

A Heritage Impact Assessment and Historic Building Appraisal of Derwentside Industrial Park, Belper



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Site central NGR: SK 35006 46230

EXECUTIVE SUMMARY

Archaeological Research Services Ltd was commissioned by Tipton Estates Limited to carry out a heritage impact assessment and historic buildings appraisal of Derwentside Industrial Park, Belper, Derbyshire. This heritage impact assessment and historic buildings appraisal has been commissioned ahead of the submission of an outline planning application for the demolition and clearance of existing buildings and the redevelopment of the site for residential use (up to 136 dwellings) including means of access and associated works. (All other matters reserved).

The Derbyshire HER lists one non-designated heritage asset as being located within the proposed development site: Park Foundry Iron and Brick Works (HER 18094). The majority of the structures within the site appear to be the by-product of the mid-20th century remodelling of Park Foundry, albeit some altered early fabric does survive within two of the buildings. There are also several areas within the eastern part of the site where fabric from early phases of Park Foundry still exist, though once again significantly altered. These remains have limited significance due to the high degree of alteration of the surviving fabric. The demolition of these buildings will offer an opportunity to provide a viable future for the site which, if left vacant, may deteriorate. It is recommended that the buildings within the proposed residential estate should be designed so as to be sympathetic to the surrounding landscape and townscape.

Due to the high degree of remodelling to the structures and the extensive ground disturbances within the site as a result of 19th and 20th century extraction and construction works, it is considered that the archaeological potential of this area is considered to be low. However, there is still the potential for some early remains to survive below ground within the northern part of the site, which appears to have been less developed than the remainder of the industrial complex. It is recommended that, should the proposed development receive planning permission, a programme of archaeological works could be carried out as a condition of planning permission, taking the form of targeted evaluation trenching after demolition to slab level of the existing industrial complex which, depending on the results of the trenching, may be scaled up to a strip, map and sample excavation.

The site is adjacent to the Belper and Milford Conservation Area (DDR 9671), which denotes an area of rich historical and architectural importance. Ground observations from within the Conservation Area indicate that the majority of views towards the site are limited, due to the significant tree coverage surround the majority of the perimeter of the site and also the residential dwellings around Becksitch Lane. The proposed development plans for the site indicate that the current entrance way into the site will be reutilised as the main entrance into the proposed new development, in addition to the retention of the aforementioned perimeter features. The proposed plans also suggest that the new residential dwellings will be at either a similar height or less than the current structures within the site. As such, it has been determined that the proposed development would have a neutral visual impact and would not significantly harm the setting of the Conservation Area.

The site falls within the confines of the Derwent Valley Mills WHS (NHLE 1000100), an industrial landscape of high historical and technological interest which includes a number of key buildings and industrial settlements within its boundaries. The proposed development would result in a visual change to a part of the landscape of the Derwent Valley Mills WHS

Buffer Zone from industrial to residential. The industrial character of the Derwent Valley contributes to both the illustrative historical and aesthetic values of the WHS. However, while the buildings within the site themselves are industrial in nature, they are not as significant as many of the other important industrial structure within the WHS (East Mill, Cromford Mill, etc.) as they are mostly of 20th century date. The loss of these buildings would not result in a change to the Outstanding Universal Value (OUV) of the WHS. While there would be a loss of industry within this area, the addition of a residential estate in this area would provide an opportunity to add to the wider landscape, which to the north is primarily residential, and with careful design could provide a more aesthetically pleasing view across the landscape than the 20th century industrial buildings currently on site.

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1 INTRODUCTION

1.1 Project and Planning Background

Archaeological Research Services Ltd was commissioned by Tapton Estates Limited to carry out a heritage impact assessment and historic buildings appraisal of Derwentside Industrial Park, Belper, Derbyshire. This heritage impact assessment and historic buildings appraisal has been commissioned ahead of the submission of an outline planning application for the demolition and clearance of the existing buildings and the redevelopment of the site for residential use (up to 136 dwellings) including means of access and associated works. (All other matters reserved).

The pre-application consultation response regarding the proposed development provided by Amber Valley Borough Council and the Derby and Derbyshire Development Control Archaeologist stated the following:

Heritage Impact

Part 12 to the NPPF, paragraph 132 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be.

If any harm is caused, the Council will have to consider whether that harm equates to substantial, or less than substantial harm. Paragraph 135 of the NPPF states that any less than substantial harm to the significance of designated heritage assets is required to be weighed against any public benefit of the proposal.

The enquiry site lies within the Derwent Valley Mills World Heritage Site Buffer Zone where policy EN29 of the AVBLP requires all development to preserve or enhance the setting of the World Heritage Site, including views into and out of the site.

The site lies directly adjacent to the Belper and Milford Conservation Area. Policy EN27 of the AVBLP states that the planning permission for proposals adjacent to Conservation Areas will only be permitted if they contribute to the preservation or enhancement of the Conservation Area. Special consideration is required to be given to proposals for development adjacent to and affecting the setting of a Conservation Area. Due to the size of the enquiry site and scale of development, it is considered that this development proposal could affect the Conservation Area's setting.

A future application will be required to be submitted with a Heritage Impact Assessment that will need to demonstrate how the development does not detrimentally impact on the Outstanding Universal Value of the World Heritage Site and Belper and Milford Conservation Area.

Archaeology

The enquiry site contains a site on the Derbyshire Historic Environment Record (HER 17094), the site of the Park Iron Foundry and Brick Works, established in 1898 by Smedley Brothers on the site of an early iron foundry and brick works. Historic mapping from the early 20th century shows the Park Foundry developing on roughly the same footprint on as the existing factory building. It is not clear whether any earlier built heritage elements surviving within



the 20th century factory complex. The HER record suggests that the original entrance archway to the site was still standing in 2004.

There is consequently potential within the site for heritage significance comprising 1) building heritage elements surviving from the former Park Foundry and Brick Works and 2) below-ground archaeology associated with the early iron works on the site and with demolished elements of the Park Foundry.

A planning application for the site should therefore be subject to archaeological desk-based assessment (NPPF para 128) including buildings appraisal, to allow the built heritage and archaeological significance of the site to be understood.

This heritage impact assessment and historic buildings appraisal addresses these issues and provides the required information to enable an informed decision to be made regarding the proposed development.

1.2 Site description

The 'red line boundary' of the proposed development area (hereafter 'PDA') is depicted by a red polygon on Figure 1, and covers an area of c.6.05ha in area. It is bounded to the west by Derby Road and the residential dwellings along Becksitch Lane, to the north and east by open fields, and to the south by residential dwellings and open fields. The site itself contains a series of buildings, some of which have been amalgamated over the years. A plan of the site has been produced with the buildings' codes used in this report to aid in identifying different structures (Figure 2).

The site is located entirely within the buffer zone of the Derwent Valley Mills World Heritage Site (NHLE 1000100) and is centred at SK 35006 46230.

1.3 Geology

The solid geology is comprised of mudstone, siltstone and sandstone of the Millstone Grit Group, which is a sedimentary bedrock formed approximately 313 to 326 million years ago during the Carboniferous Period when the local environment was dominated by swamps, estuaries and deltas. No superficial deposits are recorded by the British Geological Survey (BGS 2016).

The soils of the PDA are classified as belonging to the Rivington 1 Soil Association (541f), which are classified as typical brown earths (SSEW 1983). These soils form over Carboniferous and Jurassic sandstone, and are characterised as '*well drained coarse loamy soils over sandstone. Locally associated with similar soils affected by groundwater*' (CU 2016).

2 PLANNING POLICY BACKGROUND

2.1 National Planning Policy Framework (NPPF)

This assessment was carried out under the National Planning Policy Framework (NPPF) (DCLG 2012). The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that it is relevant, proportionate and necessary to do so.



The purpose of the NPPF is to contribute to the achievement of *sustainable development*, which includes “...contributing to, protecting and enhancing our natural, built and historic environment...” (DCLG 2012, 30).

Section 12 of the NPPF deals with government policy in relation to conserving and enhancing the historic environment and its role in sustainable development.

Paragraph 126 states that Local Authorities must undertake to ‘*recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance*’. In developing their strategy, local planning authorities should take into account:

- ◆ the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- ◆ the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- ◆ the desirability of new development making a positive contribution to local character and distinctiveness; and
- ◆ opportunities to draw on the contribution made by the historic environment to the character of a place.

Paragraph 128 states that, “*In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation*” (DCLG 2012, 30).

Paragraph 129 states that, “*Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposal*” (DCLG 2012, 30).

In determining planning applications, planning authorities should take account of:

- ◆ the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- ◆ the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- ◆ the desirability of new development making a positive contribution to local character and distinctiveness.



Paragraphs 132 – 141 provide guidance on the approach to be adopted by local authorities in weighing the impact of development against the conservation of heritage assets and their setting and significance (DCLG 2012, 31-32). Paragraph 132 states that *“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional”* (DCLG 2012, 31).

2.2 Amber Valley Adopted Local Plan

The Amber Valley Adopted Local Plan (2006) is in the process of being replaced by an updated plan which will be in place by March 2018, and which will set out the vision, objectives and spatial strategy for the Amber Valley District. While some of the saved policies in the Local Plan ceased to have effect from 12th April 2009, a number of policies were saved. The Amber Valley Adopted Local Plan and saved policies include the following that are applicable to this heritage impact assessment:

2.2.1 Listed Buildings

- ◆ EN24: Development proposals for:
 - a) the external alteration of Listed Buildings
 - b) the external alteration of any other buildings within the curtilage of Listed Buildings built before 1 July 1948
 - c) new buildings and other structures, or alterations and extensions to existing buildings or other structures, within the setting of a Listed Building will only be permitted where the proposals contribute to the preservation of the Listed Building and its setting, having regard to the elements which make up its special interest, including the character, appearance, scale and its original function.

2.2.2 Conservation Areas

- ◆ EN27: Planning permission will only be granted for development proposals within and adjacent to Conservation Areas if they would contribute to the preservation or enhancement of the Conservation Area. Special consideration will also be given to proposals for development adjacent to and affecting the setting of a conservation area.

2.2.3 Derwent Valley Mills World Heritage Site

- ◆ EN29: Within the Derwent Valley Mills World Heritage Site, the Borough Council will require all development proposals to preserve or enhance its character and appearance. Within the Buffer Zone, the Borough Council will require all



development proposals to preserve or enhance the setting of the World Heritage Site, including views into and out of the site.

2.2.4 Archaeological and Heritage Features

- ◆ EN30: Planning permission will not be granted for development proposals that would result in disturbance to, or adverse impact upon:
 - a) a Scheduled Ancient Monument or other nationally important archaeological remains or their setting
 - b) any other known archaeological or heritage features of major importance and their settings
- ◆ EN31: Planning permission will only be given for development proposals likely to affect a site containing archaeological remains of less than national importance where:
 - a) the application is supported by an assessment and if necessary an archaeological field evaluation, and
 - b) it is demonstrated that the archaeological remains can be preserved *in situ* and, if not justified, excavation and recording, and
 - c) preservation *in situ* is to be carried out in accordance with an agreed scheme.
- ◆ The Borough Council will impose conditions on planning permissions or alternatively seek to enter into Section 106 Agreements with developers, to ensure appropriate archaeological investigation and recording, before and during development.

2.3 The Derwent Valley Mills World Heritage Site Management Plan

The Derwent Valley Mills and the surrounding landscape were inscribed as a World Heritage Site by UNESCO in 2001. It stretches for 24km along the river valley from Matlock Bath to Derby and defines a cultural landscape of exceptional significance. The Derwent Valley Mills World Heritage Site (DVMWHS) Management Plan (2014) presents an analysis of the current issues and opportunities facing the site and presents a five-year implementation and action plan which aims to address them. The PDA falls within the buffer zone of the DVMWHS, though the site is not specifically referenced within the Management Plan.

3 AIMS AND OBJECTIVES

The principal aims of this assessment are to produce a report detailing any archaeological potential of the PDA, and to assess the potential impacts of the proposed development upon any buried and upstanding archaeological remains, historic buildings, the historic landscape and the settings of nationally designated assets and to assess their significance. The following objectives will contribute towards accomplishing this aim:

- ◆ To collate and assess existing information about the historic environment within the study area and to determine as fully as possible from the available evidence the



nature, survival, quality, extent and importance of any archaeological remains and any upstanding buildings/structures within the PDA.

- ◆ To provide an assessment of areas of archaeological potential and survival based on the above research and assess the potential for the use of particular investigative techniques in order to aid the formulation of any necessary mitigation strategy, including further evaluation, excavation, and/or preservation of archaeological remains.
- ◆ To assess, where possible from the available sources, the extent of any ground disturbance associated with any previous intrusive development.
- ◆ To provide an assessment of potential impacts of the proposed development to the settings of cultural heritage assets, and make recommendations for further detailed assessment should this be considered necessary.

4 METHOD STATEMENT

The heritage impact assessment was undertaken in accordance with the guidelines set out in The Chartered Institute for Archaeologists' (CIfA) *Standards and Guidance for Historic Environment Desk Based Assessment* (CIfA 2014a).

The historic buildings appraisal was conducted according to the guidelines in *Understanding Historic Buildings – A Guide to Good Recording Practice* by Historic England (2016) and CIfA's *Standards and Guidance for Archaeological Building Recording* (2014b). The records produced were used in order to create an interpretative discussion of the form, function and phasing of the structures concerned. This consisted of the following.

- ◆ A written record of the buildings was carried out by annotating plans and elevations and by completing ARS Ltd pro-forma building recording sheets. Descriptions and terms used follow Brunskill (1994 and 2000), Curl (1997) and Lynch (1994) wherever possible.
- ◆ A photographic survey composed of high-resolution digital photographs (16 megapixels) was taken using a Nikon L810. Details of the photographs were recorded on pro-forma index sheets, which included location, subject and orientation. The location and direction of the photographs were plotted on scaled plans.

4.1 Study Area

The study area adopted for this assessment comprises a 500m off-set from the 'redline boundary' of the proposed development area. The extent of the 500m study area is depicted by a purple polygon on Figure 1.

4.2 Information Sources

The following sources of information were consulted to inform this assessment:

- ◆ The Derbyshire Historic Environment Record (HER) for information regarding known archaeological remains, previous archaeological investigations, aerial photographs, and an extract from the Derbyshire Historic Landscape Characterisation.



- ◆ The online National Heritage List for England (NHLE) maintained by Historic England for information regarding designated assets, as well as their downloadable GIS datasets of Scheduled Monuments, Listed Buildings, Registered Parks and Gardens of Historical Interest, Registered Battlefields and World Heritage Sites.
- ◆ The National Record of the Historic Environment (NRHE) maintained by Historic England Archives at Swindon for information regarding archaeological assets and investigations collated at a national level.
- ◆ The Derbyshire Record Office (DRO) for available historic maps and any other relevant historic documents.
- ◆ The British Geological Survey onshore digital maps at 1:50 000 scale (DiGMapGB-50-WMS).
- ◆ Other relevant books and journals that are identified in the course of the data collection.
- ◆ A walkover survey to validate the results of the baseline data collection, to identify and record all built heritage and archaeological features and to determine whether any hitherto unrecorded sites may survive within the proposed development area.

5 BASELINE DATA

5.1 Archaeological and Historical Background

There is a paucity of information for prehistoric, Roman and early medieval activity within the Belper area, with no remains of these periods recorded on the Derbyshire HER within 500m of the PDA. The few known remains from these periods include a number of probable Bronze Age flint implements, including a barbed and tanged arrowhead, concave scrapers and small blades found c.1km to the west of the PDA as findspots within a field (HER 20414). Approximately 1km to the west of the PDA, a number of Romano-British potsherds and Roman coins have also been found in the area known as 'The Chevin' (HER 17006; 20410; 20416), in addition to a possible pottery kiln (HER 17007).

While no archaeological evidence relating to the early medieval period has been identified within Belper, it has been suggested that the place-name *Bradelei*, as recorded in the 1086 Domesday Book as a part of the manor of Duffield, was an early name for Belper (Cameron 1959, 526). However, the earliest confirmed reference to Belper comes from a 1231 Close Roll of Henry III (Lyte 1902, 545). Appearing to derive from the French *Beaurepair*, or 'beautiful retreat', this name is one of the three most important place-names in the UK with French origins (Stroud 2004, 4).

The medieval village of Belper lay within Duffield Frith, one of the smaller royal forests within the UK. Within this, there were a number of separately paled parks, including Lady Park, or Little Belper Park (HER 17016), which was located c.350m to the north-east of the PDA. While little is known about the medieval settlement itself at Belper, the 1314-15 Rolls of the Duchy of Lancaster indicate that ironworking was already established in Belper by this period. It is recorded that there were two forges working in Belper, producing 'iron bars for



[The Chapel of St John the Baptist’s?] *chappell windows, board nails and spikes*’ (Bentley 1986; Stroud 2004, 5).

Nailmaking was well established by the 14th century and may well have been established within Belper even earlier in the medieval period, with the easily worked local coal and ironstone deposits proving advantageous for this profession (Stroud 2004, 5). However, it appears that the nail trade within Belper remained small until the 18th century, with the introduction of blast furnaces, such as the ones at Morley Park, allowing for production to increase markedly.

Belper remained a small town throughout the late medieval and early post-medieval periods, as indicated by diocesan census and hearth tax records from the 16th-18th centuries. Burdett’s 1767 *Survey of Derbyshire* (Figure 3), while not providing much detail as to the environs of Belper, does depict the main settlement of Belper as focused around the town centre, with the site of the PDA on a slope far to the south. This survey does indicate the beginnings of Belper’s industrial history, with ‘*Mr Strutts Cotton Mill*’ depicted to the north of Belper town centre adjacent the river Derwent.

During the post-medieval period, the Enclosure Acts of the late 18th and 19th centuries compelled many landowners to enclose their holdings with various boundaries. A 1786 act was passed for the enclosure of remaining common lands in Duffield Parish, which included the area of Belper. The Belper Enclosure map of 1791 (Figure 4) indicates that the area of the PDA incorporated eight different plots of land, as seen below in Table 1.

Table 1: 1790-1 Belper Enclosure Award

Allotment No.	Allotment Details	Proprietors	Names of Inclosures
242	3acres.1rood.38perches.	Benjamin Rice	Beck Sick
243	0acres.2roods.28perches.	George Deline Gregory Esqr.	Half Acre
244	3acres.1rood.38perches.	John Rice	Alder Close
245	2acres.3roods.13perches.	John Norman	Beck Sick
246	0acres.2roods.22perches.	William Milward & others	Hopping Close
247	3acres.0roods.5perches.	Samuel Williams	Gregory Close
248	1acre.2roods.4perches.	John Norman	Round Hoppings
249	5acres.0roods.28perches.	Tristram Revell Esqr.	Cowhill Pingle and Close

In the late 18th/early 19th century, Belper underwent considerable change and expansion, due in part to the Strutt family cotton mills. The Duffield and Heague Turnpike Road (HER 99050) was authorised in 1793, which follows the line of the current A6/Derby Road, adjacent to the PDA. New public facilities and homes were built to meet the population boom, and the road network in Belper was comprehensively improved by the Strutt family, with their surveyor, James Hicking detailing the extensive alterations to the road network (Figure 5). This map combines several previously produced enclosure maps within Belper and Duffield, and includes greater detail about the area of the PDA, including updated ownership status (Table 2).



Table 2: 1805-18 James Hicking’s Map of Belper

Allotment No.	Owner/Occupier?	Allotment Details
242	Benjamin Rice	-
243	Gregory Esqr.	-
244	John Rice	-
245	John Norman/Samuel Williams	-
246	Milward, & c.	-
247	Samuel Williams	-
248	John Norman	-
249	William Barber	Cowhill Close: 3acres.1rood.3perches. The 2 Clowhill Closes are exchanges with William Barber for part of his Threegates Close & Spencer’s Pingle.

The North Midland Railway reached Belper in 1830, and its route follows the course of the River Derwent north and south of the town. The first station (HER 17054) was originally built c.300m to the north-west of the PDA, though this became irrelevant soon after the current station was built on King Street in 1878. The railway was constructed in a mile-long cutting (HER 17011), which allowed for a minimal disturbance to the established street pattern. A number of bridges and retaining embankments remain of this cutting, some of which are designated and non-designated heritage assets.

The 1844 Belper Tithe Map (Figure 6) does not provide a great deal of information about the PDA. Much like the earlier Enclosure and Strutt maps, the PDA is located within the boundaries of 8 different plots of open land, the majority of which are owned by William Brown and a Mrs Barber (Table 3). The plot names including ‘Beck Sitch’ indicate the allotments location adjacent to Becksitch Lane, possibly an earlier name of the road and potentially indicating they were all once a part of a larger field. The earliest known documentary reference to this fieldname dates to 1389 when *Beksiche* was recorded in a Duchy of Lancaster document, and it is thought to derive from a tautological formation of the Old Norse *bekkr* and the Old English *sīc*, both of which mean ‘stream’ (Cameron 1959, 526),

Table 3: 1844 Belper Tithe Award

Owner	Occupier	Plot No.	Description	State of Cultivation
William Brown	In Hand	1443	Upper Back Sitch	Arable
William Brown	In Hand	1444	Upper Back Sitch	Meadow
Trustees of Gregory’s Charity	John Harrison	1445	Hospital pingle	
William Hall	In Hand	1446	Little Back Sitch	
Mrs Barber	William Webster	1447	The Back Sitch	Pasture
Mrs Barber	William Hall	1448	Alder Close	Pasture
Mrs Barber	William Hall	1449	Alder Close	Pasture



Owner	Occupier	Plot No.	Description	State of Cultivation
Mrs Barber	William Hall	1451	The Meadow	Meadow

The first iron foundry in Belper itself was built in Queen Street in the 1820's by Messrs Carr & Bridges. They went out of business in the mid-19th century, after which the premises were used in quick succession by various firms (Stroud 2004, 11). Smedley Bros. came to the Queen Street location in 1855, with three of the six brothers of the Smedley family (Frederick, Alfred and James) quickly establishing the first of the two of the Smedley Bros. foundry businesses. Eagle Foundry (later Eagle Iron Works) began to manufacture not only brick, brass and iron castings but also specialised in the production of larger items, such as boilers and grinding mills. Eagle Foundry moved in 1858 to its location on Becksitch Lane, c.100m to the north of the PDA (HER 17046), where it remained until its closure in 1970.

The second of the Smedley Bros. foundry businesses, Park Foundry, was established in 1873 at the former Queen Street/Eagle Foundry site by the younger Smedley brothers John and Ebenezer. Much as with Eagle Foundry, the Queen Street site soon proved to be inadequate and the business was moved to New Road Foundry, c.950m to the north of the PDA, in 1877 (HER 17055). Park Foundry obtained its name from this site, due to its proximity to nearby Belper Park. Throughout the 19th century, Park Foundry manufactured a range of small iron goods, such as fire-grates, ovens, troughs and a variety of ornamental items.

A search of historical trade directories has followed the movement and growth of Park Foundry from its establishment until the mid-20th century (Table 4).

Table 4: Trade Directories

Directory	Year	Description
C.N. Wright's Directory of South Derbyshire	1874	Park Foundry Co. Queen Street
Kelly's Directory of Derbyshire	1881	Park Foundry Co. general iron founders
Kelly's Directory of Derbyshire	1887	Park Foundry Co. general iron founders
Kelly's Directory of Derbyshire, Leicestershire and Rutland, and Nottinghamshire	1891	Park Foundry Co. stove & range makers
Kelly's Directory of Derbyshire, Nottinghamshire, Leicestershire & Rutland	1899	Park Foundry Co. ironmongers, stove & range makers & brick manufacturers
Kelly's Directory of the Counties of Derby, Nottingham, Leicester and Rutland	1912	Park Foundry Co. Ltd. Iron founders, Derby rd. TN 10
Kelly's Directory of Derby, Nottingham, Leicester and Rutland	1925	Park Foundry Co. (The), iron founders, Derby road. TA " Park Foundry, Belper; " TN 10
Kelly's Directory of Derbyshire	1932	Park Foundry Co. (The), iron founders, Derby road. TA " Park Foundry, Belper; " TN 10
Kelly's Directory of Derbyshire	1941	Park Foundry (Belper), iron founders, Derby road. TA " Park Foundry, Belper; " TN's 210-211



At the end of the century, despite being enlarged in 1884, the New Road site was rendered inadequate for business demands and the Park Foundry premises were moved to a site on Derby Road. This site was chosen not only due to its proximity to Eagle Foundry to the north, but the expansion opportunities the site afforded the company. Prior to Park Foundry occupying the site, the 1881 OS Map (Figure 7) depicts an L-shaped building, labelled iron foundry, and a brick field within the northern reaches of the PDA. It is possible that Smedley Bros. owned this site prior to the Park Foundry relocation, as a 1900 Prospectus (DRO D2071/1) of the Derby Road Park Foundry site states that *'the firm, therefore, have built additional new and thoroughly up-to-date premises on their own freehold lane situate at Derby Road, Belper...'* It has also been noted by Douglas Alan Smedley, grandson of Eagle Foundry founder Alfred Smedley, that from the outset, the Smedleys made bricks and that some of the clay came from the site of the boiler yard on Becksitch Lane [next to Park Foundry] (Barrass 1998, 38).

Park Foundry Company Limited officially opened its Derby Road premises in 1898, after carrying out considerable excavation works within the PDA in order to provide a level surface for the new structures (Barrass 1998, 62). The 1900 Prospectus describes the Park Foundry site as follows:

'These Premises...comprise Foundry, Pattern Shops, Nickeling, Bronzing and Electro Plating Rooms, Finish Shops, Fitting Shops, Carpenters' Shops, Engine House, Workrooms and Storerooms, Gas Works, &c., covering together with 14 Freehold Houses and 2 Villas, an area of about 13 acres. There is also a Brickyard and Plant at Derby Road, capable of turning out about 60,000 Bricks per week'

The 1900 OS Map (Figure 8), shows the significant ground works which been carried out within the PDA, not only during for the construction of the new Park Foundry buildings, but also the removal of the clay for the brick works. Two large structures, with a connecting passageway and a glass and iron roof, form the core of the new Park Foundry Iron Works, situated south of the existing L-shaped building and brick yard documented on the 1881 OS Map. The northern brick yard had expanded to include several small structures, including a chimney and two potential circular gas tanks, with clay extraction appearing to be concentrated to the north-east. To the south, a large building with a detached chimney had also been constructed for the new brick works in this area, which appear to obtain clay from a clay pit to the east. The two villas and gardens are to the west of the new southern brick works, facing Derby Road, and appear to be surrounded on all sides by fencing, separating the homes from the remainder of the PDA.

By the time the 1914 OS map was produced (Figure 9), a new building had been constructed to the south of the main Park Foundry buildings and east of the southern brick works building. A small addition had been added on to the brick works building, connecting the previously detached chimney to the main southern brick works complex. Further extraction works have been carried out within this southern area, while the northern brick works are now labelled as 'disused'. The two potential circular gas tanks had been removed, and an area in the north-western part of the PDA depicted a 'T.C.', or travelling crane. Whilst not in the PDA, several more homes had been built along Becksitch Road, including the new main entrance archway to Park Foundry.



The Park Foundry brick works ceased production in the 1920s, when the brick kiln was demolished. The 1938 OS map (Figure 10) shows the extent of the brick extraction within the northern and southern areas, as well as the demolition of the brick works structures in the northern area. A new structure had also been constructed to the west of the main Foundry buildings.

In 1929, Park Foundry became part of Bratt Colbran Limited, which then in turn joined the Radiation Group in 1936. The war and post-war years saw a huge demand in materials: first for castings for various weapons and aircraft parts and later, a need for prefabricated houses for returning servicemen. By the mid-20th century, Park Foundry had increased its floor space by 25%, with new additions to the south replacing the former southern brick works buildings. The 1968 OS Map (Figure 11) shows the substantial change the PDA underwent since the 1930s. The main factory building, labelled as 'Engineering Works', appeared as one large L-shaped structure, though a 1971 aerial photograph of the premises indicates this large structure is composed of multiple smaller buildings (Barrass 1998, 70). The grounds within the southern and south-western part of the PDA appear to have been excavated in order to provide a level surface for transport and car parking. Several temporary structures had been constructed within the eastern part of the PDA; whilst two new buildings were present within the western part of the PDA, adjacent the pair of villas. These two new western buildings would later be joined as one office block in 1970. In the northern part of the PDA, the traveling crane had a small building attached to its eastern extent, while the entire north-eastern corner was labelled as 'slag heap'.

Park Foundry was incorporated into the Tube Investment conglomerate sometime in the late-20th century. Despite the enormous success in the mid-20th century of the Parkray solid fuel room heaters, the economic, domestic and political changes in the 1980s lead to Park Foundry folding. By 2005 (Figure 12), the majority of the small outbuildings within the PDA had been demolished, with the large 'Works' building having also been modified slightly on its southern and eastern extents. Aerial photos indicate that the two villas were demolished sometime between 1968 and 1999, while the adjacent large office building was partially demolished in 2009. Presently, the site is occupied by Werner Co.

5.2 Designated Heritage Assets

On-Site

The PDA is located entirely within the buffer zone of the Derwent Valley Mills World Heritage Site (NHLE 1000100), an industrial landscape of high historical and technological interest. The extent of the World Heritage Site is depicted on Figure 13 and is also listed in further detail in the gazetteer in Appendix 1.

Off-Site

There are sixteen designated heritage assets listed on both the Derbyshire HER and NHLE located within the wider 500m study area. They comprise fifteen Grade II Listed Buildings and the Belper and Milford Conservation Area. Details of these heritage assets are listed below in Table 5 and in the gazetteer in Appendix 1, and are illustrated in yellow and pink respectively on Figure 13.



Table 5: Designated heritage assets within the wider study area

NHLE ID	HER ID	NRHE ID	Name
-	DDR6971	-	Belper & Milford Conservation Area
1087358	DDR2092		Sunny Bank House, 56A, The Fleet <i>Grade II</i>
1087359	DDR2093	-	Street Boundary Wall, and Baulks Gate Piers at No.66 <i>Grade II</i>
1087386	DDR2120	-	21,22 and 23 Derby Road <i>Grade II</i>
1099164	DDR2043	-	93 Derby Road <i>Grade II</i>
1100297	DDR2059	-	2 and 3 Foundry Lane <i>Grade II</i>
1100335	DDR2060	-	Fleet Cottage, No.66, The Fleet <i>Grade II</i>
1109229	DDR2394	513167	Wildersley Farmhouse <i>Grade II</i>
1335295	-	-	Hopping Hill Terrace East Terrace, 1-14 <i>Grade II</i> Hopping Hill Terrace West Terrace, 15-23 <i>Grade II</i>
1335301	DDR2596	-	Zion Methodist Church <i>Grade II</i>
1335304	DDR2599	1367756	31-52 Hopping Hill <i>Grade II</i>
1335685	DDR2717	-	Gibfield Lane Bridge over Railway <i>Grade II</i>
1335696	DDR2728	-	47 Derby Road <i>Grade II</i>
1390601	DDR2771	-	20,22 and 24 Derby Road <i>Grade II</i>
1417680	DDR8294	-	Strutts Bridge <i>Grade II</i>
1417689	DDR8301	-	Derby Road Bridge <i>Grade II</i>

5.3 Non-Designated Heritage Assets

On-Site

The Derbyshire HER lists one non-designated heritage asset as being located within the boundary of the PDA. The site was once the location of Park Foundry Iron and Brick Works (HER 17094), established by the Smedley Brothers in the mid-19th century and moved to this location in the late 19th century. This asset is depicted in brown on Figure 14, and is listed in further detail in the gazetteer in Appendix 2.

Off-Site

The Derbyshire HER lists a further 21 non-designated heritage assets as being located within the wider 500m study area. The majority of these remains are related to the post-medieval and modern industrial history of Belper. Details of these remains can be found in the gazetteer in Appendix 2 and their locations are depicted in brown on Figure 14.

5.4 Historic Landscape Characterisation

On-Site

The PDA is located within two HLC types, as listed below in Table 6. These two HLC types indicate that the area of the PDA remained as open land until the 1880s, when residential



dwellings and industries were established within the southern extent of Belper. These HLC units are depicted on Figure 15 and are listed in further detail in the gazetteer in Appendix 3.

Table 6: HLC types Located within the PDA

HLC ID	HLC broad type	HLC primary type
HDR 3563	Industrial	Post-1880s Industrial Complex
HDR3564	Settlement	Post-1880s Settlement

Off-Site

There are a further 22 HLC types within the wider 500m study area. These are listed in detail in the gazetteer in Appendix 3 and their locations are depicted in Figure 15.

6 SITE WALKOVER

A site walkover was undertaken in fine/overcast conditions. The aims of the walkover were to provide an up to date account of the site conditions within the PDA, including a detailed appraisal of all the current, extant structures (see section 7 below). A map has been created depicting key viewpoints photographed during the assessment (Figure 16).

Currently, Derwentside Industrial Park is accessed from a single entry point from Derby Road which, in addition to a substantial tree line and a stone and brick wall, forms the south-western border of the PDA (Figure 17). Visible within this stone and brick wall are two sets of sandstone pillars, which demarcate the former street entrances to a pair of villas built by the Smedleys in the late 19th century and demolished sometime between 1971 and 1999 (Figure 18). Currently, the site where these villas once stood is empty, with large areas overgrown with brush and trees. There are several small brick walls within this area, which potentially align with the former rear garden walls of the villas, though it is likely that these walls were repurposed post-demolition and are associated with the adjacent Buildings L and M (see section 7.12 below) (Figures 19-20). A 1971 aerial photograph of Park Foundry indicates that the site to the north of the villas was the location of a former sports field, though this is not recorded on any OS mapping (Barrass 1998, 70). There is a small gate located within the entrance of Derwentside Industrial Park, first depicted on the 1968 OS Map (Figure 11), which potentially provided access to this sports field. Currently, this area is completely overgrown with vegetation (Figures 21-22).

The PDA is bounded to the north-west by residential dwellings along Becksitch Lane, several of which, as previously mentioned in section 5.1 above, were built by the Smedleys when they redeveloped the land in the late 19th century (Figures 8 and 23). The former main entrance archway to the site is still visible at the junction of Becksitch Lane and Derby Road, and this archway has retained its original dressed sandstone masonry with the name and date of the former Foundry inscribed (i.e. *Park Foundry Coy. 1899 AD*) on its pedimented gable (Figure 24). A brick wall separates the rear gardens of these homes from the PDA (Figure 25).



The north-western part of the PDA was the site of several early structures, as depicted on the 1881 and 1914 OS maps (Figures 7 and 9). The first, a building found adjacent to Buildings A and J, was demolished between 1971 and 1999 and the area is currently covered in hard standing (Figure 26). North of Building A was the location of several structures that are no longer extant. A potential circular gas tank and also a chimney were once found immediately to the north of Building A, though they were demolished by 1914 and 1938 respectively. A travelling crane and associated building were also found to the north of Building A, though these structures were demolished after 1971 and the area is currently covered in hard standing and utilised for overflow equipment storage (Figure 27). A sloping area of vegetation is also located between Building A and the northern boundary of the PDA.

The northern boundary of the PDA is formed by both a substantial concrete retaining wall and a dense mixture of underbrush and trees, and follows the line of a road that mimics the northern perimeter of the PDA (Figure 28). This retaining wall and vegetation also form part of the eastern boundary of the PDA, extending to the south where it dwindles down in both size and density. The wall within the middle portion of the eastern boundary is formed with a brick base, at least eight courses in height which is still partially faced, and is topped with several rows of dressed stone blocks (Figure 29). Set within this wall are the remains of a cast-iron bearing housing, which is now almost entirely overgrown with vegetation. This bearing housing probably relates to a small structural extension eastwards from Building D, as depicted on the 1968 OS Map (Figure 11) where a horizontal drive shaft may have been mounted. East of this wall, the land slopes down from both the northeast and southeast towards the eastern boundary wall, giving an indication as to what the original topography of the site may have looked like prior to extensive excavation and redevelopment works in the late 19th/early 20th century (Figure 30).

To the east of Buildings D and E is an abrupt difference in ground level, which represents an early phase of buildings that have since been demolished. This deep level, which is several meters in depth in some areas, runs along the eastern perimeter of Building D and potentially represents part of the original footprint of one of the original Park Foundry buildings, as depicted on the 1900 to 1938 OS maps (Figure 31). The wall in this area appears to be composed of partially faced brick and also contains a series of upright steel stanchions, which would have supported a roof structure. This deep level continues around a corner to Building E and terminates at its south-eastern corner (Figure 32). This deep excavation around Building E potentially represents an extension carried out sometime between 1938 and 1968.

The eastern part of the PDA also contains the remains of several structures that have since been partially demolished. A steel structure, which is adjacent to the deep section adjacent Building D, is overgrown with vegetation. This structure potentially represents part of the extension of Park Foundry, which occurred between 1938 and 1968 (Figures 33 and 34). Just beyond the southern extent of this steel structure are the remains of several brick walls and a set of stairs, partially built into the retaining wall of the eastern boundary (Figure 35). These remains probably represent the extent of the south-eastern extension to Park Foundry carried out between 1938 and 1968.



The remainder of the eastern border of the PDA is composed of a brick retaining wall of c.25 courses in height, which separates Derwentside Industrial Park from the substantially rising landscape beyond (Figure 36). Lining the wall in several areas are stacks of metal frames, probably once used for storage within the factory itself (Figure 37). Within this area of the PDA, the 1968 OS Map once depicted several structures, which have since been demolished. There are no visible remains of the majority of these structures within the PDA, with the exception of four overgrown concrete platforms which represent the locations of four parallel rectangular storage structures, as shown on both the 1968 OS Map and the 1971 aerial photograph (Figure 38).

Much of the south-eastern and southern part of the PDA underwent extensive extraction for the associated Brick Works that ran at Park Foundry. As such, the perimeter of the PDA within this area is at much higher ground level than that of the location of the main factory buildings (Figures 39 and 40). The ground level around the perimeter slopes from the east to the south, until it becomes level with the main factory ground level, which is composed of hard standing and gravel (Figure 41). The majority of the perimeter of the PDA is covered in extensive tree growth, shielding the PDA from the residential dwellings to the south. An access road follows the perimeter of the PDA to the main entrance of the PDA (Figures 42 and 43). There is a large car park in the south-western part of the PDA, which is only accessible from within the Industrial Park boundaries. This car park is bordered on all sides by substantial vegetation and is covered in a mixture of hard standing and gravel (Figure 44).

No upstanding features of potential archaeological interest were identified within the boundaries of the PDA.

7 HISTORIC BUILDING APPRAISAL

A historic building appraisal of the standing buildings at the former Park Foundry, Derby Road, Belper, was carried out by Alvaro Mora-Ottomano (BA Hons, MSc) of ARS Ltd who is a corporate member of the Chartered Institute for Archaeologists (ACIfA 5297) and the Institute of Historic Building Conservation (2583AFF). A brief text description of each building is provided, with an assessment of its chronology, original and subsequent purpose and an evaluation of architectural and historic significance based on the existence or non-existence of statutory and non-statutory designations and also on the author's professional judgement formulated by a substantial experience of historic building analysis including industrial sites.

The site contains a series of buildings, some of which have been amalgamated and their internal spaces connected with little divisions. For the purpose of this survey, the definition 'building' is used to describe a built structure within the confines of the site boundary, identifiable as a single construction, and which may have more than one phase of use or alteration. A plan of the site has been produced with the buildings' identification codes used in this discussion (Figure 2). A description of each building follows below with selected photographic plates (Appendix 4).



7.1 Building A

Building A is a large single-storey steel-framed warehouse clad with metal sheeting. It has an M-shaped roof with a central valley covered with corrugated asbestos sheeting. It is built over a raised concrete platform (Figures 45 - 47). This range was built in the late 20th century as a 'Billet Store' and 'Wood Shed' of the 'New Factory Area' which has little historic or architectural significance.

7.2 Building B

Building B is a large and tall single-storey steel-framed warehouse clad with metal sheeting and has a shallow pitched roof. Internally it has a concrete floor and is connected to the adjacent Building C through a staircase as this one is positioned on higher ground (Figures 48 - 49). This range was built between the production of the 1968 and 1977 OS maps as an 'Extrusion Press' of the 'New Factory Area' which has little historic or architectural significance.

7.3 Building C

Building C is a large single-storey steel-framed warehouse clad with metal sheeting and has a shallow M-shaped roof with a central valley. It is built over a raised concrete platform. Internally it has an intact gantry with its cabin, hoist, etc. within the steel frame (Figures 50 - 52). This range was built between the production of the 1968 and 1977 OS maps as an 'Extrusion Plant top level' of the 'New Factory Area' which has little historic or architectural significance.

7.4 Building D

Building D is a rather large single-storey steel-framed warehouse clad with metal sheeting. It has three parallel shallow pitched roofs with central valleys. The northern elevation contains vestiges of an earlier building composed of a brick wall containing former openings with segmental arched heads. The openings, mostly windows, are now blocked-up with later brickwork. There is a short section of a recessed and parallel wall which also contains a blocked-up arched opening which might have been a doorway within a partition wall of a former building.

The interior is a vast warehouse with a concrete floor which appears to have laid over a reduced ground level although the northern area adjacent to the elevation with earlier fabrics and the westernmost area along the elevation dividing this building with the adjacent Building I contain a concrete floor positioned higher than the main warehouse and include basement rooms underneath, such as a canteen within the northern area and general storage rooms within the western side. The western elevation also contains remains of an earlier structure which are described within the adjacent Building I (Figures 53 - 61). This present range was built in the late 20th century replacing a series of buildings including two large structures which formed the core of the former iron foundry dating to the late 19th century. The present construction appears to have truncated any possible internal features of the former structures due to its reduced ground level. However, limited evidence of the former foundry workshops were identified along the north elevation and the dividing wall between this range and the adjacent Building I. The primary structural



elements are of some local historic significance although architecturally they have been considerably mutilated and thus have lost integrity and value.

7.5 Building E

Building E is a large single-story steel-framed warehouse clad with metal sheeting and brick plinth. It has a shallow pitched roof and concrete floor (Figures 62 - 63). This range was built between the production of the 1955 and 1968 OS maps as a 'Goods In' warehouse of the 'New Factory Area' which has little historic or architectural significance.

7.6 Building F

Building F is a large single-story steel-framed warehouse clad with metal sheeting and has a shallow pitched roof. Internally it has a concrete floor (Figures 64 - 65). This range was built in the late 1960s, as indicated by cartographic records. Its southernmost extension was completed in 1970. It consists of a modern storage warehouse which has little historic or architectural significance.

7.7 Building G

Building G is a large single-storey steel-framed warehouse clad with metal sheeting and has a shallow pitched roof. The eastern elevation facing onto the courtyards of the works is slightly detached from the steel frame and contains loading bays within a brick wall which includes at least three openings with segmental arched-heads. One acts as a doorway whereas the others are now blocked-up with later bricks. Internally it has a concrete floor, brick walls and continuous clerestory-like windows. The doorway leading into the courtyards was also visible inside within a projecting brick construction which appears to be the western wall of a former building which was demolished in the late 20th century, as indicated by cartographic records (Figures 66 - 70). This range was built between the production of the 1968 and 1977 OS maps as a storage area which has little historic or architectural significance. However part of the eastern elevation contains remains of a building located within the present courtyard which was built between 1900 and 1914 as indicated by cartographic records.

7.8 Building H

Building H is a narrow infill-like structure connecting the adjacent warehouse within Building K. It is built with bricks, concrete and steel girders and stanchions. It has a basement which forms part of the area known as the 'tunnel' providing internal access to storage rooms at each side of the passageway-like tunnel (Figures 71 - 72). This range was built in the late 1960s as indicated by cartographic records as part of a large warehouse connected to the adjacent Building K. It appears to have partially replaced an earlier structure positioned within its southern half although no remnants of it were identified. The present range has little historic or architectural significance.

7.9 Building I

Building I is in essence the northern area of the so-called tunnel although this range only comprises a single-storey structure at basement level, containing a shallow pitched roof built with steel joists and metal cladding. Of note is the eastern elevation which corresponds to an external wall of a former structure which currently divides this range with the adjacent



Building D. The wall is built with bricks and contains several window openings and doorways. The openings have segmental arched-heads. The doorways contain late concrete steps as the area within the adjacent Building D has a higher floor level (Figures 73 - 75). This range was built between the production of the 1955 and 1968 OS maps as an infill between the western elevation of Building D, which contains structural elements of a primary building of the former iron foundry dating to the late 19th century, and the eastern elevation of Building J. The present range has little historic or architectural significance although the dividing wall between Buildings D and I constitutes a limited survival of the former foundry and thus of some local historic importance.

7.10 Building J

Building J is a single-storey range built with brick, concrete and steel frame containing a north-light roof cladded with metal sheeting (Figures 76 - 78). This range forms part of the late 20th century remodelling of the works comprising a warehouse. However, most of its outer brick walls correspond to an earlier building which was constructed between the production of the 1914 and 1938 OS maps. Nevertheless, it has little historic or architectural significance.

7.11 Building K

Building K is a long two-storey brick-built range with a flat roof. It has a staircase block of three storeys projecting towards the central lane as well as a single-storey small gate house with an associated weighing bridge along the lane. It also includes a southern cross-wing projecting towards the central lane with a curved wall which bears some resemblance with Art Deco architectural style. Internally the building is a large warehouse with clerestory-like continuous Crittall-type windows. It has a concrete floor and steel stanchions and girders supporting metal sheeting cladding the roof. The northern end of the ground floor is slightly lower than the remaining space. Inside the southern cross-wing with the curved wall there is a garage with a concrete ceiling which contains several circular skylights (Figures 79 - 88). Despite containing an Art Deco-like component the present construction was built between the creation of the 1955 and 1968 OS maps, replacing and/or incorporating earlier fabrics of a former structure within the southern area which was part of the former iron foundry dating to the late 19th century, although no remnants of it were identified. Nevertheless, it has little historic or architectural significance.

7.12 Building L

Building L is a single-storey brick-built range with a flat concrete roof which contains a short copped parapet concealing the rain gutter which leads to cast-iron hoppers of the rain water goods decorated with a rose, possibly of the House of York based on the location of the points around the circumference, with a single point at the base of the flower. Its front elevation facing onto the central lane contains several small windows and a doorway. This present construction is only a small portion of a larger structure which was partially demolished in around 2010, as was an adjacent building to the west, following structural instability (information provided by the site's owner). Internally it contains toilets and a lobby room built with bricks and concrete (Figures 89 - 91). This range was built between the production of the 1955 and 1968 OS maps as a part of an office block which has little historic or architectural significance.



7.13 Building M

Building M is a three-storey brick-built range which abuts the adjacent Building L. Its masonry resembles Building L although there is a clear construction break/joint between them. It is the main office block and showroom with modern fabrics including stud wall, suspended false ceiling, etc. (Figures 92 - 95). This range was completed in June 1970 as a new office block with reception area, showroom, etc. which has little historic or architectural significance.

7.14 Buildings Assessment

The large majority of the building on site appears to have been part of modern remodelling of the works and little evidence of the former foundry or brick works survives. A few vestiges of earlier structures dating the late 19th century and early 20th century were identified within Building D and G although with substantial alterations and disfigurements. Internally, any buildings erected within the footprint of earlier structures appear to have been significantly altered in order to accommodate different purposes, and thus they do not retain any primary fixtures and fittings. The buildings therefore are undesignated heritage assets of limited historic significance or architectural merit.

The buildings are proposed to be demolished which will offer an opportunity to re-develop the site. It is apparent that the application proposals would not heavily impact upon the historic integrity of heritage assets, and the proposal represents a positive opportunity to provide a viable future for the site which, if left vacant, it may deteriorate.

8 SETTING ASSESSMENT

An assessment was carried out to gauge any potential setting impacts to nearby designated heritage assets. The impact to the settings of these assets has been undertaken using the guidelines set out in Historic England's (2015) *Historic Environment Good Practice Advice in Planning. Note 3: The Setting of Heritage Assets*. A map has been created depicting key viewpoints photographed during the assessment (Figure 16).

There are fifteen Grade II Listed Buildings located within 500m of the PDA, eight of which are located within the Belper and Milford Conservation Area (DDR 6971). All of these buildings were visited to see if the PDA was visible from their respective locations. It was determined that no views of the PDA were possible from any of these assets, as the dense foliage surrounding the perimeter of the PDA, in combination with existing residential and commercial dwellings and natural topography of the landscape, shields the PDA from each site. Consequently, as the proposed development would have no impact upon the setting of these assets, they have been omitted from further assessment.

The PDA is adjacent to the Belper and Milford Conservation Area (DDR 6971), which denotes an area of rich historical and architectural importance. As policy EN27 of the Amber Valley Adopted Local Plan (2006) requires that '*development proposals adjacent to Conservation areas contribute to the preservation and enhancement of the Conservation Area*', it is necessary that any proposed development not detract from the special interest, character and appearance of the Conservation Area. Ground observations from within the Conservation Area showed that the majority of views towards the PDA are limited, due to



the significant tree coverage surrounding the majority of the perimeter of the PDA, and also the residential dwellings around Becksitch Lane. The proposed development plans for the site indicate that the current entrance way into the site (Figure 17) will be reutilised as the main entrance into the proposed new residential development, in addition to the retention of the current brick and stone boundary wall along Derby Road and extensive tree coverage surrounding the entire site. The two former villa entrances along Derby Road (Figure 18) would also be reopened for pedestrian access points into the site, which would positively add to the Conservation Area by restoring a previous feature within this area.

The proposed site plans also suggest that the proposed residential dwellings, which include both two and three storey homes, would not be any higher than the existing structures currently within the boundary of the PDA. Additionally, it should be noted that the Amber Valley Borough Council Conservation Officer has determined that *'the proposed redevelopment of Derwentside Industrial Park into a residential estate would have a neutral visual impact and would not significantly harm upon the setting of the Conservation Area, taken on the basis that the boundary treatment and trees remain unaltered and the proposed redevelopment should be of a high design quality'*. Based on both the ground observations, proposed development plans and the Conservation Officer's comments, it has been determined that the proposed development would have a neutral impact upon the setting on the Conservation Area.

The PDA is located entirely within the buffer zone of the Derwent Valley Mills World Heritage Site (NHLE 1000100), an industrial landscape of high historical and technological interest, though the site itself is not specifically referenced within the WHS listing. The eastern boundary of the PDA abuts the Core Area of the World Heritage Site (WHS), and the majority of the WHS Core Area is included within the Belper and Milford Conservation Area boundary. The landscape surrounding the PDA within the WHS boundaries was walked to assess the potential visual impact of the proposed development. Views of the PDA from within the Core Area of the WHS are restricted immediately to the north and south of the PDA from Derby Road, due to the adjacent residential homes, perimeter trees and vegetation (Figure 96). The views are much the same when viewing the PDA from the adjacent Becksitch Road (Figure 97). Holbrook Road is situated on a rise c.20m above the northern boundary of the PDA. Views from this road towards the PDA are obscured, due to a dense outcrop of vegetation, which extends almost the entire way down to the north-eastern boundary of the PDA (Figure 98). Wildersley Road forms part of the eastern boundary of the WHS Buffer Zone (Figure 99). The entire length of this road was walked, and it was determined that views of the PDA are possible from several points along this road (Figures 100 and 101). These views include the tops of the buildings within the PDA across to the Chevin on the west bank of the River Derwent. The landscape to the south of the PDA is much lower than that within the PDA, and this topographic difference, in combination with the substantial treeline along the southern boundary of the PDA, shields the PDA from view (Figure 102).

Viewed from Chevin Road, on the western side of the River Derwent, views of the PDA do exist along the road, though they are broken up by trees across the landscape. These views include the concentration of modern factory buildings within this area of Belper, various residential dwellings, and the wider, undeveloped landscape to the south (Figures 103 and 104). The PDA can be seen in the same sweeping view from one spot along Chevin Road as



the Strutt East Mill (NHLE 1336982; 1335664) (Figure 107), which provides a juxtaposition between the historic, industrial core of Belper with the modern, industrial area within which the PDA is located (Figures 105-107).

9 ASSESSMENT OF THE SIGNIFICANCE OF AFFECTED HERITAGE ASSETS

The approach to the assessment of significance is set out in *Conservation Principles* (English Heritage 2008), which states that the significance of heritage assets derives from the 'heritage value' that they possess, which may be *evidential*, *historical* (either *illustrative* or *associative*), *aesthetic* or *communal*. Reference is also made to 'heritage significance' as described in NPPF, which is defined as the '*value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting*' (DCLG 2012, 56).

The Derbyshire HER lists one non-designated heritage asset as being located within the boundary of the PDA: Park Foundry Iron and Brick Works (HER 18094). All the buildings within the site have been discussed in section 7 above, where it was determined that many of these structures appear to be the by-product of the mid-20th century remodelling of Park Foundry, albeit some altered early fabric does survive within Buildings D and G. The site walkover (section 6 above) also identified areas within the eastern part of the PDA where fabric from early phases of Park Foundry still exist, though once again significantly altered. These remains derive their significance primarily from their *associative historical value*, based on their relationship with the Smedley Brothers and the early development of Park Foundry. These remains also derive some significance from their *evidential* and *illustrative historical* value for the study of our industrial heritage, resulting in them possessing *architectural interest*, though this significance is limited due to the high degree of alteration of the surviving fabric.

The Derwent Valley Mills WHS (NHLE 1000100), inscribed on the UNESCO World Heritage List in 2001, is an industrial landscape of high historical and technological interest and includes a number of key buildings and industrial settlements within its boundaries. The WHS as a whole derives its significance primarily from the *illustrative historical value* of the visible remains of the numerous mills, canals, railway and workers' housing which form the majority of the structures within the Derwent Valley, resulting in them possessing both *historic* and *architectural interest*.

The significance of the WHS also derives from the *associative historical value* that it possesses. The Industrial Revolution began in the Derwent Valley, first with Sir Richard Arkwright, who was the first to harness river power for the operation of a mill, and later with the Strutts and Smedleys, who contributed much to the improvement of Belper itself. The visible remains of these various industrial structures possess *evidential historical value*, in that they are the physical manifestation in the landscape of the Industrial Revolution.

The World Heritage Partnership has raised concerns with the proposed change in land use of the PDA, from that of the Post-1880s industrial complex (HDR 3563) to residential. The significance of the landscape within the WHS derives mainly from its *illustrative historical* and *aesthetic value*. While the setting of the WHS does not contribute to its *evidential* or



associative historical value, it does contribute to both its *illustrative historical value*, and also its *aesthetic value*. The insertion of industrial establishments into what was once a largely rural setting during the 18th and 19th centuries has created a unique cultural landscape that has been fairly well preserved.

10 ASSESSMENT OF POTENTIAL IMPACTS

Potential direct physical impacts on heritage assets during the construction phase include the following:

- ◆ The demolition of all extant structures within the boundaries of Derwentside Industrial Park.
- ◆ Removal or truncation of heritage assets during ground works, site clearance and construction (e.g. removal of vegetation, erection of fencing, traffic movement, removal of hardstanding).
- ◆ Other groundworks associated with the construction of multiple new residential dwellings, such as service trenches, which have the potential to damage or destroy below ground features or deposits of cultural heritage value, should they be present.

The site of the Smedley Brothers Park Foundry (HER 18094) was once located within the boundaries of the PDA. Some early fabric survives within Buildings D and G, and also within the eastern part of the PDA, though the majority of the structures on site are a result of the mid-20th century remodelling of Park Foundry. Due to the high degree of remodelling to the structures and the extensive ground disturbances within the PDA as a result of early extraction and construction works, it is likely that the majority of the below ground remains associated with Park Foundry have been destroyed. However, there is still the potential for some below ground remains to survive within the northern part of the site (adjacent and north of Buildings D, I and J), as it appears this part of the site may have been less developed than the remainder of the site.

The proposed development would result in a visual change to a part of the landscape of the Derwent Valley Mills WHS Buffer Zone from industrial to residential. The industrial character of the Derwent valley contributes to both the *illustrative historical* and *aesthetic values* of the WHS. However, while the buildings themselves are industrial in nature, they are not as significant as many of the other important industrial structure within the WHS (East Mill, Cromford Mill, etc.) as they are mostly of 20th century date. The loss of these buildings would not result in a change to Outstanding Universal Value (OUV). While there would be a loss of industry within this area, the addition of a residential estate in this area would provide an opportunity to add to the wider landscape, which to the north is primarily residential, and with careful design could provide a more aesthetically pleasing view across the landscape than the 20th century industrial buildings currently on site.

11 RECOMMENDATIONS

This heritage impact assessment and building appraisal has identified several small areas of surviving fabric within the PDA, though it is considered they are of limited historical and



architectural significance. The demolition of these buildings will offer an opportunity to provide a viable future for the site which, if left vacant, may deteriorate.

Much of the PDA has been disturbed as a result of the extraction and construction works carried out by Park Foundry in the 19th and 20th centuries, and therefore it is considered that the archaeological potential of this area is considered to be low. However, there is still the potential for some early remains to survive below ground within the northern part of the site, which appears to have been less developed than the remainder of the industrial complex. It is recommended that, should the proposed development receive planning permission, a programme of archaeological works could be carried out as a condition of the planning permission, taking the form of targeted evaluation trenching after demolition to slab level of the existing industrial complex which, depending on the results of the trenching, may be scaled up to a strip, map and sample excavation.

It is also recommended that the buildings within the proposed residential estate should be designed so as to be sympathetic to the surrounding landscape and townscape.

12 STATEMENTS AND ACKNOWLEDGEMENTS

12.1 Archive Deposition

One bound copy of the final report with an attached digital PDF/A copy on disc will be deposited with the Derbyshire Historic Environment Record (HER). The disc will also include a digital archive, consisting of relevant ArcGIS shapefiles or CAD files, for use of updating the HER database. A PDF copy of the report will also be uploaded as part of the OASIS online record (<http://ads.ahds.ac.uk/project/oasis/>) for submission to the HER.

12.2 Publicity, Confidentiality and Copyright

Any publicity will be handled by the client. Archaeological Research Services Ltd will retain the copyright of all documentary and photographic material under the Copyright, Designs and Patent Act (1988).

12.3 Statement of Indemnity

All statements and opinions contained within this report arising from the works undertaken are offered in good faith and compiled according to professional standards. No responsibility can be accepted by the author/s of the report for any errors of fact or opinion resulting from data supplied by any third party, or for loss or other consequence arising from decisions or actions made upon the basis of facts or opinions expressed in any such report(s), howsoever such facts and opinions may have been derived.

12.4 Acknowledgements

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APPENDIX 1: GAZETTEER OF DESIGNATED HERITAGE ASSETS

WORLD HERITAGE SITES

NHLE ID	HER ID	NRHE ID	Description
1000100	-	-	<p>Derwent Valley Mills: Core Area and Buffer Zone</p> <p>The Derwent Valley contains a series of 18th and 19th century cotton mills and an industrial landscape of high historical and technological interest. The modern factory owes its origins to the mills at Cromford, where Richard Arkwright's inventions were first put into industrial-scale production. The workers' housing associated with this and other mills remains intact and illustrates the socio-economic development of the area.</p>

LISTED BUILDINGS

NHLE ID	HER ID	NRHE ID	Name
1087358	DDR2092		<p>Sunny Bank House, 56A, The Fleet <i>Grade II</i></p> <p>Late 18th/early 19th century, coursed stone, tiled roof with end brick chimneys.</p>
1087359	DDR2093	-	<p>Street Boundary Wall, and Baulks Gate Piers at No.66 <i>Grade II</i></p> <p>Early 19th century. Coursed stone garden boundary wall to street, c.5ft tall.</p>
1087386	DDR2120	-	<p>21,22 and 23 Derby Road <i>Grade II</i></p> <p>Early 20th century with coursed stone rubble laid in wide bands with horizontal bed joints between each band at quoins and band at 1st floor sills.</p>
1099164	DDR2043	-	<p>93 Derby Road <i>Grade II</i></p> <p>Early 19th century. House standing above road in embanked garden.</p>
1100297	DDR2059	-	<p>2 and 3 Foundry Lane <i>Grade II</i></p> <p>Early 19th century, small coursed stone terrace, probably built by Strutts.</p>



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NHLE ID	HER ID	NRHE ID	Name
1100335	DDR2060	-	Fleet Cottage, No.66, The Fleet <i>Grade II</i> Early 19 th century façade. Two adjoining buildings set at right angles to the street.
1109229	DDR2394	513167	Wildersley Farmhouse <i>Grade II</i> Late 16 th /early 17 th century coursed sandstone rubble with plinth. Coped gable ends with kneelers. Thatched roof (now damaged).
1335295	-	-	Hopping Hill Terrace East Terrace, 1-14 <i>Grade II</i> Hopping Hill Terrace West Terrace, 15-23 <i>Grade II</i> Built between 1800 and 1819 by Strutts for their workers. One block of back to back terraced housing on a steep hillslope at right angles to Shaw Lane.
1335301	DDR2596	-	Zion Methodist Church <i>Grade II</i> Late 18 th /early 19 th century, simple ashlar chapel with symmetric façade.
1335304	DDR2599	1367756	31-52 Hopping Hill <i>Grade II</i> Built between 1792 and 1797 by Strutts to house workers in their cotton mills.
1335685	DDR2717	-	Gibfield Lane Bridge over Railway <i>Grade II</i> Constructed c.1838, a masonry bridge carrying Gibfield Lane over the Midland Main Line, and an attached section of masonry walling lining the Belper railway cutting.
1335696	DDR2728	-	47 Derby Road <i>Grade II</i> Early 19 th century large house in garden.
1390601	DDR2771	-	20,22 and 24 Derby Road <i>Grade II</i> Set of three cottages, the central one a former toll house c.1800. For the industrialist Jedediah Strutt.
1417680	DDR8294	-	Strutts Bridge <i>Grade II</i> A single-span, stone overbridge built between 1836-40 for the North Midland railway to the designs of George and Robert Stephenson.



NHLE ID	HER ID	NRHE ID	Name
1417689	DDR8301	-	Derby Road Bridge <i>Grade II</i> A single-span skew overbridge built 1836-40 for the North Midland Railway to the designs of George and Robert Stephenson.

CONSERVATION AREAS

HER ID	Name
DDR6971	Belper & Milford



APPENDIX 2: GAZETTEER OF NON-DESIGNATED HERITAGE ASSETS

NON-DESIGNATED HERITAGE ASSETS

HER ID	NRHE ID	Description
17011	-	Belper Cutting, North Midland Railway The North Midland Railway, which was opened in 1840, passes through Belper in a cutting lined with embankment walls and spanned by ten road bridges. Cutting is over a mile long, lined with masonry walls with ten bridges, several of which are Listed Buildings.
17016	-	Lady Park, or Little Belper Park Former medieval deer park, now partly developed for housing but still containing important medieval and early post-medieval landscape features. Remained as a park until the 17 th century.
17036	-	Milford Foundry (site of) Site of Foundry built by the Strutts in 1780, later becoming the Glow Worm Foundry before demolition in 2005.
17046	-	Eagle Foundry (site of) The Eagle Iron Foundry was started in 1858 by Smedley Bros on the site of an earlier brick works. The works have now been demolished and replaced by housing.
17052	-	Midland Railway Bridge across River Derwent Bridge carrying the Midland Railway, which was opened in 1840, over the River Derwent. The stone abutments are original but the bridge itself is a 1890's rebuild.
17054	-	Railway Station (remains of) Station complex established in 1838, but relegated to use as a goods station in 1878. Remains include a goods shed but the station itself has almost completely disappeared.
17058	-	Gas Works (remains of) Site of Gas works in 1848. At least one building remains although gasometers have gone.
17092	-	Smithy (site of), Cowhill



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HER ID	NRHE ID	Description
		Site of a smithy shown on late 19 th and early 20 th century Ordnance Survey Maps.
17094	-	Park Foundry The Park Iron Foundry and Brick Works are shown on the northern end of the site on a late 19 th century OS map. The site was established in 1898 by The Smedley Bros.
17096	1368465	Former Methodist Chapel Built between 1823-25, and converted to use as a house in 2005.
28703	-	Post-Medieval Stone Water Trough
28709	-	Boundary Stone 19 th century boundary stone at the entrance to Swainsley Farm. Possibly once a township or parish boundary stone.
28711	-	Derwent House (site of) Site of a later 19 th century house and its surrounding gardens, with a lodge on Derby Road. Now the site of a housing estate built during the 1930s.
28714	-	12-16 Derby Road Terrace of three, now two, houses, built to designs provided in 1840 by Francis Thompson for Midland Railway staff.
28728	-	Swainsley Farm A purpose-built Strutt Estate farm of c.1840. An important surviving group of Strutt estate buildings, though all are in need of repair.
28762	-	Derby Tile Works (Decorative) (site f) Site of the Derby Tile Works in the late 19 th century. Site demolished by the early 20 th century and a row of houses built on the site.
28774	-	Hopping Hill Quarry (site of) Sandstone quarry, possibly one of the sources of stone for Strutt's 'New Mill' and Hopping Hill Terraces. Probably in use during the late 18 th /early 19 th century.
28795	-	Belper Youth and Community Education Centre Formerly known as Cow Hill School, which was erected in 1877 for girls and infants.



HER ID	NRHE ID	Description
28809	-	Lynchets, Vicarage Road Medieval lynchets identified as earthworks during a LiDAR survey.
99050	-	Duffield to Heage Turnpike Road Road turnpike in 1793 between Duffield and Heage via Belper.
-	1325538	The Portway Elements of the Roman road from Little Chester to Buxton via Wirksworth, sometimes called 'The Portway' or 'The Street' are visible as earthworks and cropmarks.
-	1366071	North Midlands Railway Opened in 1840, opening up many limestone quarries and coalfields for exploitation.



APPENDIX 3: GAZETTEER OF HLC TYPES

HLC ID	Broad Type	HLC Primary type	Details
HDR3551	Settlement	Post-1880s Settlement	Post-1880s settlement at Milford
HDR3552	Settlement	Pre-1880s Settlement	Pre-1880s settlement at Milford
HDR3558	Fields and Enclosed Land	Large Irregular Fields	Fields north of Shaw Lane, Milford, Belper
HDR3559	Fields and Enclosed Land	Small Irregular Fields	Fields north of Shaw Lane, Milford, Belper
HDR3560	Fields and Enclosed Land	Small Irregular Fields	Fields north of Shaw Lane, Milford, Belper
HDR3561	Fields and Enclosed Land	Small Regular Fields	Fields near Wildersley Road, Belper
HDR3562	Fields and Enclosed Land	Small Irregular Fields	Fields south of Holbrook Road, Belper
HDR3563	Industrial	Post-1880s Industrial Complex	Works buildings, Derby Road, Belper
HDR3564	Settlement	Post-1880s Settlement	Post-1880s settlement at Belper and Holbrook
HDR3565	Settlement	Pre-1880s Settlement	Pre-1880s settlement at Belper
HDR3570	Fields and Enclosed Land	Large Irregular Fields	Fields west of Bargate, Belper
HDR3574	Fields and Enclosed Land	Small Irregular Fields	Fields south of Bargate Road, Belper
HDR3575	Fields and Enclosed Land	Small Regular Fields	Fields south of Bargate Road, Belper
HDR3625	Industrial	Other Works	Sewage works, off Chevin Road, Belper
HDR3626	Woodland	Mixed Woodland with Sinuous Boundaries	Swainsby Wood, Milford, Belper
HDR3629	Woodland	Other Plantation	Plantation west of Swainsley Farm, Chevin Road, Belper
HDR3630	Fields and Enclosed Land	Small Regular Fields	Fields west of Jacksons Lane, Milford, Belper
HDR3632	Fields and Enclosed Land	Small Irregular Fields	Fields west of Derby Road, Belper
HDR3633	Fields and Enclosed Land	Planned Enclosure	Fields near Chevinside, southwest of Belper

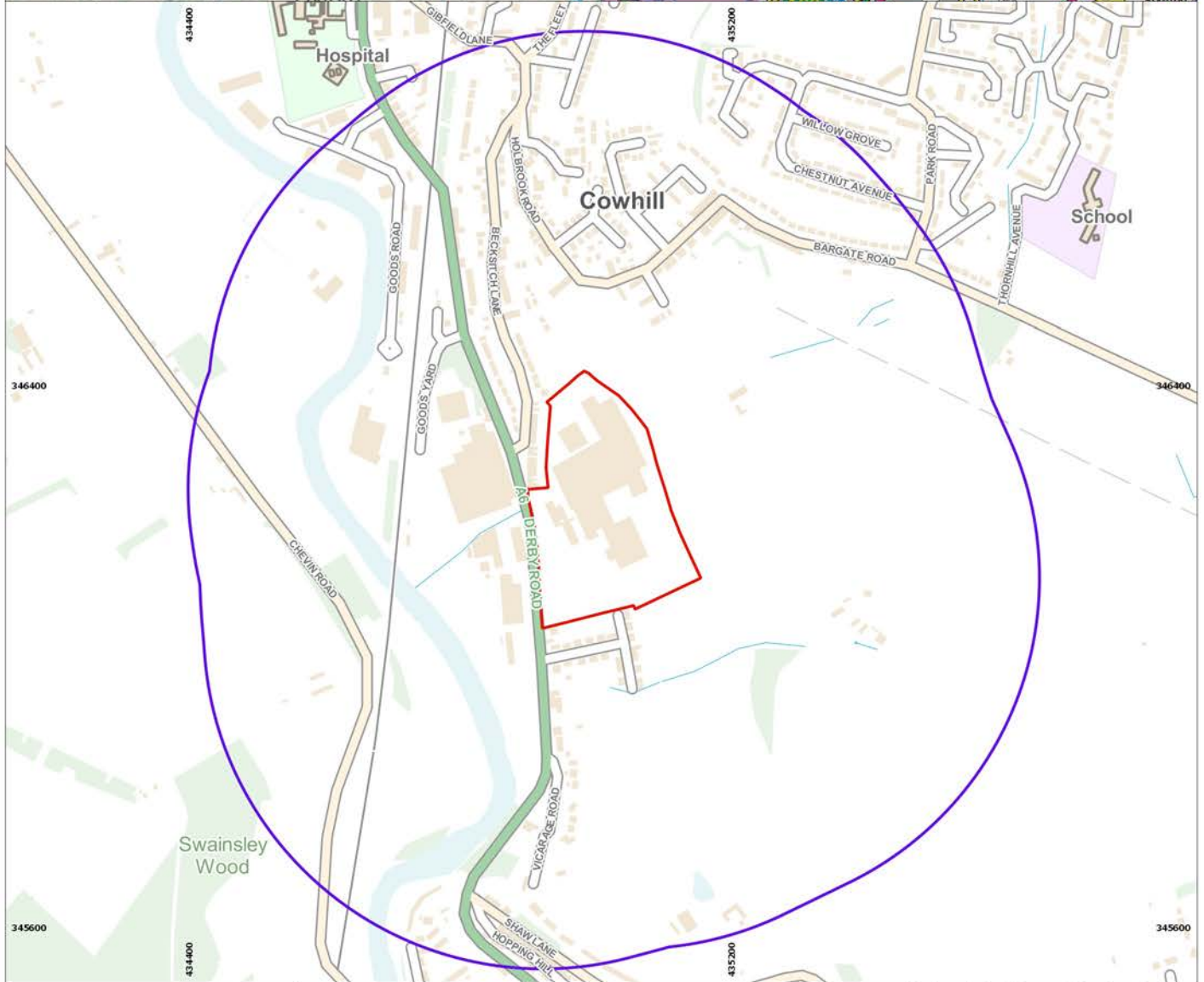
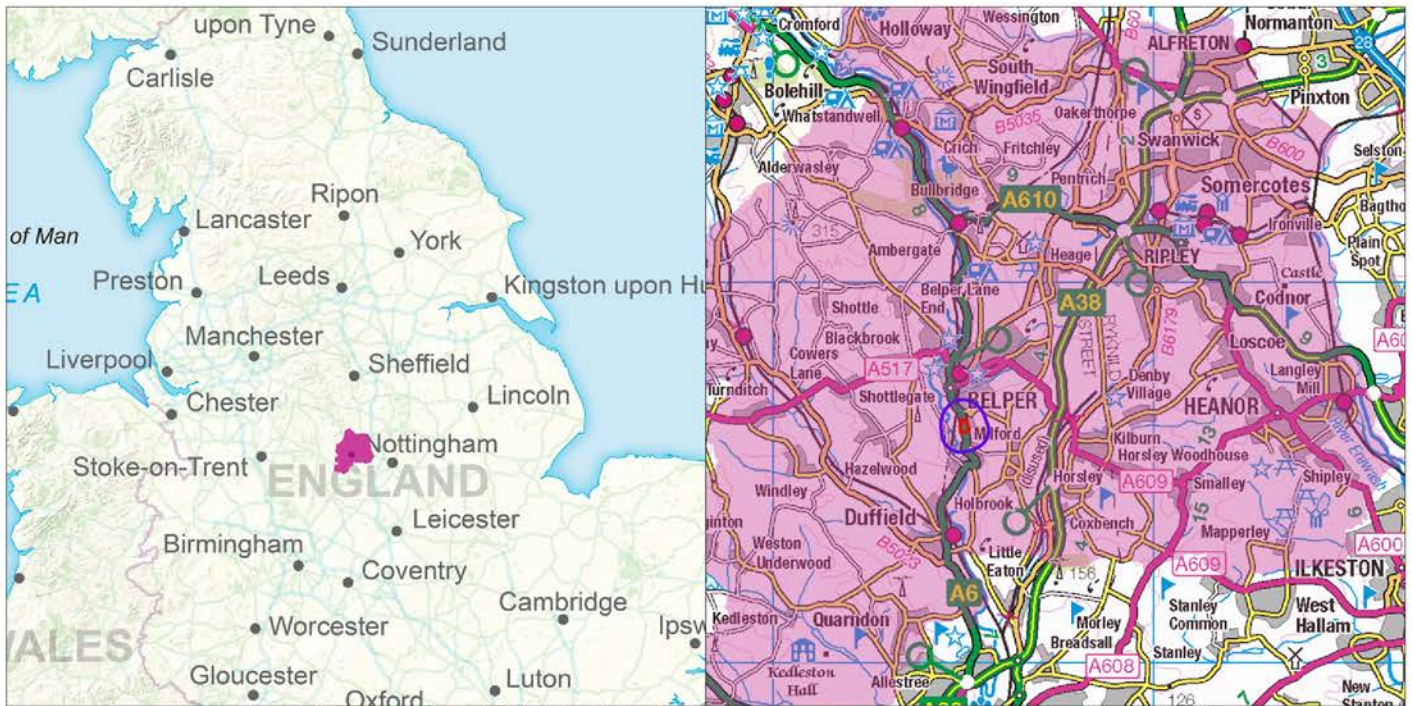


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HLC ID	Broad Type	HLC Primary type	Details
HDR3634	Woodland	Mixed Woodland with Sinuous Boundaries	Chevin Wood and Swainsley Plantation, Chevin Road, Belper
HDR3635	Fields and Enclosed Land	Planned Enclosure	Fields south of Swainsley Farm, Chevin Road, Belper
HDR3637	Water and Valley Floor	Marsh	Land west of Derby Road, Belper
HDR3640	Fields and Enclosed Land	Small Regular Fields	Fields south of sewage works, Chevinside, Belper
HDR3641	Fields and Enclosed Land	Planned Enclosure	Fields along Chevin Road, Chevinside, Belper



APPENDIX 4: FIGURES



Site name: Derwentside, Belper
 Date: November 2016
 Drawn by: MB
 Scale: Varies

**Figure 1:
 Site location**

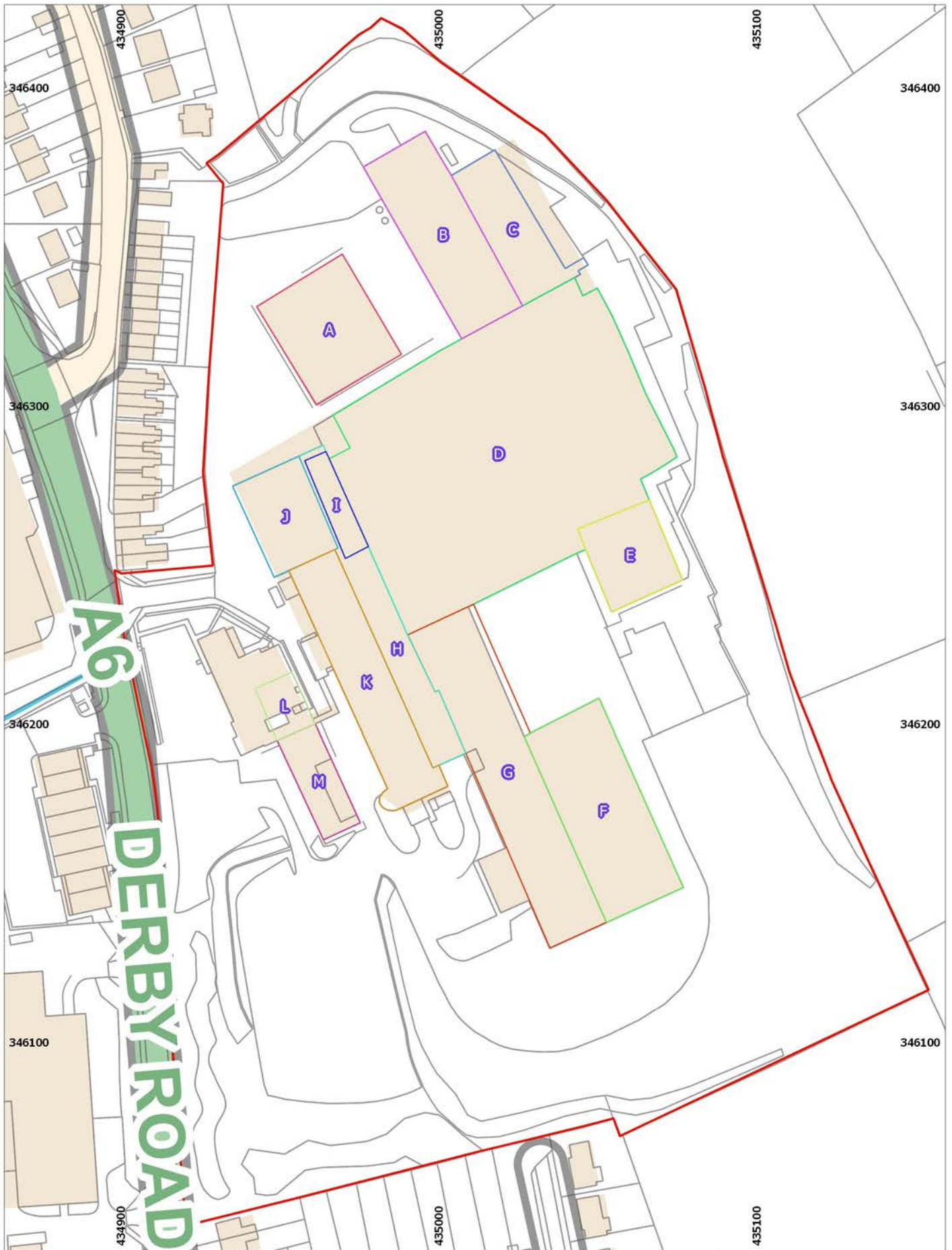


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- Site Boundary
- Amber Valley District
- 500m Study Area



Site name: Derwentside, Belper
 Date: November 2016
 Drawn by: MB
 Scale: 1:1600 @ A4

Figure 2: Buildings Codes



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0 25 50 75 100 m





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Figure 3: 1767 Burdett's Map of Derbyshire



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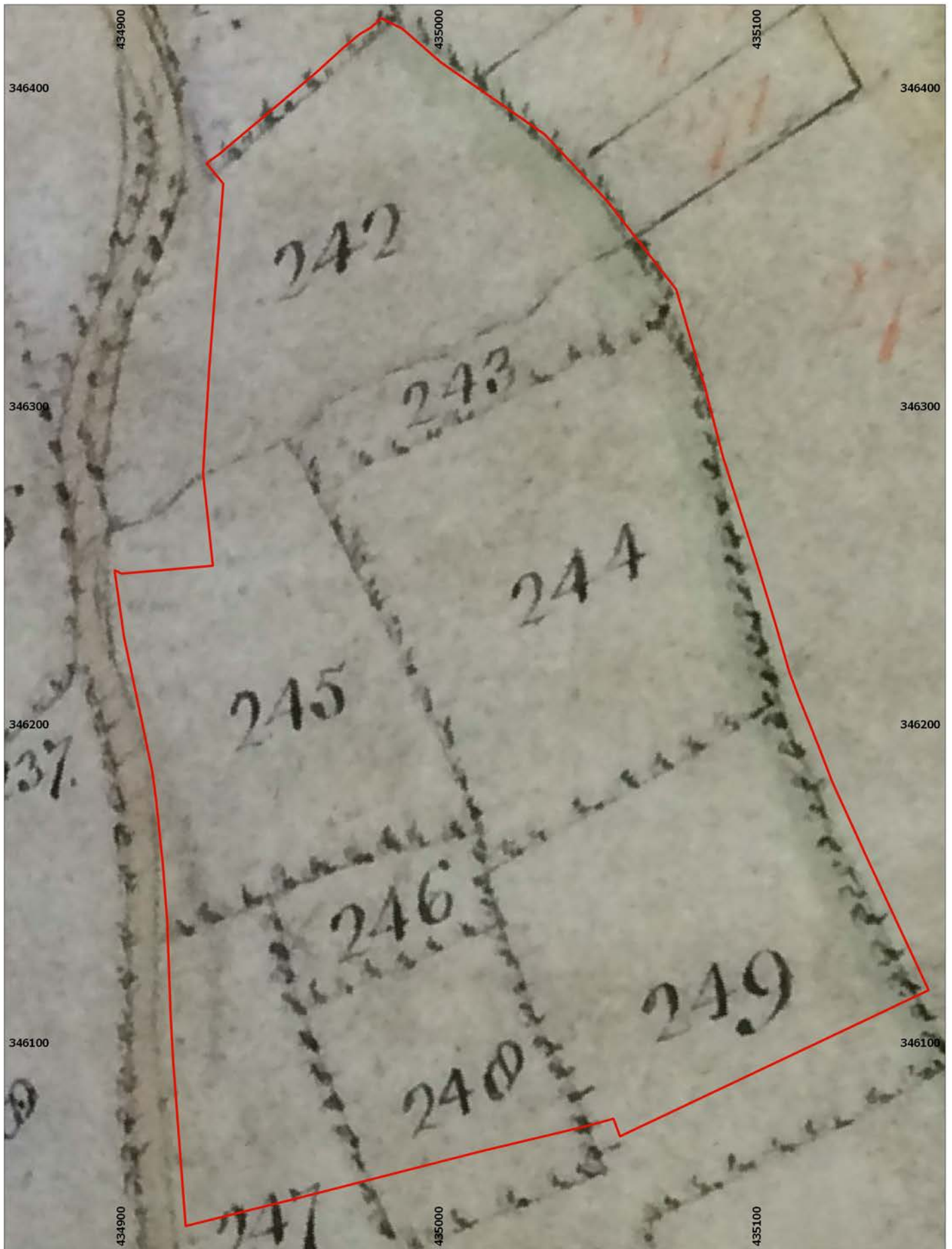
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0 100 200 300 400 m





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Figure 4: 1790-91 Belper Enclosure Award



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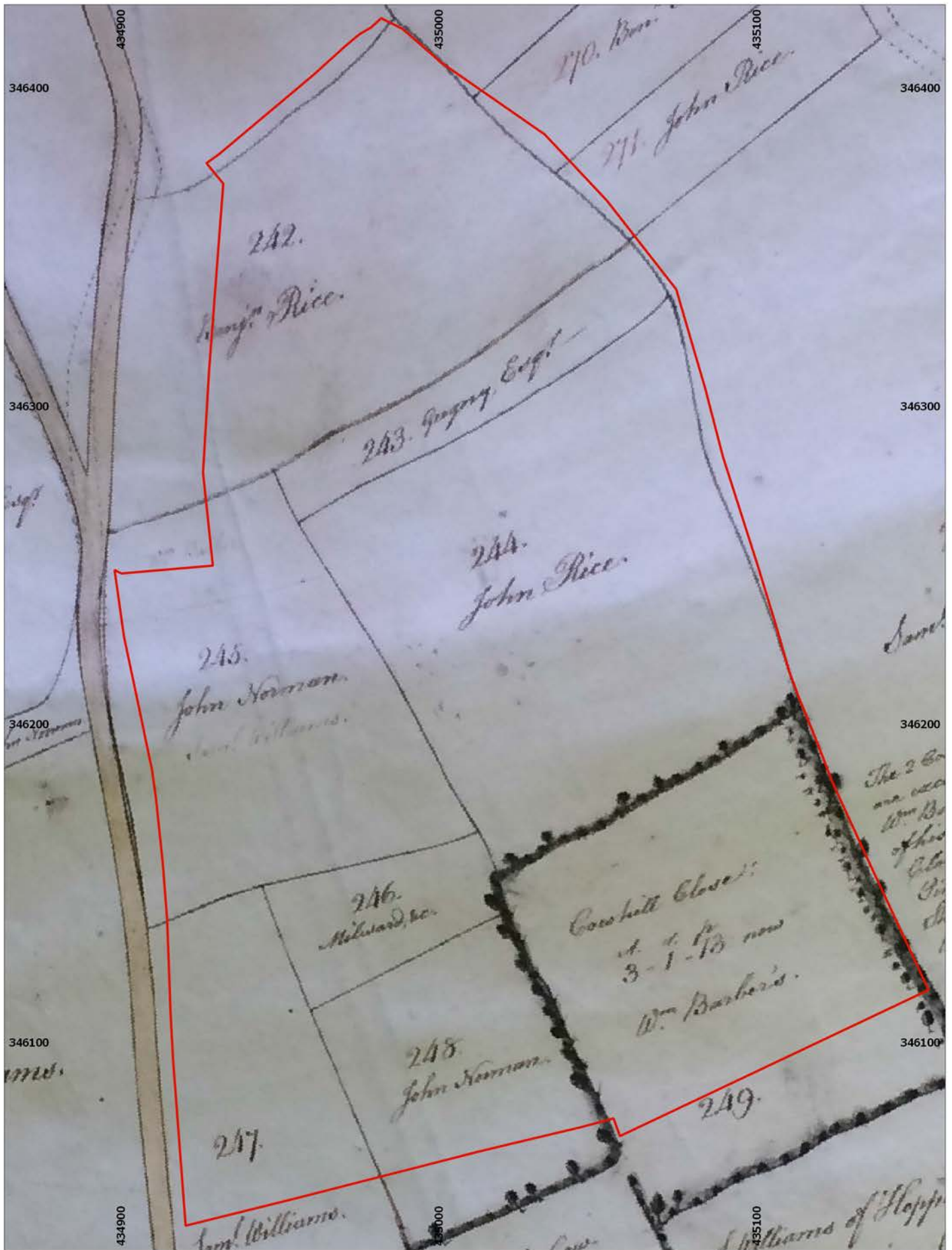
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 Site Boundary

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Figure 5: 1805-18 Strutt Estate Map



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0 10 20 30 40 50 m





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Figure 6: 1844 Belper Tithe Map



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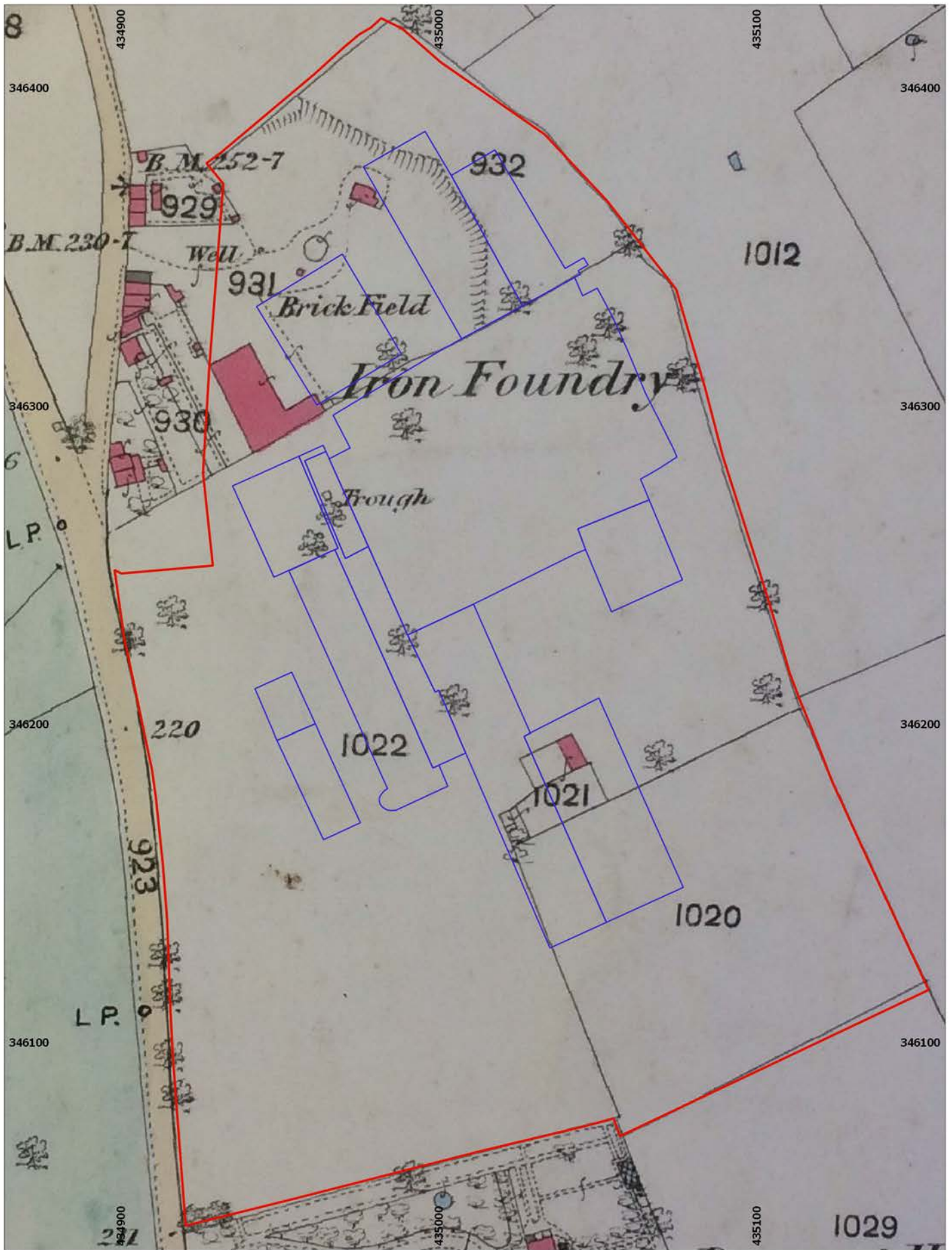
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 Site Boundary

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Figure 7: 1881 Ordnance Survey



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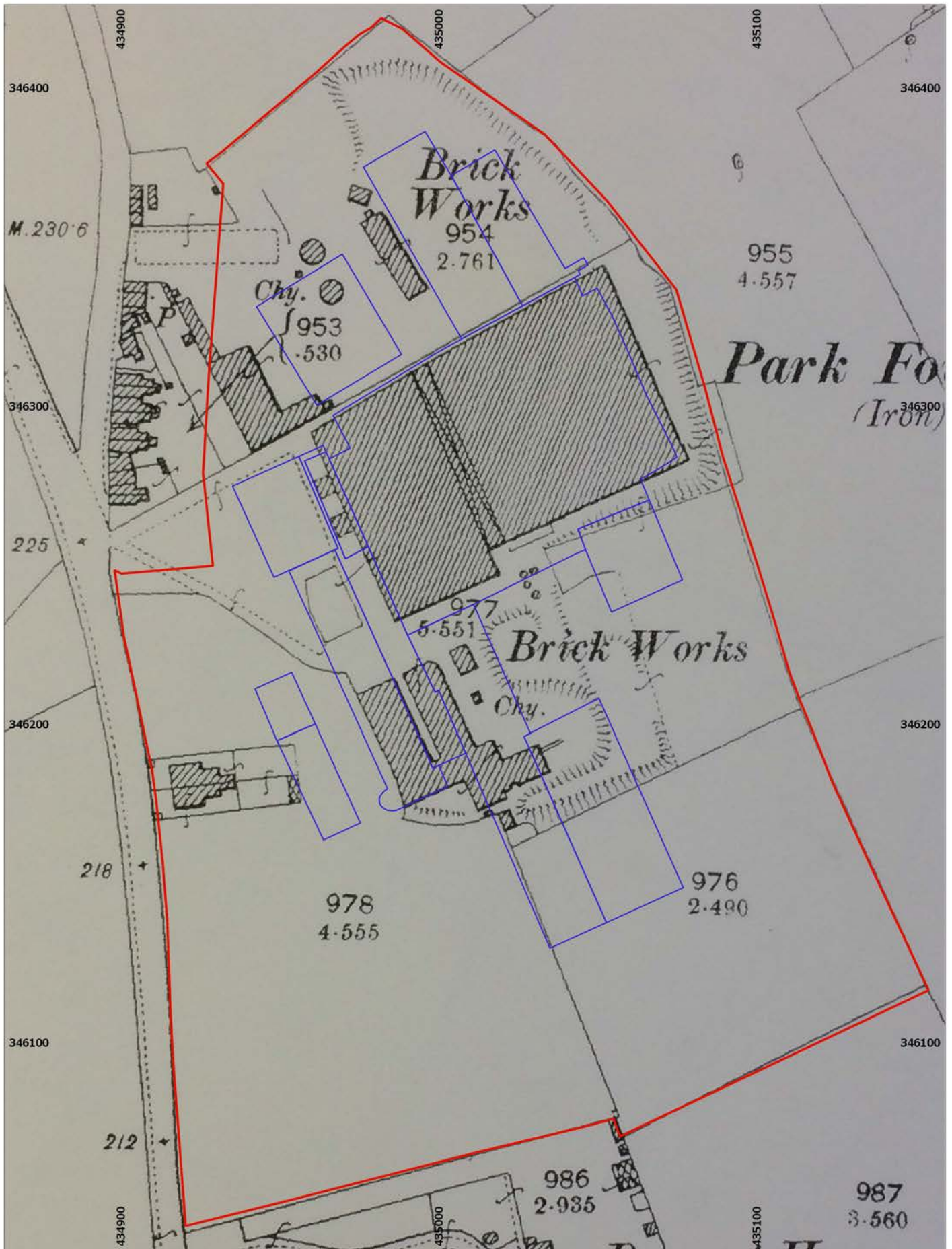
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- Site Boundary
- Current Buildings Overlay

0 10 20 30 40 50 m





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Figure 8: 1900 Ordnance Survey



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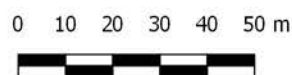


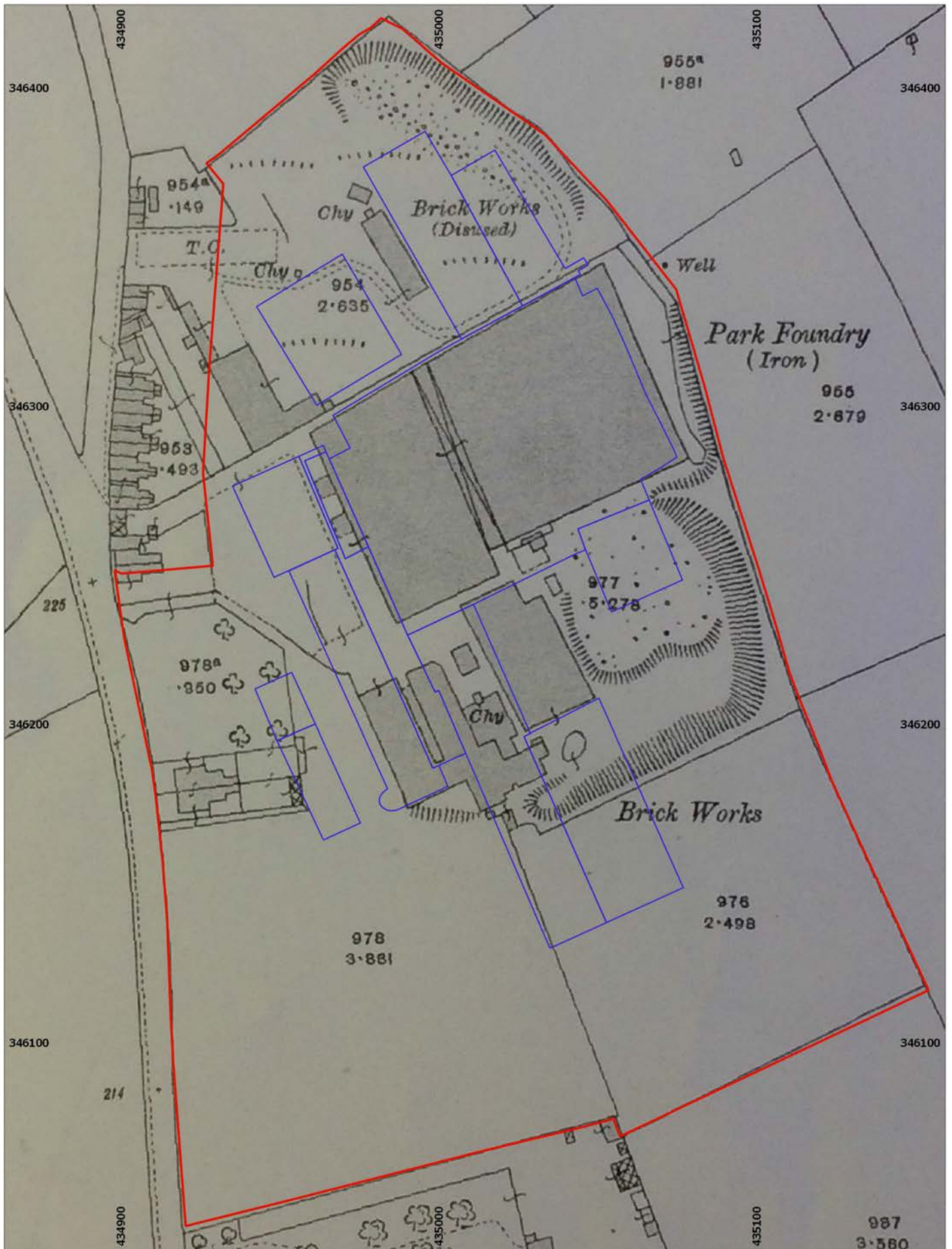
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Figure 9: 1914 Ordnance Survey



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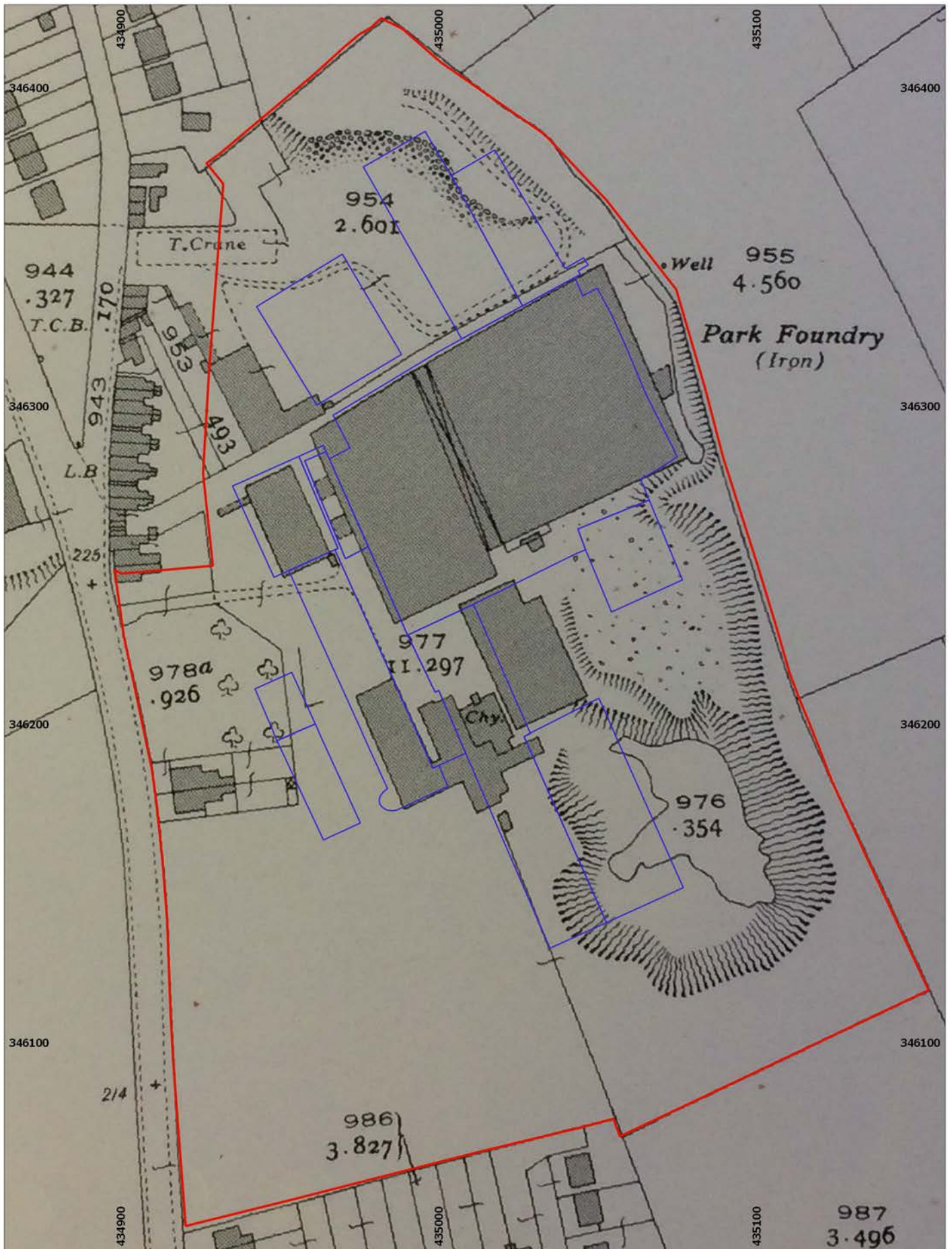
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- Site Boundary
- Current Buildings Overlay

0 10 20 30 40 50 m





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Figure 10: 1938 Ordnance Survey



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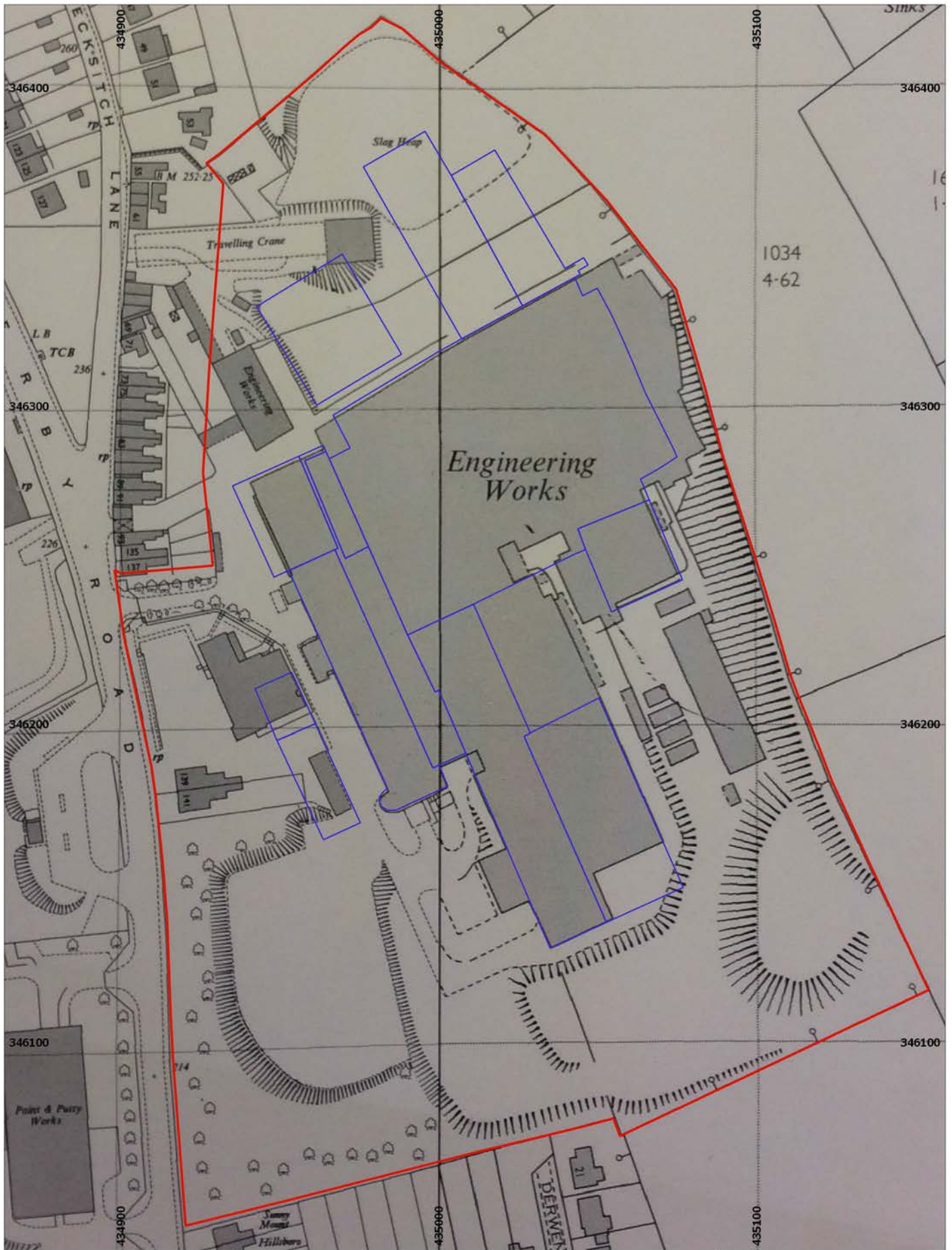
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- Site Boundary
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Figure 11: 1968 Ordnance Survey



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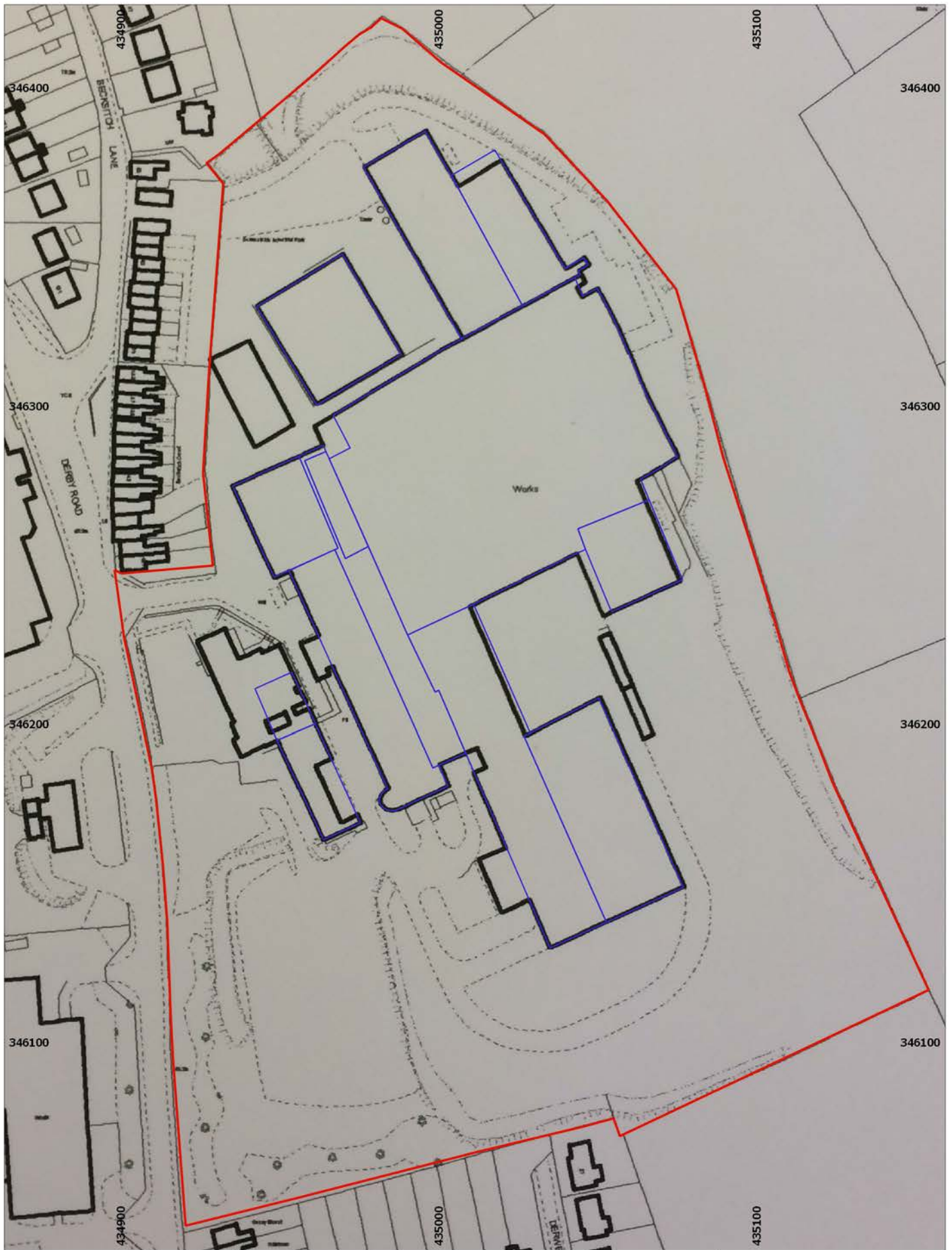
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- Site Boundary
- Current Buildings Overlay

0 10 20 30 40 50 m





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Figure 12: 2005 Ordnance Survey



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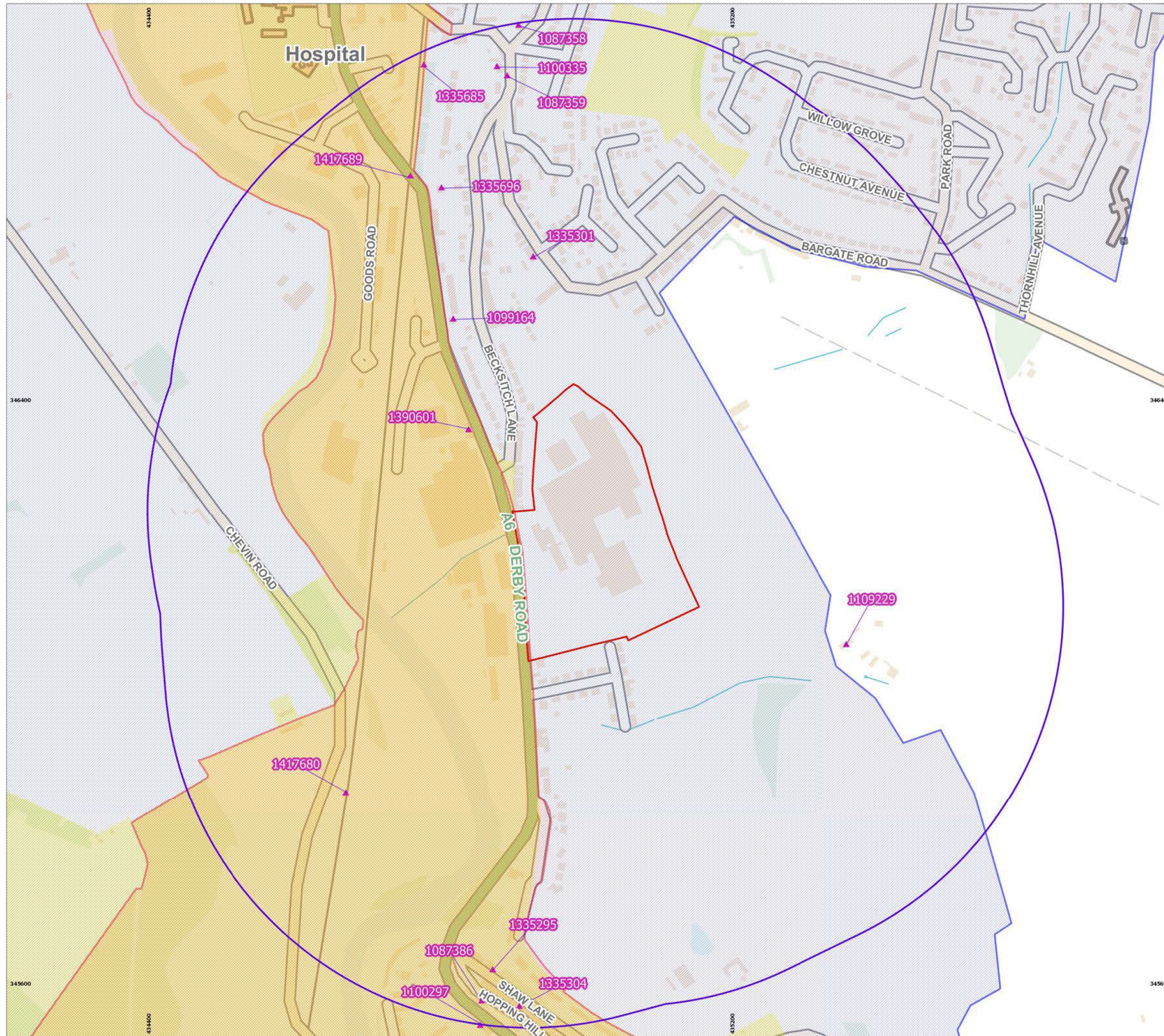
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- Site Boundary
- Current Buildings Overlay



Figure 13: Designated Heritage Assets



-  Site Boundary
-  500m Study Area

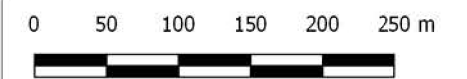
 Grade II Listed Building

 Belper and Milford Conservation Area

Derwent Valley Mills WHS

 Core Area

 Buffer Zone



Site name: Derwentside, Belper
 Date: November 2016
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 Scale: 1:5250 @ A3

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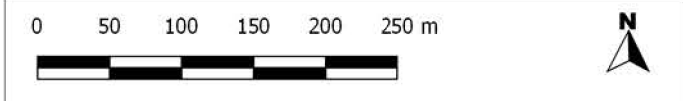
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Figure 14: Non-Designated Heritage Assets

-  Site Boundary
-  500m Study Area
-  Non-Designated Heritage Asset (point)
-  Non-Designated Heritage Asset (line)
-  Non-Designated Heritage Asset (area)



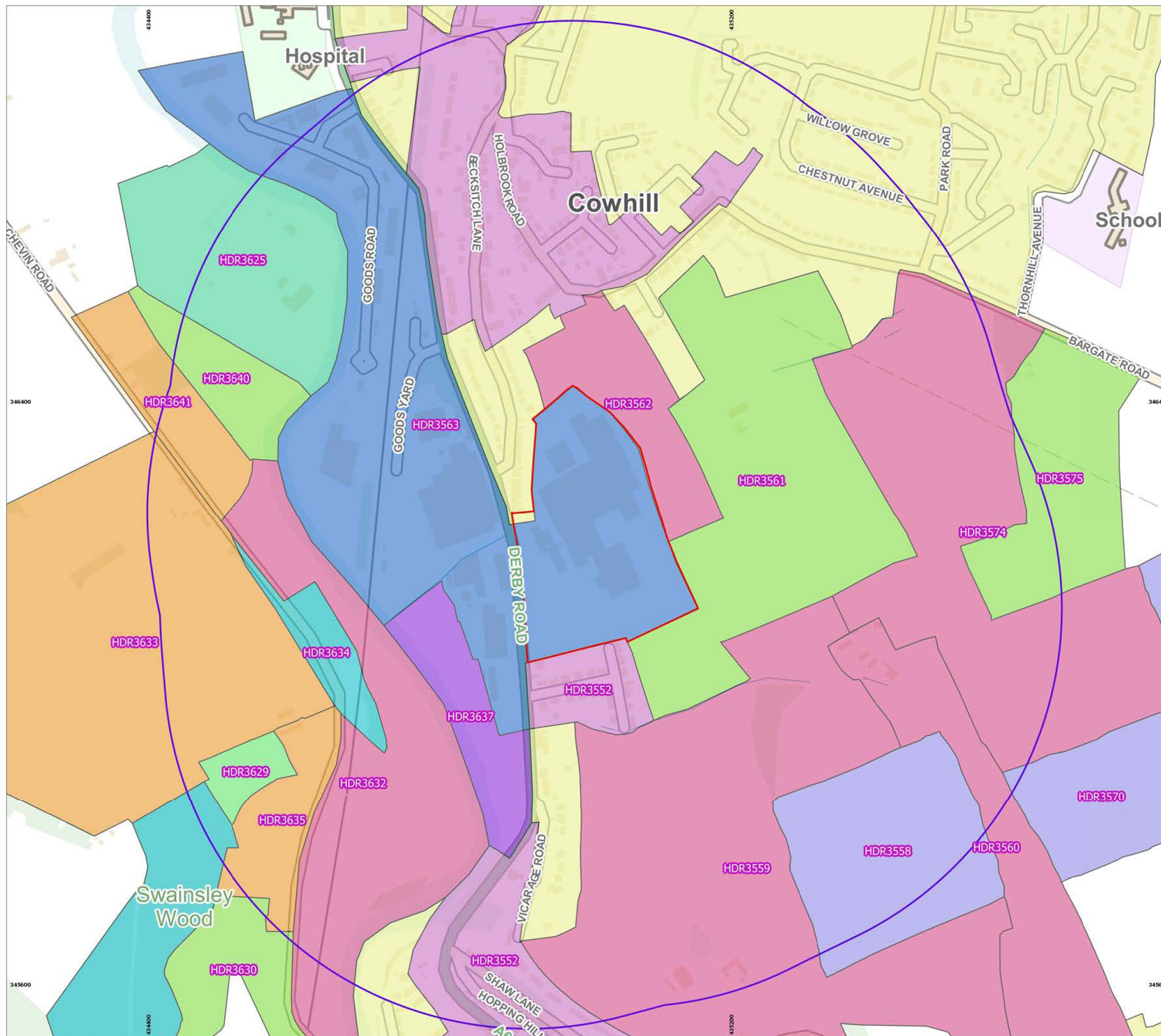
Site name: Derwentside, Belper
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 Scale: 1:5250 @ A3

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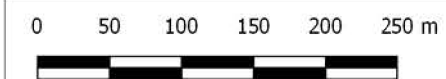
Figure 15: Historic Landscape Characterisation



- Site Boundary
- 500m Study Area

HLC Primary Type

- Large Irregular Fields
- Marsh
- Mixed Woodland with Sinuous Boundaries
- Other Plantation
- Other Works
- Planned Enclosure
- Post-1880s Industrial Complex
- Post-1880s Settlement
- Pre-1880s Settlement
- Small Irregular Fields
- Small Regular Fields



Site name: Derwentside, Belper
 Date: November 2016
 Drawn by: MB
 Scale: 1:5250 @ A3

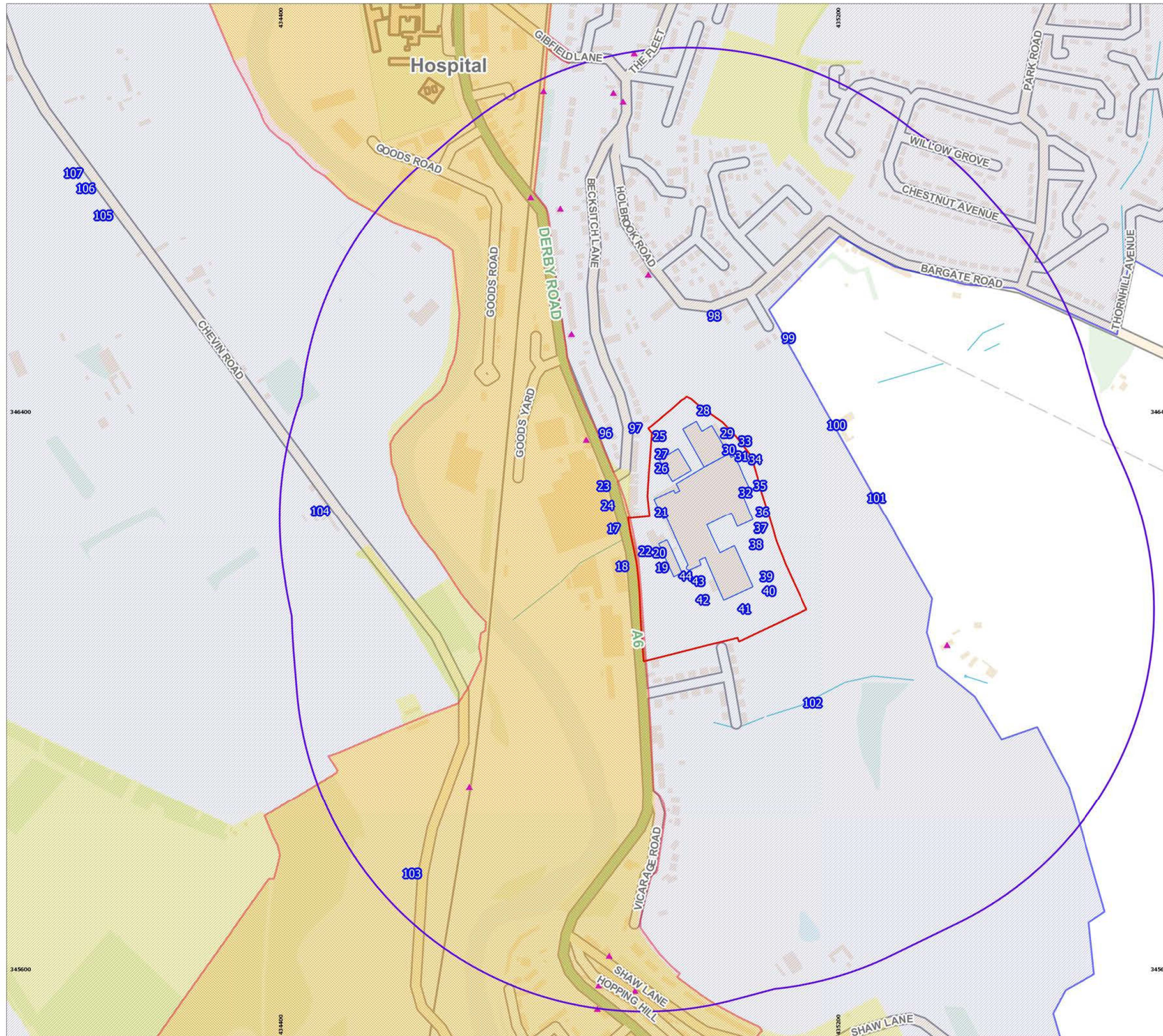
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Figure 16: Site Walkover Photo Locations



Site Boundary
 500m Study Area

99 Photo Location

▲ Grade II Listed Building

Belper and Milford Conservation Area

Derwent Valley Mills WHS

Core Area

Buffer Zone

0 50 100 150 200 250 m



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Figure 17: The main entrance to Derwentside Industrial Park from Derby Road.



Figure 18: The stone and brick wall which forms the southwestern boundary of the PDA. The former entrances to the two late 19th century villas are indicated by the two sets of sandstone pillars.





Figure 19: View east across the former site of a pair of villas built by the Smedley's in the late 19th century.



Figure 20: View west of several brick walls within the area of the former villas. The set of stairs (arrow) potentially led to the sports field once found to the north of the site.





Figure 21: View from within the entrance of Derwentside of the blue gate which potentially provided access to an adjacent sports field.



Figure 22: The location of the former sports field to the north of the villa site, which is currently overgrown with vegetation.





Figure 23: View north from Derby Road up Becksitch Lane. Several of the homes to the right date back to at least 1899. 14



Figure 24: The former entrance archway to Park Foundry, with a smaller entrance door to the left. 15





Figure 25: View south of the brick wall which forms part of the eastern boundary of the PDA.



Figure 26: View south of the former site of a building, adjacent Buildings A and J.





Figure 27: View north of the former site of a gas tank and travelling crane north of Building A, and a small island of vegetation.



Figure 28: View of the northern boundary of the PDA. A retaining wall, following the access road, lines the majority of this boundary, which is overgrown with thick vegetation.





Figure 29: View north-east of part of the eastern boundary of the PDA. The wall itself is brick, which was once faced, and topped with several courses of stone. A cast-iron bearing housing is built into this wall, though it is currently overgrown with vegetation (red arrow).



Figure 30: View west of the brick and stone boundary wall, and the undulating landscape beyond.





Figure 31: View south-east along the eastern border of Building D. This deep area potentially represents the footprint of the original Park Foundry building.



Figure 32: View south-east along the eastern border of Building E. This deep area potentially represents an extension to Park Foundry, carried out between 1938 and 1968.





Figure 33: View south-east across the eastern boundary of the PDA, showing the steel structure in the background.



Figure 34: View south-east from within the overgrown steel structure.





Figure 35: View east of brick remains, which potentially represent the extent of the structure in 1968. A pair of stairs is indicated by the arrow.



Figure 36: View north-west along the eastern boundary of Building E. The brick retaining wall is shown to the right.





Figure 37: View east of the numerous metal storage containers against the brick retaining wall. The slope of the landscape beyond is quite steep.



Figure 38: View north of one of the concrete platforms to the south of Building E (arrow).





Figure 39: View south-west of the southern boundary of the PDA, which is slopes down from the east west and is surrounded by trees and vegetation.



Figure 40: View north of the substantial difference in ground level between the south-eastern perimeter of the PDA and the main ground level.





Figure 41: View east showing the south-eastern border of the PDA, and the thick tree growth.



Figure 42: View south from the access road within the Industrial Estate.





Figure 43: View north of the access road running between Buildings K and M. The entrance to the car park is to the left.



Figure 44: View south-west across the car park.





Figure 45: General view of Building A, looking south.



Figure 46: Southern wing of Building A with a raised concrete platform.





Figure 47: Internal view of Building A.



Figure 48: General view of Building B, looking north-east.





Figure 49: Internal view of Building B.



Figure 50: General view of Building C, looking west.





Figure 51: Internal view of Building C.



Figure 52: Building C with gantry.





Figure 53: General view of Building D, looking north-west.



Figure 54: Northern elevation of Building D with blocked-up arched opening.





Figure 55: Chamfer plinth along the north elevation and blocked-up opening within an internal wall (arrow).



Figure 56: Remains of chamfer plinth (arrow) and blocked-up arched opening.





Figure 57: Detail of segmental arched-head of a former opening.



Figure 58: Northern elevation with further arched-heads of former windows.



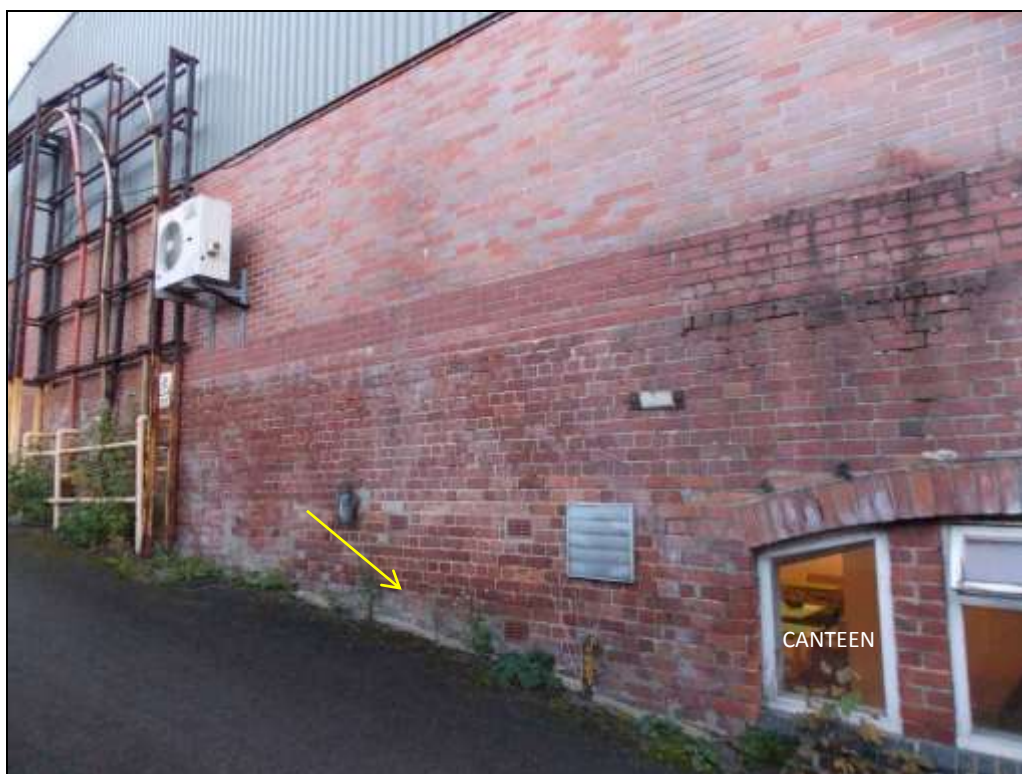


Figure 59: Arch (arrow) partially obscured by the tarmac road of a window for the canteen below.



Figure 60: Internal view of the northern brick wall.





Figure 61: General internal view of Building D.



Figure 62: General view of Building E, looking north-east.





Figure 63: Internal view of Building E.



Figure 64: General view of Building F, looking north-west.





Figure 65: Internal view of Building F.



Figure 66: General view of Building G, looking north-east.





Figure 67: Eastern elevation of Building G facing onto the backyard.



Figure 68: Blocked-up arched openings within the eastern elevation.





Figure 69: Internal view of Building G.



Figure 70: Doorway with segmental arched-head leading to the backyard.





Figure 71: Internal view of Building H.



Figure 72: Internal view of the basement of Building H.





Figure 73: Building I with a series of openings along the dividing wall of the adjacent Building D.



Figure 74: Detail of windows and doorways along the eastern wall.





Figure 75: Detail of the doorway viewed from inside the adjacent Building D.



Figure 76: General view of Building J, looking north-east.





Figure 77: Internal view of Building J.



Figure 78: North-light roof of Building J.





Figure 79: General view of Building K, looking south-east.



Figure 80: Southern end of Building K with the cross-wing facing onto the central lane.





Figure 81: Northern end of Building K with gate house.



Figure 82: Gate house and adjacent weighing bridge.





Figure 83: Detail of weighing bridge adjacent to the gate house of Building K.



Figure 84: Internal view of Building K.





Figure 85: Northern end of Building K.



Figure 86: Southern area of Building K leading to the south cross-wing with curved wall.





Figure 87: Garage within the south cross-wing of Building K.



Figure 88: Detail of the curved wall of Building K and circular skylights.





Figure 89: General view of Building L facing onto the central lane.



Figure 90: Detail of the construction joint between Buildings L and M and cast-iron hopper.





Figure 91: Internal view of Building L.



Figure 92: General view of Building M facing onto the central lane.





Figure 93: Office room within the ground floor of Building M.



Figure 94: First floor of Building M.





Figure 95: Showroom within the second floor of Building M.



Figure 96: View south along Derby Road/A6 towards the entrance to the PDA, within the WHS Core Area.





Figure 97: View north along Becksitch Road within the WHS Buffer Zone.



Figure 98: View south-west from Holbrook Road, within the WHS Buffer Zone.





Figure 99: View south-east along Wildersley Road, the eastern boundary of the WHS.



Figure 100: view south-west from Wildersley Road of the PDA and the Chevin beyond.





Figure 101: View west from Wildersley Road of the PDA and the Chevin beyond.



Figure 102: View north-east from within the Buffer Zone of the WHS at the southern treeline of the PDA.





Figure 103: View north-east from Chevin Road, within the WHS Core Area, towards the PDA (red arrow).



Figure 104: View east from Chevin Road, within the WHS Buffer Zone, towards the PDA.





Figure 105: View south-east from Chevin Road, within the WHS Buffer Zone, towards the PDA (red arrow).



Figure 106: View south-east from Chevin Road of the PDA (red arrow) and surrounding landscape (1 of 2).





Figure 107: View north-east of the core of Belper, including the Strutt's East Mill (purple arrow) (2 of 2).



APPENDIX 5: OASIS



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OASIS ID: archaeol5-74640

Project details

Project name	A Heritage Impact Assessment and Historic Building Appraisal of Derwentside Industrial Park, Belper
Short description of the project	Archaeological Research Services Ltd was commissioned by Tapton Estates Limited to carry out a heritage impact assessment and historic buildings appraisal of Derwentside Industrial Park, Belper, Derbyshire. This heritage impact assessment and historic buildings appraisal has been commissioned ahead of the submission of an outline planning application for the demolition and clearance of existing buildings and the redevelopment of the site for residential use (up to 136 dwellings) including means of access and associated works. (All other matters reserved).
Project dates	Start: 01-11-2016 End: 11-11-2016
Previous/future work	Not known / Not known
Any associated project reference codes	2016/164 - Contracting Unit No.
Type of project	Desk based assessment
Site status	World Heritage Site
Current Land use	Industry and Commerce 1 - Industrial
Monument type	INDUSTRIAL BUILDINGS Modern
Significant Finds	N/A None
Methods & techniques	""Conservation Area Appraisal"" ,""Documentary Search"" ,""Visual Inspection""
Development type	Urban residential (e.g. flats, houses, etc.)
Prompt	National Planning Policy Framework - NPPF

Project location

Country	England
Site location	DERBYSHIRE AMBER VALLEY BELPER Derwentside Industrial Park, Belper
Study area	6.05 Hectares
Site coordinates	SK 35006 46230 53.011923900406 -1.478185666076 53 00 42 N 001 28 41 W Point

Project creators

Name of Organisation	Archaeological Research Services Ltd
----------------------	--------------------------------------

Project brief originator	Archaeological Research Services Ltd
Project design originator	Archaeological Research Services Ltd
Project director/manager	Clive Waddington
Project supervisor	Michelle Burpoe
Project supervisor	Alvaro Mora-Ottomano

Project archives

Physical Archive Exists?	No
Digital Archive recipient	Derbyshire HER
Digital Contents	"none"
Digital Media available	"GIS"
Paper Archive recipient	Derbyshire HER
Paper Contents	"none"
Paper Media available	"Report"

Project bibliography 1

Publication type	Grey literature (unpublished document/manuscript)
Title	A Heritage Impact Assessment and Historic Building Appraisal of Derwentside Industrial Park, Belper
Author(s)/Editor(s)	Burpoe, M.
Author(s)/Editor(s)	Mora-Ottomano, A.
Date	2016
Issuer or publisher	Archaeological Research Services Ltd
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