

HERITAGE NETWORK



**Meadow Cottage
13 ROSE VALE
Hoddesdon, Herts.**

HN719

*Historic Building Record &
Archaeological Monitoring Report*



THE HERITAGE NETWORK LTD

Registered with the Institute of Field Archaeologists as an Archaeological Organisation

Archaeological Director: David Hillelson, BA MIFA

Meadow Cottage
13 ROSE VALE
Hoddesdon, Herts.

HN719

*Historic Building Record
& Archaeological Monitoring Report*

Prepared on behalf of Bayhill Homes

by

Sallianne Wilcox, BA, MA, AIFA & Katie Watkins, BA PIFA

Report no.475

May 2008

© The Heritage Network Ltd

11 FURMSTON COURT, ICKNIELD WAY, LETCHWORTH, SG6 1UJ
TEL: (01462) 685991 FAX: (01462) 685998

Contents

	Summary	Page i
Section 1	Introduction	Page 1
Section 2	Background research.....	Page 2
Section 3	Building record.....	Page 4
Section 4	Monitoring of groundworks	Page 6
Section 5	Discussion	Page 7
Section 6	Bibliography.....	Page 8
Section 7	Illustrations.....	Page 8
Appendix	OASIS record	Page 9

The cover photograph shows the front elevation of Meadow Cottage, looking north-east

Acknowledgements

The fieldwork for this project was carried out by David Hillelson. Background research was conducted by Sallianne Wilcox and Katie Watkins. The report text and illustrations were prepared by Katie Watkins and the report was edited by David Hillelson.

The Heritage Network would like to express its thanks to Lorenzo Minichiello of Bayhill Homes; the archivist and staff of Hertfordshire Archives and Local Studies; the curator and staff of Lowewood Museum; and the staff of the Historic Environment Unit, HCC, for their co-operation and assistance in the execution of this project.

Summary

Site name and address:	13 Rose Vale, Hoddesdon, Herts.		
County:	Hertfordshire	District:	Broxbourne
Village/town:	Hoddesdon	Parish:	Hoddesdon
Planning reference:	7/07/0711	NGR:	TL 37041 08720
Client name and address:	Bayhill Homes. 9c Roydon Road, Stanstead Abbots, SG12 8HQ		
Nature of work:	Re-development	Former land use:	Residential
Site status:	n/a	Reason for investigation:	Direction of local planning authority (PPG 16)
Position in planning process:	After full determination (as a condition)	Project brief originator:	Local Authority
Size of affected area:	480m ²	Size of area investigated:	180m ²
Site Code:	HN719	Other reference:	N/a
Organisation:	Heritage Network	Site Director:	David Hillelson
Type of work:	Building Recording & Monitoring	Curating Museum:	Lowewood Museum
Start of work	19/02/2008	Finish of work	19/02/2008
Related SMR Nos:	n/a	Periods represented:	Post-medieval
Oasis UID	heritage1-43153	Significant finds:	n/a
Monument types:	n/a		

Physical archive:	None
Previous summaries/reports:	n/a

Synopsis:

As the result of an archaeological condition on the planning permission for the redevelopment of 13 Rose Vale, Hoddesdon, the Heritage Network was commissioned by the developers to provide a complete record of the standing building prior to the start of works, and to monitor the groundworks.

Prior to being commissioned, the existing building was demolished, in breach of the planning permission. Discussions with the LPA led to a mitigation strategy which included documentary research to identify its history and development.

Research pinpointed construction of the building, known as Meadow Cottage, to between 1873 and 1876.

A dome-capped brick well was located in the footings for the new building. No other archaeological features or deposits were identified.

1. Introduction

1.1 This report has been prepared on the instruction of *Bayhill Homes*, as part of the archaeological works associated with the redevelopment of Meadow Cottage, 13 Rose Vale, Hoddesdon, Hertfordshire.

1.2 The archaeological investigation was a requirement of the planning consent for the development (Conditions 22 and 23) granted by Broxbourne Borough Council (BBC) (ref. 07/07/0711) under the provisions set out in the Department of the Environment's Planning Policy Guidance Note 16 (PPG16). The extent of the work was defined in a Project Brief by the County Historical Environment Unit (CHEU), acting as archaeological adviser to the BBC.

1.3 The site, centred on NGR TL 37041 08720, is situated close to Hoddesdon town centre, on the east side of Rose Vale (Figure 1). It lies on gently sloping ground in the valley of the River Lea at approximately 50mAOD. The development proposed the demolition of the existing building and the erection of a three storey block of six two-bedroomed flats, with ancillary car parking.

1.4 On the basis of both the known archaeology in the vicinity of the present site and the increasing loss of Victorian buildings in the county, the CHEU advised that two stages of archaeological work should be undertaken, comprising a record of the existing building prior to demolition and the archaeological monitoring of the ground-works associated with the development.

1.5 Prior to the Heritage Network being commissioned to undertake this work the existing building was demolished, in breach of the planning permission. Discussions on behalf of the client, with the CHEU and BBC, have led to a proposal for the mitigation of the loss of the building which includes documentary research to identify its history and development. An archive relating to the former building has been compiled from readily available sources. Archaeological monitoring of the developer's ground-works followed the requirements of the CHEU Brief.

1.6 The full archive for the present project will be deposited with the Lowewood Museum.

2. Background Research

SETTLEMENT AT HODDESDON

2.1 There is well documented evidence of prehistoric activity in the Hoddesdon area, with significant settlement occurring in the late Iron Age and Roman periods. The area is likely to have been relatively well settled by the late Saxon period. The Domesday Survey of 1086 details five estates at Hoddesdon prior to the Norman Conquest. Although initially a small hamlet, Hoddesdon has grown over the centuries and is now a large town within the borough of Broxbourne.

2.2 During the 13th century the outlying settlements of Hatfield, Broad Oak, Amwell and Hertford were acquired by Ralph de Limes and the subsequent attachment of this area of Hoddesdon to Amwell resulted in its inclusion into the Parish of Amwell until the 19th century (Garside, 2002:10). In 1823 the dual Parish of Broxbourne and Great Amwell entered into an arrangement of sharing the new chapel, an arrangement that lasted for 20 years but by 1843 the decision was taken to form a new district of Hoddesdon from the two Parishes (ibid: 10). The Consolidated Chapelry District of Hoddesdon came into being in 1844 and the ecclesiastical district became the Parish of Hoddesdon in 1856.

2.3 One of the primary reasons for the development of the town as a place of trade and commerce was the grant of an annual fair and weekly market in 1468.

2.4 A substantial amount of information can be gained on Hoddesdon during the 17th century from the parish register of the Vicar of Amwell, Thomas Hassall (ibid: 40). One of the points of note was his recording of the growth of the town's population during this time. These could be attributed to improvements in the town's water supply and the introduction of the 1601 Poor Law Act.

2.5 In 1616 the Market House (Town House was its original name), which was located within the parish of Amwell, was moved to the south side of Lord Street within the Broxbourne parish.

2.6 A new chapel was constructed in 1732 in Amwell Street as the old chapel had fallen in to a state of ruin and had not been used since the 1650s for services (ibid: 41). Robert Plamer organised the construction of this new private chapel which served to form the nucleus of the parish church when Hoddesdon became a separate parish in the 19th century.

2.7 The 19th century saw Hoddesdon grow into an urban centre. This can be largely attributed to two major developments: the construction of the railway in 1840 by the Northern and Eastern Railway Company as a major route into London, and the improvement of both the roads and coach building techniques which meant that Hoddesdon also became an important coaching centre (ibid: 68). The increase in population led to significant changes to the town's economy and institutions. The Brewery, owned initially by William Wittingstall and then by William Christie and George Cathrow, grew to become a major employer by the middle of the century (ibid: 68). By 1862 the it had enlarged significantly and even incorporated a heated swimming pool.

2.8 The expansion on the north-western side of Hoddesdon during this time is well illustrated on the Ordnance Survey maps of 1880 and 1898.

DOCUMENTARY AND CARTOGRAPHIC EVIDENCE

2.9 The Hoddesdon Tithing Map of 1842 (Figure 4) shows that the present site forms part of plot 327, described in the apportionment as Ball Field pasture, and listed as being owned by Robert Robinson and occupied by William Tuck.

2.10 A copy of the *Abstract of Title for Meadow Cottage, Rose Vale, Hoddesdon, Herts* was provided by the client. This shows that the site was one of 14 lots forming part of Balls Field put up for auction in 1873 by James Robinson of Hoddesdon. It was purchased by Thomas Harris for the sum of £88 and measured 40ft or thereabouts in width, 136ft or thereabouts in depth on the west boundary, and 134ft 6ins or thereabouts in depth on the south boundary.

2.11 Thomas Harris died at Meadow Cottage in 1876 and, on this basis, it is clear that the house was built in the three year period between 1873 and 1876.

2.12 The Ordnance Survey 1st edition 1880 (Figure 5) is the first map to show development along Rose Vale and Norris Road. Number 13 is shown as a rectangular plot with an infilled L-shaped building with two small additional structures located on the rear, which could possibly be outhouses. The Ordnance Survey 2nd edition of 1898 (Figure 6) shows a number of changes to the study area and its environs: the two structures located to the rear of number 13 Rose Vale and postulated to be outhouses are no longer present on the 1898 map. Oakdens Lane is now shown as Brocket Road. Park View and Park Road are both now present and represented on this map. Additionally this map highlights the considerable development of the town since the production of the 1880 map.

2.13 The Kelly's Directory of Hertfordshire published in 1882 lists Mrs Harris as a private resident of Rose Vale.

2.14 The Inland Revenue map of 1911 (Figure 7) lists the study area as plot 1061, owned and occupied by Mrs Harris. Additionally plots 1057- 1063 are now logged as Rose Vale.

2.15 The Ordnance Survey maps of 1920 (Figure 8) and 1960 (Figure 9) continue to demonstrate development in this area of Hoddesdon, although this seems to have slowed down considerably by this time.

3. Building Record

BUILDING DESCRIPTION

3.1 Meadow Cottage, 13 Rose Vale, Hoddesdon, was built as a small, two-storey, detached house between 1873 and 1876 and stood within a rectangular plot of land on the supposed western edge of the medieval town of Hoddesdon. Until the mid 19th century the town developed very slowly. Rose Vale appears to have been one of the early ‘new streets’ in the Victorian town and Meadow Cottage is shown on the early Ordnance Survey maps of Hoddesdon.

3.2 The house was built in brick, later painted, with a gabled slate roof and end decorated chimney stacks (Plate 1). It stood on the east side of Rose Vale facing west with a small garden to the front and low red brick wall with a picket fence to the west boundary. To the south the property boundary consists of a brick wall approximately 2m in height. To the east was the garden, with access onto Norris Road. The northern boundary is somewhat obscured in the available photographs but appears to have been formed of wooden latticed panels of approximately 1.5m in height.

3.3 The west elevation (front) of 13 Rose Vale comprised two ground floor, box bay windows with sloping slate roofs above. Positioned between these windows was an internal, shouldered, porch with a recessed panelled door and side light. On the first floor were three equally spaced, recessed, 2-over-2 sash windows with projecting sills.

3.4 At the south end of the east (rear) elevation was a two storey extension with an east facing gable end (Plate 3). Adjacent to this along the remainder of the east elevation was an out-shut with a cat slide slate roof. Within the two storey extension were three casement windows, a large window on the ground floor and two windows on the first floor. These windows were all of different sizes and appear to have been inserted later. On the ground floor, the out-shut had a large casement window intersected with two mullions, with the rear doorway located to the south. The door appears to have been of modern design. Within the roof slope of the out-shut was an inserted dormer window, segmented into four parts by mullions.

3.5 The southern elevation can be split into two parts, the first incorporating the front range of the house, while the second includes the eastern extension (Plate 2). The front range of the house was characterised by its painted brick construction and the plain bargeboard to the gable end, while the extension appears to have been covered in a plaster render or pebble dash. There are no windows or doorways within this elevation, the only other feature of note being a possible extraction fan in the ground floor eastern part of the elevation.

3.6 No evidence for the layout of the northern elevation was available. However, given the observations concerning the rest of the building, in particular the south elevation, it is possible to speculate that the north elevation was also built in brick, and had plain bargeboards to the gable end with no windows or other distinct features of note.

3.7 13 Rose Vale had three chimney stacks: one to the north and one to the south end of the front range, and one to the south side of the east extension. Each chimney had two flues with dentil decorated stacks on a plain base.

3.8 In the rear garden, possibly attached to the rear of the house, was a timber clad garden shed with a sloping roof and one window in its eastern elevation. The view of this window is partly obscured by vegetation, however, it appears that this is a four-light window with timber frames. An open frame pergola appears to have run the extent of the eastern elevation as far as the timber shed (Plate 3). A further building, linking the shed to the house is shown on the current Ordnance Survey map (Figure 2) but no further information is available about this.

3.9 The plan of the front range, as supposed from the building photos, and the Tithe and Ordnance Survey maps, is likely to have consisted of a centrally situated hallway with the staircase to the first floor at the rear. On the ground floor would have been two rooms, one to the north and one to the south, both leading off the hallway. The first floor would have probably comprised a similar plan; two rooms leading off the first floor landing, each with a west-facing window. The two storey eastern extension would have provided further ground and first floor rooms. The evidence suggests that there were two first floor rooms including a bathroom with a small casement window facing east, and a single room on the ground floor also with a window facing east. The out-shut has a later inserted room in the attic space.

4. Monitoring of Groundworks

TOPOGRAPHY AND GEOLOGY

4.1 The site, centred on NGR TL 37041 08720, is situated close to Hoddesdon town centre, on the east side of Rose Vale. It lies on gently sloping ground in the valley of the River Lea at approximately 50mAOD.

4.2 The natural geology in the area consists of river terrace gravels of the Woolwich and Reading beds. Locally the soils are derived from the Hamble 2 Association (571z). These are described as deep stoneless well drained silty soils over gravel (SSEW 1983).

METHODOLOGY

4.3 The timetable for the fieldwork followed the client's groundwork schedule. A total of three site visits were made to supervise and monitor the excavation of a drainage trench and foundations.

4.4 The machining was undertaken using a tracked mini-digger fitted with a toothless ditching bucket.

4.5 All work was carried out in accordance with the approved Project Design, current health and safety legislation, and both IFA and ALGAO standards.

MONITORING AND RECORDING

4.6 Meadow Cottage was demolished and the site was levelled in advance of the construction groundworks (Plate 4). A mixed overburden was left across the site including garden soil and some building debris.

4.7 The footings for the new building included two trenches running east-west and an additional two running north-south to form the outline of the proposed development (Figure 3, Plate 5). An intermediate trench, running east-west, was also cut. The trenches measured 0.9m wide and were approximately 1m deep (Plate 6). Natural hoggin was noted at approximately 0.25m below the existing ground, as was evidence of dead services including foul drainage and water serving Meadow Cottage.

4.8 A dome-capped well was exposed in eastern section of the eastern footing, centred 2.40m from the southern boundary wall (Plate 7). The exterior diameter measured c.1.50m and water was present c.4m from existing surface and was visible where packing had dropped away from the brick lining. Other than the well no archaeology was apparent in any of the trench sections and there were no unstratified finds that could have been indicative of archaeological potential.

5. Discussion

5.1 Documentary and cartographic evidence shows that there has been human activity in the Hoddesdon area since the prehistoric period, with significant occupation beginning in the late Iron Age and Roman periods. The area appears to have been well settled in the Saxon period, with five estates mentioned in the Domesday Survey of 1086. The establishment of a weekly market and annual fair in the 15th century ensured the town's growth in the later medieval period. The success of the town in the 19th century is demonstrated by the rapid expansion of the town illustrated in the Tithe and Ordnance Survey maps.

5.2 The Abstract of Title for Meadow Cottage shows that the house was built between 1873 and 1876. The Ordnance Survey map of 1880 shows it as an L-shaped structure, infilled in the north-west quadrant by the out-shut, which was later incorporated into the main body of the house..

5.3 Given that the building was demolished before an historic building record could be made it is not possible to comment on the internal features that would have been present or what later alterations may have taken place.

5.4 No archaeological features or deposits were noted in course of the groundworks for the new buildings, with the exception of a dome-capped well located within the eastern section of the eastern footing. This well may have been contemporary with the house, as it was common practice to have wells located adjacent or close to dwellings. It should be noted, however, that its presence is not recorded on the 1842 Tithe Map or on any of the later Ordnance Survey maps, nor is its presence referred to in the documentary records consulted.

Confidence Rating

5.5 The footings for the new block of flats were monitored in dry and sunny weather conditions. With the agreement of the CHEU, no monitoring took place on the excavation of services or the landscaping and car-park works. There are no circumstances which would lead to a confidence rating for the work which was less than High.

6. Bibliography

- Brunskill, R.W., 1978, *Illustrated Handbook of Vernacular Architecture*. Faber
 Garside, S., 2002, *Hoddesdon A History*. Phillimore
 Lever, J. & Harris, J., 1993, *Illustrated Dictionary of Architecture 800-1914*. Faber
 Morris, J. (ed.), 1976, *Domesday Book: Hertfordshire*. Phillimore
 Page, W. (ed.), 1912, *Victoria County History of Hertfordshire*, volume 3, 1912 (VCH)
 Thompson, I., 2005, *Hoddesdon Extensive Urban Survey Project Report*. HCC & HBMC
 Whitaker, A., 2006, *Brewers in Hertfordshire*. University of Hertfordshire Press

7. Illustrations

Figure 1	Site location
Figure 2	Site layout, as existing
Figure 3	Footings layout
Figure 4	Tithe Map of 1842
Figure 5	1880 1 st Edition Ordnance Survey
Figure 6	1898 Ordnance Survey
Figure 7	1911 Inland Revenue Map
Figure 8	1920 Ordnance Survey
Figure 9	1960 Ordnance Survey
Plate 1	Western elevation
Plate 2	Western and southern elevation
Plate 3	Eastern elevation
Plate 4	View east to west after demolition
Plate 5	Construction footings
Plate 6	Indicative section
Plate 7	View of well facing north-east

Appendix: OASIS Record – heritage1-43153

PROJECT DETAILS

Project name	13 Rose Vale, Hoddesdon
Short description of the project	As the result of an archaeological condition on the planning permission for the redevelopment of 13 Rose Vale, Hoddesdon, the Heritage Network was commissioned by the developers to provide a complete record of the standing building prior to the start of works, and to monitor the groundworks. Prior to being commissioned, the existing building was demolished, in breach of the planning permission. Discussions with the LPA led to a mitigation strategy which included documentary research to identify its history and development. Research pinpointed construction of the building, known as Meadow Cottage, to between 1873 and 1876. A dome-capped brick well was located in the footings for the new building. No other archaeological features or deposits were identified.
Project dates	Start: 19-02-2008 End: 19-02-2008
Previous/future work	No / No
Any associated project reference codes	HN719 - Contracting Unit No.
Type of project	Recording project
Site status	None
Monument type	HOUSE Post Medieval
Significant Finds	NONE None
Investigation type	'Watching Brief'
Prompt	Direction from Local Planning Authority - PPG16

PROJECT LOCATION

Country	England
Site location	HERTFORDSHIRE BROXBOURNE HODDESDON 13 Rose Vale, Hoddesdon
Postcode	EN11 8NR
Study area	480.00 Square metres
Site coordinates	TL 37041 08720 51.7599023775 -0.01410899270530 51 45 35 N 000 00 50 W Point
Height OD	Min: 50.00m Max: 50.00m

PROJECT CREATORS

Name of Organisation	Heritage Network
Project brief originator	Local Planning Authority (with/without advice from County/District Archaeologist)
Project design originator	Heritage Network
Project director/manager	David Hillelson
Project supervisor	David Hillelson
Type of sponsor/funding body	Developer
Name of sponsor/funding body	Bayhill Homes

PROJECT ARCHIVES

Digital Archive recipient	Lowewood Museum
Digital Archive ID	HN719
Digital Contents	'none'
Digital Media available	'Images raster / digital photography','Text'
Paper Archive recipient	Lowewood Museum Hoddesdon
Paper Archive ID	HN719
Paper Contents	'none'

Paper Media available 'Diary','Plan','Unpublished Text'

PROJECT

BIBLIOGRAPHY 1

Publication type Grey literature (unpublished document/manuscript)

Title Meadow Cottage, 13 Rose Vale, Hoddesdon: Historic Building Record and Archaeological Monitoring Report

Author(s)/Editor(s) Sallianne Wilcox and Katie Watkins

Other bibliographic details Heritage Network Report 475

Date 2008

Issuer or publisher The Heritage Network Ltd

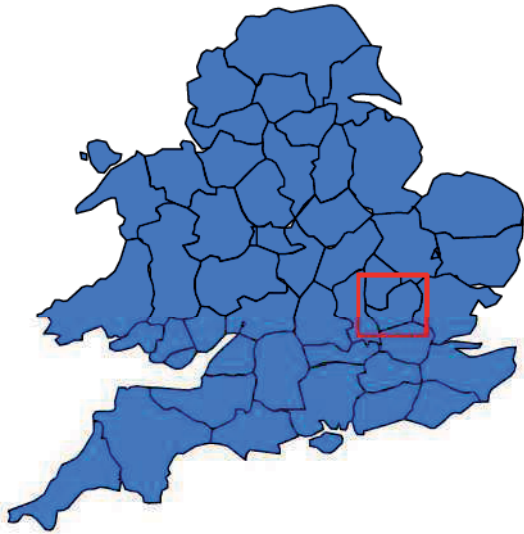
Place of issue or publication Letchworth

Description Comb bound A4 report, 8 pages text, 9 figures, 7 plates

THE HERITAGE NETWORK LTD

13 Rose Vale, Hoddesdon

HN719

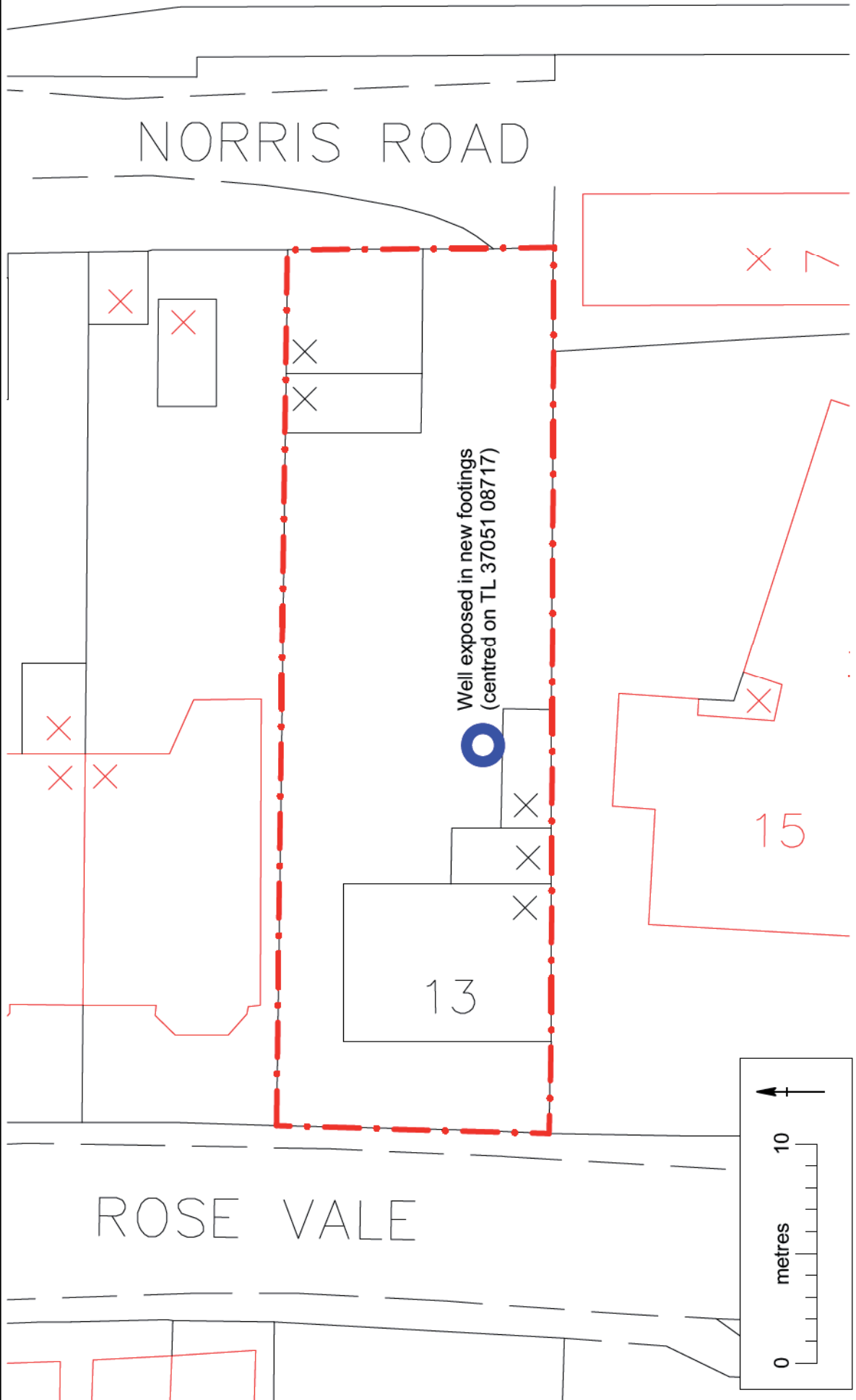


Site Location

Scale 1:5000

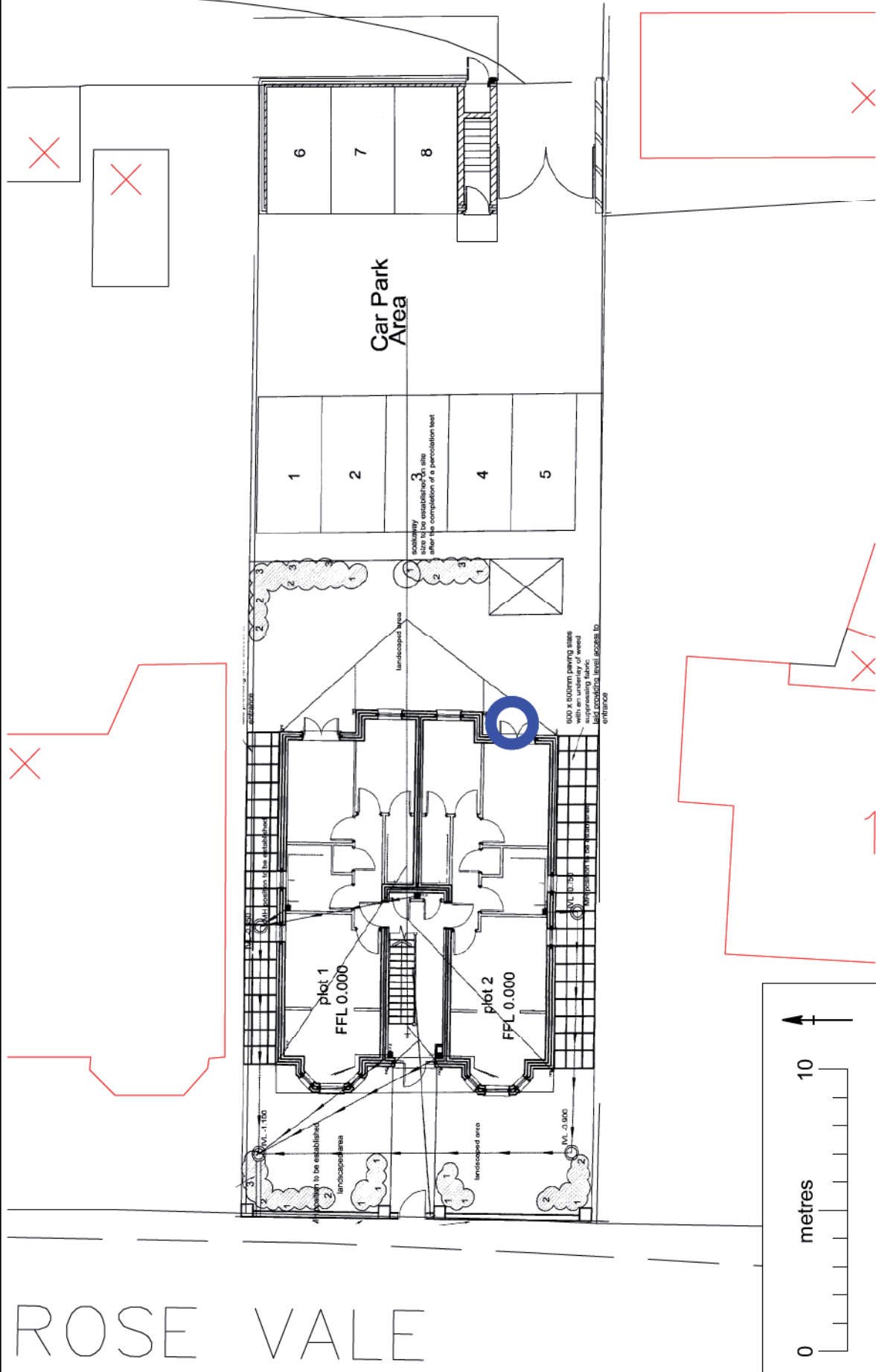
(Reproduced from the Ordnance Survey with the permission of the controller of Her Majesty's Stationary Office, Licence no.AL100014861)

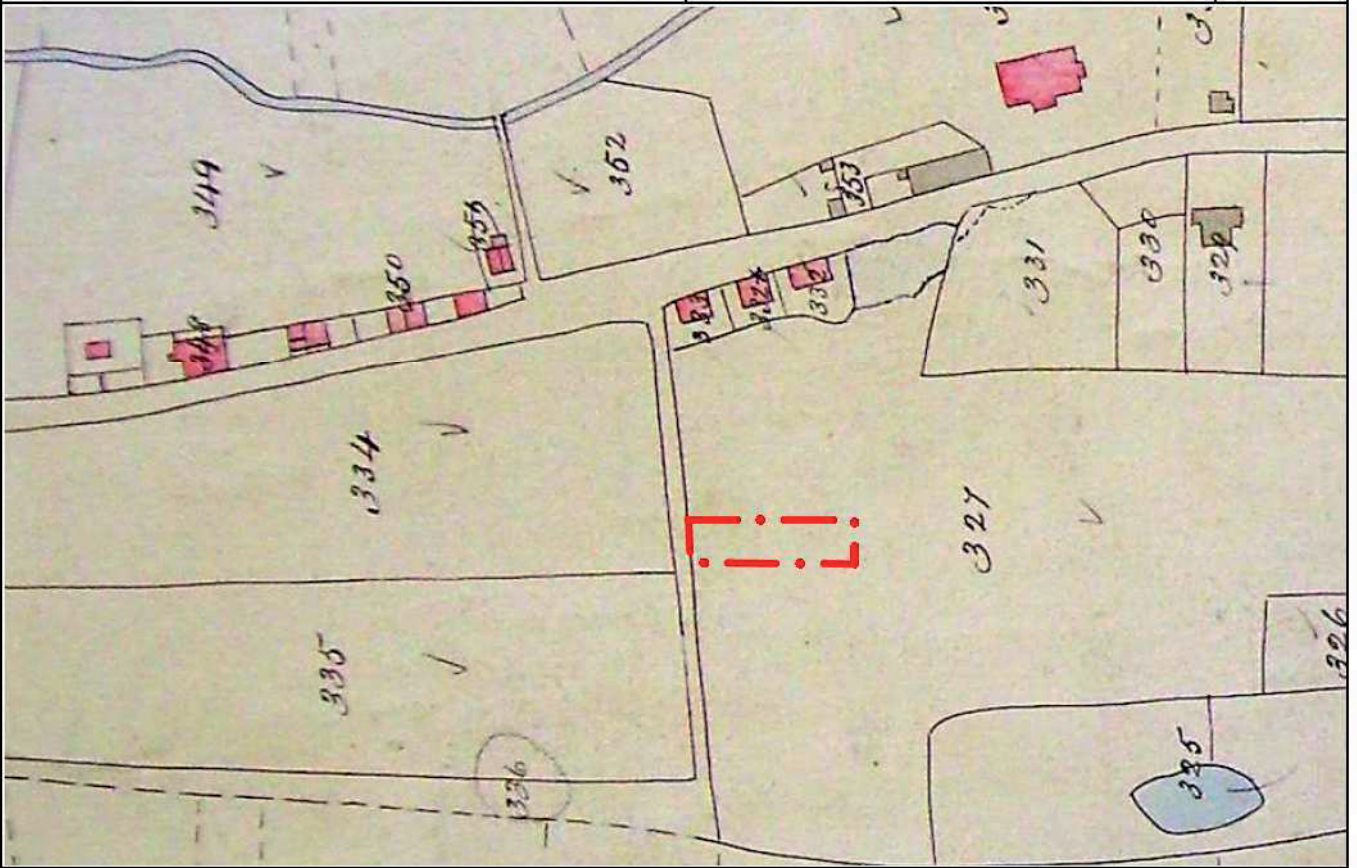
Figure 1



NORRIS ROAD

ROSE VALE

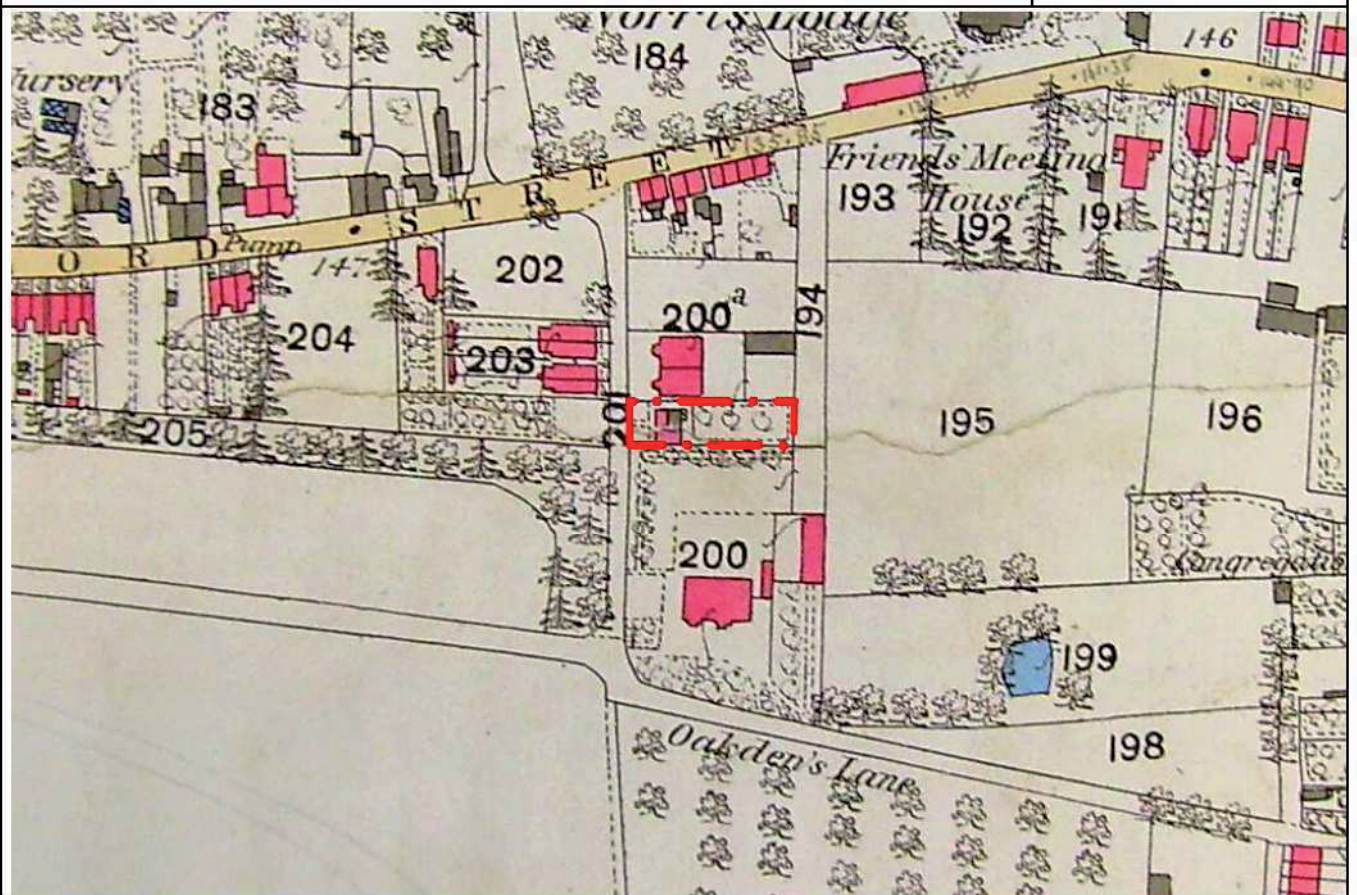




Hoddesdon Tithe Map, 1842 (HALS DSA4/54/2)

Scale 1:2000

Figure 4

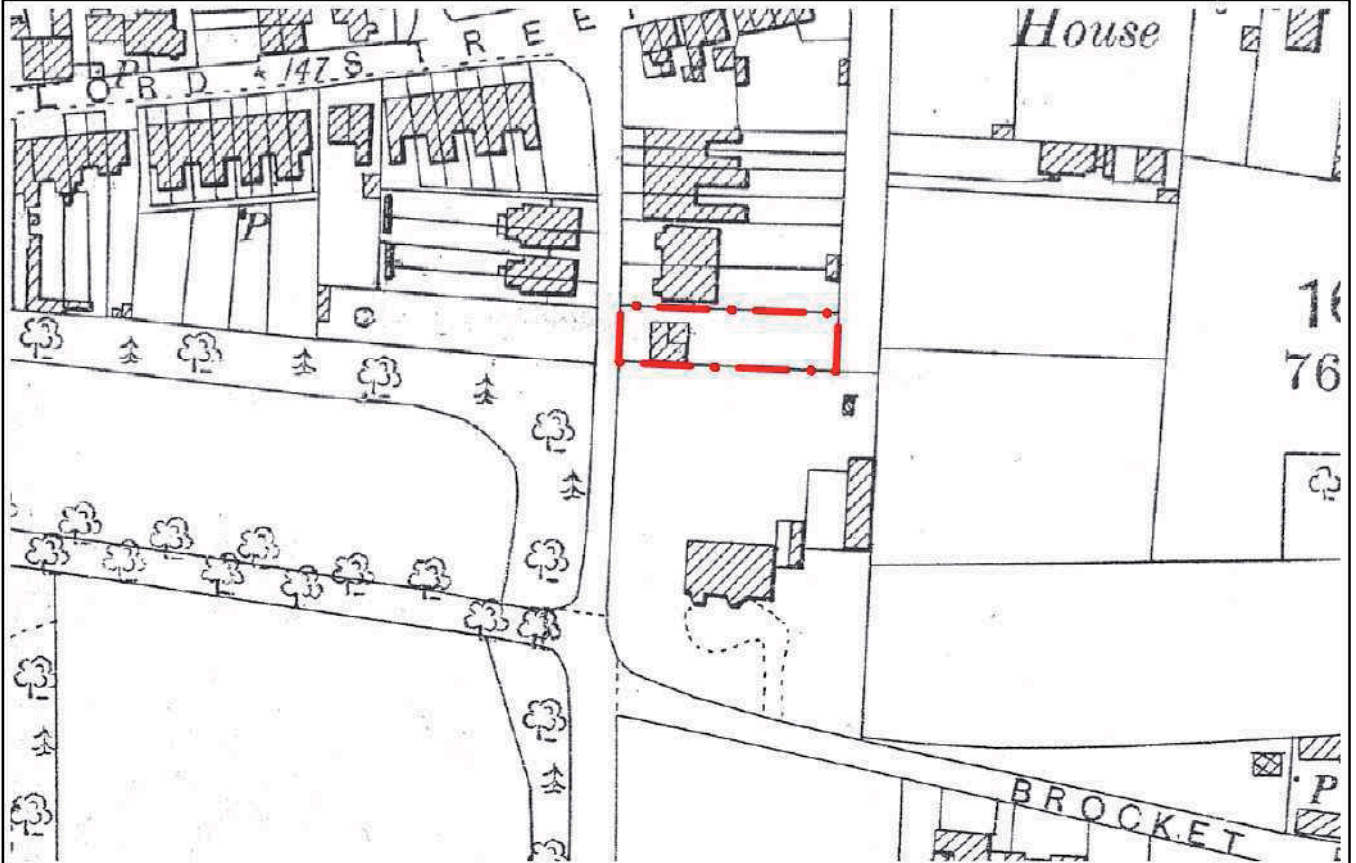


Ordnance Survey Map (1st edition) 1880

Reproduced from the Ordnance Survey with the permission of the Controller of Her Majesty's Stationery Office, licence no.AL100014861

Scale 1:2000

Figure 5

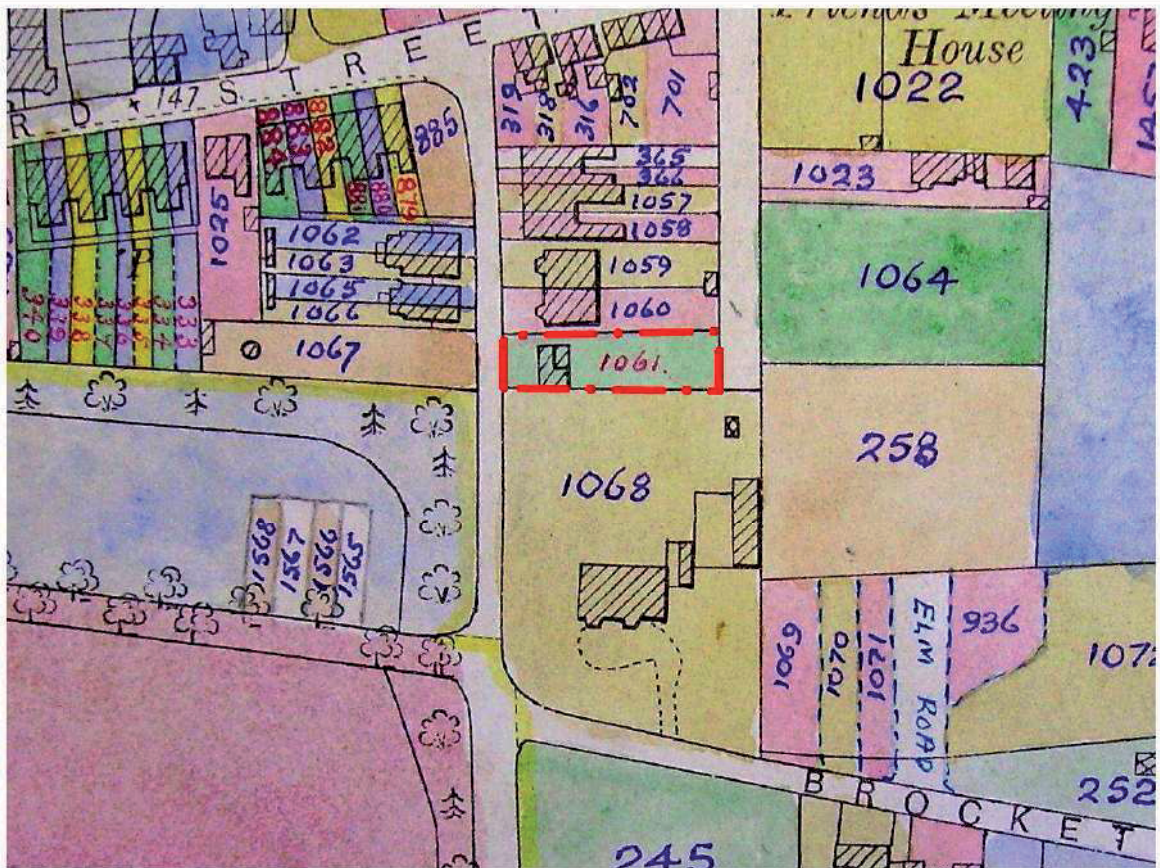


Ordnance Survey Map (2nd edition) 1898

Reproduced from the Ordnance Survey with the permission of the Controller of Her Majesty's Stationery Office, licence no.AL100014861

Scale 1:1500

Figure 6

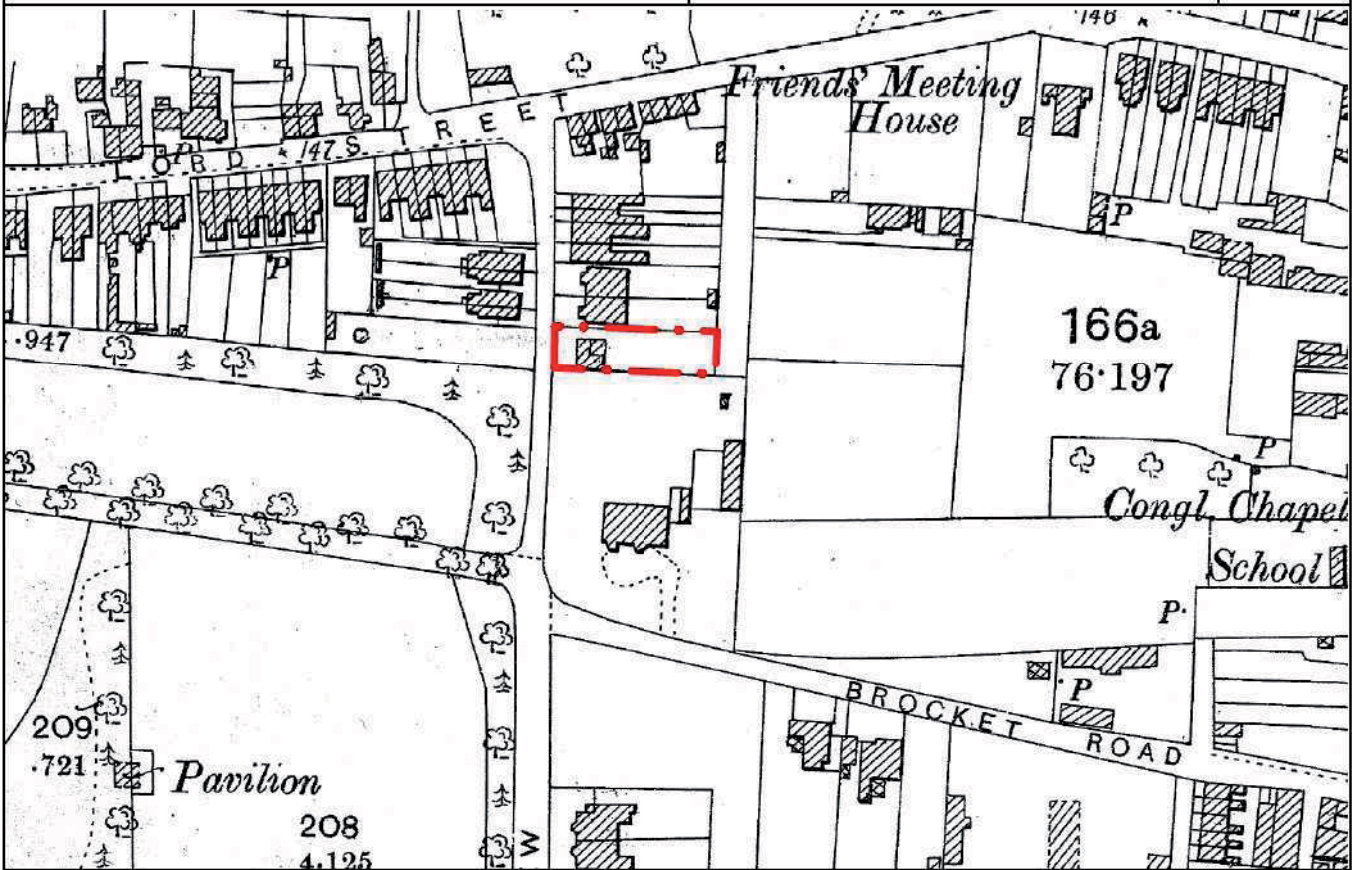


Inland Revenue Survey Map (HALS IR1/375b) 1911

Reproduced from the Ordnance Survey with the permission of the Controller of Her Majesty's Stationery Office, licence no.AL100014861

Scale 1:1500

Figure 7

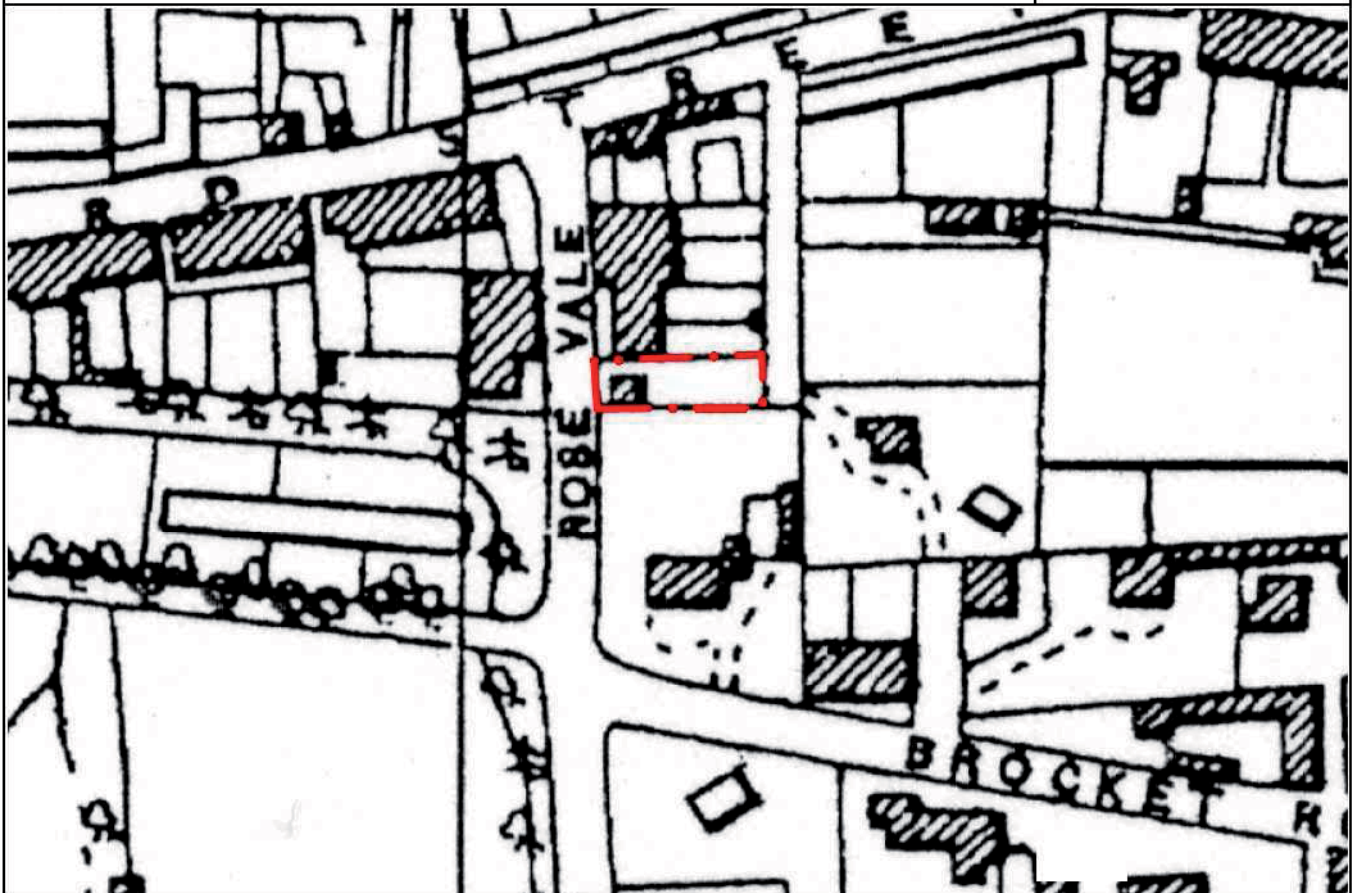


Ordnance Survey Map (3rd edition) 1920

Reproduced from the Ordnance Survey with the permission of the Controller of Her Majesty's Stationery Office, licence no.AL100014861

Scale 1:2000

Figure 8



Ordnance Survey Map 1960

Reproduced from the Ordnance Survey with the permission of the Controller of Her Majesty's Stationery Office, licence no.AL100014861

Scale 1:2000

Figure 9



Plate 1: West elevation
(Photo courtesy of Bayhill Homes)



Plate 2: West and south elevation
(Photo courtesy of Bayhill Homes)



Plate 3: East elevation
(Photo courtesy of Bayhill Homes)



Plate 4: View east to west after demolition of Meadow Cottage



Plate 5: Construction footings



Plate 6: Footing for north-west bay - indicative section



Plate 7: View of Well facing North-east