centre of the north western internal wall, to the right of the door, facing north west. Scale 1m				NW
18	The eastern end of the north western internal wall, facing north west. Scale 1m.				NW
19	The doorway in the eastern end of the north western wall, facing north west.				NW
20	The north eastern wall, facing north east. Scale 1m.				NE
21	A different view of the north eastern wall showing the curve, facing north. Scale 1m.				N
22	The eastern end of the south eastern wall, facing south east. Scale 1m.				SE
23	The centre of the south eastern wall, facing south east. Scale 1m.				SE
24	The western end of the south eastern wall, facing south east. Scale 1m.				SE
25	The roof structure of the building, facing south west.				SW

SITE NAME: Wellington Street, Sheffield, South Yorkshire				NGR: SK 35016 86946	
Format	Black & White Film	Photographer	GN	Date	09-2020
Plate	Description				Direction
1	The south west facing elevation, facing north east. Scale 1m.				NE
2	The round window in the apex of the south east facing elevation, facing north east.				SE
3	The western end of the north western elevation, facing south west. Scale 1m.				SW
4	The eastern end of the north western elevation, facing south east. Scale 1m.				SE
5	The feature situated to the right of the large goods entrance in the north western elevation, facing south east. Scale 1m.				SE
6	The far eastern end of the north western elevation, facing south west.				SW
7	The outer skin of brick built up to the north eastern elevation, visible from the western corner of the north western elevation. Facing south east.				SE
8	The south western internal wall, facing south west. Scale 1m.				SW
9	The western end of the north western internal wall, facing north west. Scale 1m.				NW
10	The centre of the north western internal wall, to the right of the door, facing north west. Scale 1m.				NW
11	The eastern end of the north western internal wall, facing north west. Scale 1m.				NW
12	The doorway in the eastern end of the north western wall, facing north.				N
13	The north eastern wall, facing north east. Scale 1m.				NE
14	A different view of the north eastern wall showing the curve, facing north. Scale 1m.				N
15	The eastern end of the south eastern wall, facing south east. Scale 1m.				SE
16	The centre of the south eastern wall, facing south east. Scale 1m.				SE
17	The western end of the south eastern wall, facing south east. Scale 1m.				SE
18	General view of the interior of the building, facing north east.				NE
19	Shot of the floor adjacent to the south western entranceway, facing south east.				SE
20	General view of the interior of the building, facing south west.				SW
21	The roof structure of the building, facing south west.				SW

SITE NAME: Wellington Street, Sheffield, South Yorkshire				NGR: SK 35016 86946	
Format	Colour Film	Photographer	GN	Date	09-2020
Plate	Description				Direction
1	The south west facing elevation, facing north east. Scale 1m.				NE
2	View of the building from the south west, facing north east. Scale 1m.				NE
3	View of the building from the north west, facing south east. Scale 1m.				SE
4	The round window in the apex of the south east facing elevation, facing north west.				NE
5	The western end of the north western elevation, facing south west. Scale 1m.				NW
6	The large goods entrance in the north western elevation, facing south east. Scale 1m.				SE
7	The eastern end of the north western elevation, facing south east. Scale 1m.				SE
8	The feature situated to the right of the large goods entrance in the north western elevation, facing south east. Scale 1m.				SE
9	The far eastern end of the north western elevation, facing north east. The brick building to the left is the electrical substation.				NE
10	The outer skin of brick built up to the north eastern elevation, visible from the western corner of the north western elevation. Facing south east.				SE
11	View of the north western side of the building, facing south. The building to the right is the modern office block that is abutting the earlier industrial building.				S
12	The south western internal wall, facing south west. Scale 1m.				SW
13	The far western end of the north western internal wall, facing north west. Scale 1m.				NW
14	The centre of the north western internal wall, to the left of the door, facing north west. Scale 1m.				NW
15	The centre of the north western internal wall, to the right of the door, facing north west. Scale 1m				NW
16	The eastern end of the north western internal wall, facing north west. Scale 1m.				NW
17	The doorway in the eastern end of the north western wall, facing north west.				NW
18	The north eastern wall, facing north east. Scale 1m.				NE
19	A different view of the north eastern wall showing the curve, facing north. Scale 1m.				N
20	The eastern end of the south eastern wall, facing south east. Scale 1m.				SE
21	The centre of the south eastern wall, facing south east. Scale 1m.				SE
22	The western end of the south eastern wall, facing south east. Scale 1m.				SE
23	General view of the interior of the building, facing north east.				NE
24	Shot of the floor adjacent to the south western entranceway, facing south east.				SE
25	General view of the interior of the building, facing south west.				SW

APPENDIX 4: ARCHIVE INDEX TABLE

Trafalgar Street, Sheffield, South Yorkshire.
Archive Index

Record type	Quantification
Digital Photograph Register	1
Black & White Photograph Register	1
Colour Slide Photograph Register	1
Written Report	1
WSI	1
OASIS Form	1
Digital Photographs	25
Black & White Photographs	22
Colour Slide Photographs	26

APPENDIX 5: WRITTEN SCHEME OF INVESTIGATION AND OASIS FORM

**Wellington Street, Sheffield
Historic Building Recording**

Written Scheme of Investigation

August 2020

Version 1



ARCHAEOLOGICAL
RESEARCH SERVICES LTD

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Aizlewood's Mill, Nursery Street, Sheffield, S3 8GG

www.archaeologicalresearchservices.com

Prepared on behalf of: *Code Students Ltd*

Date of compilation: *August 2020*

Compiled by: *Adrian Jacklin PCIfA and Robin
Holgate MCIfA*

Planning Reference: *19/03779/FUL (formerly
PP_08216410)*

Local Authority: *Sheffield City Council*

Site central NGR: *SK 35016 86946*



*Written Scheme of Investigation for Historic Building Recording at
Wellington Street, Sheffield, South Yorkshire.*



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1 INTRODUCTION

1.1 This Written Scheme of Investigation (WSI) has been prepared by Archaeological Research Services Ltd (ARS Ltd) on behalf of Code Students Ltd (the client). It details a scheme of archaeological works (historic building recording) on land bounded by Rockingham Street, Wellington Street and Trafalgar Street, Sheffield, S1 4ED as a condition (Condition 5) of planning permission 19/03779/FUL (formerly PP_08216410) granted by Sheffield City Council for the demolition of existing buildings and the erection of a mixed use building up to 12/17/38 storeys to form residential units with ancillary amenities including gymnasium, cinema, common rooms and raised external deck, associated cycle and bin storage and ground floor retail unit (Use Class A1).

1.2 Condition 5 of the planning permission is as follows.

“5.No development, including any demolition and groundworks, shall take place until the applicant, or their agent or successor in title, has submitted a Written Scheme of Investigation (WSI) that sets out a strategy for archaeological investigation and this has been approved in writing by the Local Planning Authority. The WSI shall include:

- The programme and method of site investigation and recording.*
- The requirement to seek preservation in situ of identified features of importance.*
- The programme for post-investigation assessment.*
- The provision to be made for analysis and reporting.*
- The provision to be made for publication and dissemination of the results.*
- The provision to be made for deposition of the archive created.*
- Nomination of a competent person/persons or organisation to undertake the works.*
- The timetable for completion of all site investigation and post-investigation works.*

Thereafter the development shall only take place in accordance with the approved WSI and the development shall not be brought into use until the Local Planning Authority has confirmed in writing that the requirements of the WSI have been fulfilled or alternative timescales agreed.”

1.3 The Officer Reports associated with the planning application stated that an archaeological assessment (Hunt 2019) has been carried out in support of the scheme. This indicates that the site lies outside the medieval town in an area that remained undeveloped until the 19th century. Prior to the current structures on site,



the PDA previously contained a steelworks, a Methodist chapel, a Sunday School and terraced housing. Recent archaeological work close to the site (Kangaroo Works, Washington Works and Clintock Works) has revealed well preserved industrial remains just below the surface of the modern buildings. The assessment concludes that there is moderate to high potential for industrial archaeological remains and 19th century housing on the site. Further archaeological site investigations will be conditioned as part of any approval but are not considered to be an impediment to the future redevelopment of the site. Furthermore, the research will help to further understand the detailed evolution of the city.

1.4 This document comprises a Written Scheme of Investigation (WSI) confirming the nature of the historic building recording to be undertaken by Archaeological Research Services Ltd (ARS Ltd) at Wellington Street, Sheffield to make a basic photographic record of the mid-20th century building on the site before it is demolished, as it is a type of building that is fast disappearing.

1.5 Archaeology is a material consideration in the planning process. The aim of this programme of works is, in line with the *National Planning Policy Framework (NPPF)* paragraph 199 (MHCLG 2019), to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publically accessible.

2 BACKGROUND

2.1 Site Location, Geology and Soils

2.1.1 The 'red line boundary' of the proposed development area (hereafter 'PDA') is depicted by a red polygon on Figure 1, and is c.0.37ha (3746m²) in area. The site is oriented south-east to north-west, and bounded to the east by Rockingham Street, by Wellington Street to the north, by Trafalgar Street to the west and by an industrial building and its associated car park to the south. Within the PDA, Wellington House and the former South Yorkshire Housing Association (SYHA) offices line Wellington Street, while the SYHA buildings continue down Trafalgar Street. Two former industrial buildings line the southern boundary of the PDA with the rest of the site comprising of car parking. The PDA occupies a level plot of land at c.79m above Ordnance Datum (aOD). The site is centred at National Grid Reference SK 35016 86946.

2.1.2 The underlying solid geology of the PDA comprises Pennine Lower Coal Measures Formation - Mudstone and Siltstone - sedimentary bedrock formed approximately 318 to 319 million years ago in the Carboniferous Period (BGS 2020). No superficial deposits are recorded (*Ibid*).

2.1.3 The soils of the PDA are recorded as slowly permeable, seasonally wet, acidic, loamy and clayey soils (CU 2020).



2.2 Historical and Archaeological Background

2.2.1 A detailed account of the development and significance of the PDA is presented in an Archaeological Desk-Based Assessment (Hunt 2019) that has been submitted in support of the planning application. A brief overview is given below.

2.2.2 There is a paucity of evidence for prehistoric, Romano-British and early medieval activity within Sheffield, but it is considered that this is due to such remains being masked or destroyed by more recent urbanisation and industrial activity rather than reflecting a real absence of activity from these periods. During the Anglo-Saxon period the district around Sheffield was known as Hallamshire, and was administered from a hall which is likely to have been located at the site of the later timber and motte and bailey castles (SMR no. 00242/02) constructed adjacent to the confluence of the Sheaf and the Don rivers (*Ibid*). The motte and bailey castle is thought to have been constructed by William de Lovetot who may have also founded the town and created the market place on the hill rising to the south of the castle.

2.2.3 Sheffield became markedly more industrial in nature during the late 17th and early 18th century, similar to other manufacturing centres such as Manchester, Birmingham and Leeds (Hunt 2019, 11). The 18th century saw Sheffield producing lead, silk and cotton, with the City of Sheffield transforming into a major producer of steel and cutlery during the 19th century (*Ibid*).

2.2.4 The early maps of Sheffield, such as the 1736 *Gosling map*, the 1771 *Fairbank map* and the 1808 *W. and J. Fairbank map*, do not depict the PDA in any detail (Hunt 2019, 17). The earliest cartographic evidence to show structures within the PDA is the 1832 *Taylor map* which illustrates housing on the western area of the site (*Ibid*).

2.2.5 The 1863 Ordnance Survey (OS) depicts the Methodist Reformers' Chapel within the eastern area of the PDA (Hunt 2019, 18). The site is shown in greater detail on the 1890 OS, with the Methodist Chapel detailed as having a capacity of 900 seats and a small steel works ('The Foundling Works') is located in the south east of the PDA (*Ibid*). This map also shows the housing that is located within the western area of the PDA as back-to-back terraced housing with associated outbuildings and courtyards (*Ibid*).

2.2.6 The 1905 *Goad Insurance Plan* for the site provides more detail, as the chapel is depicted as a single storey structure, with the Foundling Works (now called 'Samuel Buckley Styrian Steel Works') as being one to two storey with stores and a forge. Immediately south of the Steel Works are three-storey dwellings associated with Court No. 6 and a Sunday School has been constructed immediately west of the Methodist Chapel, with three-storey back-to-back terraced housing occupying the remainder of the site (Hunt 2019, 22).

2.2.7 By 1954, the Methodist Chapel has been replaced by a printing works and the north-west corner of the PDA has been cleared of the terraced housing (*Ibid*). The south-west of the site is now occupied by the warehouse that is still extant on the site today (*Ibid*). The site largely takes its current form on the 1985 OS which shows



37-41 Wellington Street, the former SYHA offices and the garage (labelled as Works) to the south-east. An electric substation is also present to the west of the garage but was not identified during the site visit (Hunt 2019, 23).

3 AIMS AND OBJECTIVES

3.1 Regional Research Aims and Objectives

3.1.1 Priorities advocated in the *Yorkshire Archaeological Research Framework: research agenda* for the early modern period/industrial archaeology are: “a post-medieval, rather than purely industrial, agenda covering landscape setting and environmental impact, urbanisation, transport, and the archaeology of elite and religious power, of class, and of migration and culture contact” (Roskams and Whyman 2007, 38).

3.1.2 The archaeological works will be undertaken in accordance with the regional guidance document *Yorkshire, The Humber & The North East: a regional statement of good practice for archaeology in the development process* (SYAS 2018).

3.2 Historic Building Recording Aims and Objectives

3.2.1 The aims of the building recording will be to produce the following.

- ◆ A formal description of the building on the site, its architectural plans, elevations, roof structure, flooring, internal layout and spaces, detailing, form, fabric, and evidence for phasing and development. The descriptive account will include all associated buildings, structures and spaces within the grounds.
- ◆ A photographic record comprising black & white, colour slide and supplemented by digital photography, with photographic scales with all photographs descriptively captioned and cross referenced to a plan, plans and/or elevations clearly showing the viewing position, direction and photographic image reference.
- ◆ The historic building recording will comply with a Level 2 standard as outlined in the Historic England volume *Understanding Historic Building – A Guide to Good Recording Practice* (Historic England 2016).

4 HISTORIC BUILDING RECORDING

4.1 Coverage

4.1.1 A basic photographic record will be made of the remaining mid-20th century industrial building on the site – the warehouse built at some point between 1937-1954 that occupies the south-western part of the PDA (Figure 2) – before it is demolished.



4.1.2 A Level 2 standard (Historic England 2016) historic building recording will be undertaken, comprising recording externally and internally, including any basements, to produce a photographic and descriptive record of the mid-20th century warehouse building prior to any demolition or alteration works taking place.

4.1.3 A methodology for the implementation of all elements of the historic building recording is presented below.

4.2 Methodology

4.2.1 All aspects of the building recording will be conducted according to the guidelines in *Recording Historic Buildings* published by the Royal Commission on the Historical Monuments of England (1996), *Understanding Historic Buildings – A guide to good recording practice* by Historic England (English Heritage 2016) and the ClfA's *Code of Conduct* (2019a) and *The Standards and Guidance for Archaeological Investigation and Recording of Standing Buildings or Structures* (2019b).

4.2.2 The archaeologist on site will carefully examine all parts of the building prior to the commencement of the photographic and drawn recording, in order to identify all features relevant to original and later use. As part of this exercise, the archaeologist on site will produce written observations (e.g. on phasing; on detailing; on building function), sufficient to permit the preparation of a report on the structures identified. Each external wall or internal space will be examined individually and the results of that examination noted in a systematic fashion. These site records will be adequate to allow a full architectural and archaeological description of the building to be included in the subsequent report, as a walk around and through each building, starting with setting, then progressing to all sides of the structure in sequence, and finally to the interior from the ground floor up.

4.2.3 The building recording drawn record will include the following.

- ◆ Site location plans at suitable scales (preferably indicating the position of the site within the country, within the county and a clear plan of the precise location/outline of the building i.e. 1:50).
- ◆ A plan(s) indicating the position and orientation of photographs/images included in the report.
- ◆ Phased plans showing the development of the building.

4.2.4 The general photographic record will be undertaken using black and white photography. These will be taken with a 35mm SLR camera (a Medium Format camera may also be used). This record will be supplemented by colour slide photography where colour is an aspect that needs to be recorded. Digital photography (16 megapixels) will be used in addition to, but must not form part of, the formal archive created.

4.2.5 Where possible, photographs will include a graduated scale and cameras will



be mounted on tripods for extra stability. Details of the photographs will be recorded on pro-forma index sheets, which include location, subject and orientation. The location and direction of the photographs will be plotted on scaled plans forming part of the general archive.

4.2.6 The photographic record will cover as a minimum:

- ◆ Photographs of the interior, exterior and setting of the building. A two metre ranging rod will be included in a selection of general shots in order that the scale of all elements of the building can be sufficiently established.
- ◆ The buildings' external appearance is to be recorded. Typically a series of oblique views will show all external elevations of the structure and give an overall impression of size and shape. Where an individual elevation embodies complex historical information or have been conceived as formal compositions, views at right angles to the plane of the elevation may also be appropriate.
- ◆ The overall appearance of principal rooms and circulation areas for all rooms and areas that are accessible.
- ◆ Photographs of any internal or external detail, structural or decorative, which is relevant to the building's design, development or use and which does not show adequately on general views.
- ◆ Photographs of any internal or external fixtures, fittings or machinery relevant to the building's use or development.
- ◆ Copies of maps, drawings, views, photographs, dates, inscriptions, or contents present in the building and illustrating its development/use, or that of its site.

4.2.7 The historic building recording may identify opportunities for hidden structural evidence to be exposed during demolition and thus provide the opportunity to obtain additional photographic and descriptive details. Accordingly, intra-demolition monitoring and recording will be undertaken. The additional recording work undertaken will be incorporated with the initial building recording to create the final report.

4.2.8 A contingency will be allowed for paint/plaster/wallpaper analysis, should relevant materials be identified during the recording – use of the contingency will be discussed and agreed with SYAS.

4.2.9 Development works may not commence until the on-site historic building recording has been approved by SYAS.

4.3 Report

4.3.1 The report will contain the following as a minimum.

- ◆ Non-technical executive summary



- ◆ Introductory statement
 - ◆ Aims and purpose of the project
 - ◆ Methodology
 - ◆ Precise location of buildings, by name or street number, civil parish, town and National Grid reference
 - ◆ The date when the record was made, the names of the recorders and the archive content/character and location
 - ◆ A note of any relevant statutory designations
 - ◆ A discussion of the building's form, function, date, and sequence of development and significance. Together with a discussion of the names of architects, builders, patrons and owners if known. This will include a note of any evidence for demolished structures or removed plant associated with the building
 - ◆ An architectural and archaeological description of the buildings will be produced
 - ◆ A set of detailed measured survey drawings including floor plans, elevations, and sections with annotations and conventions following Historic England standards (2016) to ensure they are informative
 - ◆ A discussion of published sources relating to the buildings and their setting, an account of its history and an analysis of historic map evidence, including an element of additional archival research to supplement the information produced in the original building appraisal
 - ◆ Discussion and conclusions
 - ◆ References
 - ◆ Statement of intent regarding publication
 - ◆ Supporting data – tabulated or in appendices
 - ◆ A register of photographs taken
 - ◆ Confirmation of archive transfer arrangements
 - ◆ A copy of the WSI and OASIS form
- 4.3.2 The report illustrations will contain the following as a minimum.
- ◆ A location map at not less than 1:2500
 - ◆ A site plan at not less than 1:500
 - ◆ Photographs used to illustrate all key points and a complete set of site drawings, at an appropriate scale, executed to publication standard



- ◆ Extracts from relevant historic maps will also be included within the report with the building(s) of interest clearly visible
- ◆ The photographic record plan will also be included
- ◆ In addition to those photographs used as illustrations, a complete set of all photographs, excluding duplications, will be included with the digital copy of the report and referenced as necessary.

4.3.3 Record photographs will be printed at a minimum of 5" x 4" and they will be accompanied by a fully indexed field archive consisting of all primary written documents, plans, sections, photographic negatives and a complete set of labelled photographic prints. A selection of photographs (showing the most significant rooms/features/elevations) will also be printed at 8" x 10", to enhance the illustrative record made (the format of film chosen used will need to lend itself to this approach). The photographic prints will be labelled with indelible ink on the back of the print and will include:

- ◆ Film and frame number
- ◆ Date recorded and photographers name
- ◆ Name and address of feature/building
- ◆ National grid reference.

4.3.4 One bound copy of the final report with a digital copy of the report in PDF/A format on disk will be deposited with the South Yorkshire Sites and Monuments Record (SMR). A copy of the report will be uploaded as part of the OASIS record (see below) for online access via the Archaeological Data Service.

4.3.5 At the start of work (immediately before fieldwork commences) an OASIS online record <http://ads.ahds.ac.uk/project/oasis/> will be initiated and key fields completed on Details, Location and Creators forms. All parts of the OASIS online form will be completed for submission to the SMR. This will include an uploaded .pdf version of the entire report (a paper copy will also be included within the archive).

4.3.6 The digital archive will be prepared in line with current best practice outlined in *Archaeology Data Service/Digital Antiquity Guides to Good Practice* (ADS/Digital Antiquity 2011).

4.4 Archive Deposition

4.4.1 A digital and paper archive, which will consist of all primary written documents, plans, sections, photographs and electronic data will be submitted to the suitable repository, in this instance Sheffield Archives, Sheffield, in a format agreed in discussion with SYAS and the Archivist.

4.4.2 Copyright on the deposited material will either be assigned to the archive, or the archive will be licensed to use the material, in perpetuity; this licence would



allow the archive to reproduce material, including for use by third parties, with the copyright owner suitably acknowledged.

4.4.3 A full set of annotated, illustrative pictures of the buildings will be deposited with the South Yorkshire SMR and deposited with the archive as digital images on a CD ROM that will be attached with the report.

4.4.4 Written confirmation of the archive transfer arrangements, including a date (confirmed or projected) for the transfer, will be included as part of the final report.

4.4.5 SYAS will be notified of the final deposition of the archive.

4.5 Standards and Staffing

4.5.1 ARS Ltd is a Registered Organisation with the Chartered Institute for Archaeologists (CIfA). Registered Organisations are continuously assessed to ensure that the highest standards of work are carried out, in line with CIfA's *Code of Conduct* (2019a). The archaeological building recording and investigation will be carried out by Historic Buildings Officer George Nuth of ARS Ltd or by another member of staff with commensurate experience (to be discussed and agreed with SYAS).

4.5.2 The projected timetable for the historic building recording and associated works is as follows.

Task No	Task	Proposed Commencement Date
1	Historic building recording on-site	Week commencing 24 th August 2020
2	Checking/approval of on-site historic building recording by SYAS.	Immediately following completion of Task 1
3	Historic building recording report preparation	Immediately following completion of Task 2
4	Historic building recording archive preparation, completion and deposition	Immediately following completion of Task 3 and to be completed within 3 months

4.6 Monitoring Arrangements

4.6.1 SYAS will be responsible for monitoring the building recording. A minimum of one week's notice of the commencement of fieldwork must be given by ARS Ltd to SYAS in order that arrangements for monitoring the fieldwork may be made.

4.6.2 A progress update will be supplied to SYAS, in writing, on a monthly basis following this until submission of the final copy of the building recording report.



5 CONSTRAINTS

5.1 A series of asbestos surveys has identified asbestos containing materials within the buildings on site as well as the cement that forms the hardstanding material for the car park. Any areas of disturbed asbestos will be avoided and will not be covered by the historic building recording unless mitigation action is taken to remove said contaminants. The site manager, the client and SYAS will be informed of any asbestos encountered. An updated risk assessment will be provided.

6 GENERAL ITEMS

6.1 Health and Safety

6.1.1 All work will be carried out in accordance with The Health and Safety at Work Act 1974. Specific health and safety policies exist for all our workplaces and all staff employed will be made aware of the policy and any relevant issues. The particular risks involved with this project will be assessed, recorded and relevant mitigation measures put in place as part of a full risk assessment, which will be compiled in advance of fieldwork and will be read and signed by all on-site operatives. ARS Ltd retains Citation as its expert health and safety consultants and the appointed Health and Safety Officer for the company is Tony Brennan.

6.2 Insurance Cover

6.2.1 ARS Ltd has full insurance cover for employee liability (£10 million) public liability (£5 million), professional indemnity (£10 million) and all-risks cover.

6.3 Changes to the Written Scheme of Investigation

6.3.1 Changes to the approved methodology or programme of works will only be made with prior written approval of SYAS.

6.4 Community Engagement, Outreach and Publication

6.4.1 Summary reports of an appropriate length, accompanied by illustrations (at 300dpi resolution), if required by SYAS, will be prepared and submitted in digital format, for publication in the appropriate volume of Archaeology in South Yorkshire.

6.4.2 In the event of significant remains being encountered and excavated but no further fieldwork takes place, there may be the need for a more formal publication than in the summary form. In this instance a suitable programme and timetable for publication and dissemination will be discussed and agreed upon by all stakeholders. This may include a note or short article in an appropriate archaeological journal. Provision will be made for engaging the local community in any archaeological findings and publicising the results of the work locally, e.g. press release (at the client's discretion), dissemination of information via ARS Ltd's website and social media, a guided site tour and/or by presenting a paper at South Yorkshire Archaeology Day and talking to local societies.



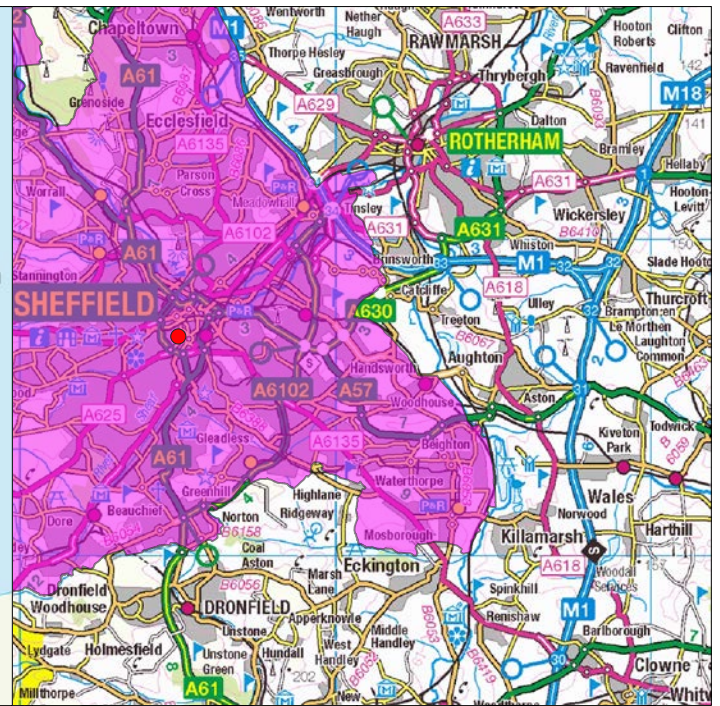
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FIGURES





Site name: Wellington Street, Sheffield
 Date: August 2020
 Drawn by: ARJ
 Scale: Varies

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**Figure 1:
Site location**

● Site Location ■ Sheffield City Council
 □ Site Boundary

N

Archaeological Research Services Ltd



Unit 2
 Aizlewood's Mill
 Nursery Street
 Sheffield
 South Yorkshire
 S3 8GG

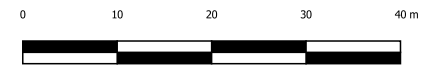
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Figure 2: Historic Building Recording



-  Site Boundary
-  Historic Building Recording



Site name: Wellington Street, Sheffield
Date: August 2020
Drawn by: ARJ
Scale: 1:800 @ A4

Archaeological Research Services Ltd
Unit 2
Ablewood's Mill
Nursery Street
Sheffield
S3 8GG



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OASIS ID: archaeo15-402798

Project details

Project name	Historic Building Recording of an Industrial Building at Trafalgar Street, Sheffield
Short description of the project	Historic Building Recording of an Industrial Building at Trafalgar Street, Sheffield. The surviving industrial building that is the subject of this report is situated on the south western end of the development site. It is the oldest surviving building on the site. A study of 20th century mapping and aerial imagery suggests this building was constructed between 1937 and 1950. It was labelled as a garage on the 1950s Ordnance Survey but it is not clear whether this was its intended function. Any fabric indicative of its use as part of the printing works has since been stripped out, most likely as a result of the building being cleared to make space for car parking.
Project dates	Start: 27-08-2020 End: 03-09-2020
Previous/future work	Yes / No
Any associated project reference codes	19/03779/FUL - Planning Application No.
Type of project	Building Recording
Site status	None
Current Land use	Other 2 - In use as a building
Monument type	WAREHOUSE Modern
Significant Finds	NONE None
Methods & techniques	""Photographic Survey""
Prompt	Planning condition

Project location

Country	England
Site location	SOUTH YORKSHIRE SHEFFIELD SHEFFIELD Wellington Street
Postcode	S1 4HF
Study area	400 Square metres
Site coordinates	SK 35003 86916 53.37767277608 -1.473770536742 53 22 39 N 001 28 25 W Point
Lat/Long Datum	Unknown
Height OD / Depth	Min: 0m Max: 0m

Project creators

Name of Organisation	Archaeological Research Services Ltd
Project brief originator	South Yorkshire Archaeology Service
Project design originator	Archaeological Research Services Ltd
Project director/manager	Robin Holgate
Project supervisor	George Nuth
Type of sponsor/funding body	Client
Name of sponsor/funding body	Code Students Ltd

Project archives

Physical Archive Exists?	No
Digital Archive recipient	Archaeological Data Services
Digital Contents	"none"
Digital Media available	"Text","Images raster / digital photography"
Paper Archive recipient	Sheffield Archives
Paper Contents	"none"
Paper Media available	"Photograph","Plan","Report"

Project bibliography 1

Publication type	Grey literature (unpublished document/manuscript)
Title	Historic Building Recording of an Industrial Building at Trafalgar Street, Sheffield
Author(s)/Editor(s)	Nuth, G.
Other bibliographic details	2020/126
Date	2020
Issuer or publisher	Archaeological Research Services Ltd
Place of issue or publication	Sheffield
Entered by	Michelle Burpoe (archives@archaeologicalresearchservices.com)
Entered on	8 June 2021

OASIS:

Please e-mail [Historic England](#) for OASIS help and advice

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