

REDEVELOPMENT OF 3 WINE OFFICE COURT, CITY OF LONDON EC4A 3BY

AN ARCHAEOLOGICAL WATCHING BRIEF REPORT



February 2019

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AN ARCHAEOLOGICAL WATCHING BRIEF REPORT

TQ ref: 31427 81212 (centre)
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February 2019

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Abstract

Between the 14th January and 12th February 2019 Compass Archaeology undertook an archaeological watching brief at 3 Wine Office Court, City of London EC4A 3BY. The work was commissioned by Jeff Kahane & Associates in repose to requirements set out by the City of London as part of the planning process. The watching brief monitored the completion of groundworks undertaken within and to the front of the property, at basement level, as part of a redevelopment scheme.

The property is a Grade II Listed Building, located within the Fleet Street Conservation Area and City of London Tier 1 Archaeological Priority Area. The house was constructed in c1828 comprising a five storey townhouse, bounded to the south by numbers 1 and 2 Wine Office Court.

The works exposed an east-west aligned drain, recorded at basement level in the open area to the front of the property. The brick structure had a stone base, and appeared to be originating in a north-south direction from the adjoining property, before emptying into a brick-lined and stone-capped drain at its eastern end. The structure is taken to be contemporary with the c1828 construction of Wine Office Court.

No further features of archaeological interest were recorded and no finds were recovered.

Natural orange sandy gravel was encountered in a small trench undertaken to expose an existing modern manhole at a depth of approximately 2.7m below ground level (11.4mOD).

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Fig.5 Adapted from drawing no. 735_EX_090 supplied by Jeff Kahane and Associates.

1 INTRODUCTION

1.1 This document forms a summary of results for an archaeological watching brief undertaken at 3 Wine Office Court, City of London EC4A 3BY (fig.1). The work took place between the 14th January and 12th February 2019.



Figure 1: Site location, marked in red.

- 1.2 The watching brief was commissioned by Mark Hannon, Jeff Kahane & Associates in response to requirements set out by the City of London as part of the planning process. The archaeological work was undertaken due to the site's location within a historically significant landscape.
- 1.3 Number 3 Wine Office Court is a Grade II Listed Building, as designated by Historic England (*nos 1-3 Wine Office Court* UID: 199835), and is located within the Fleet Street Conservation Area and City of London Tier 1 Archaeological Priority Area (figs.2-3).
- 1.4 The programme of archaeological works comprised a watching brief to monitor the completion of groundworks undertaken within and to the front of the property. The groundworks are being undertaken to accommodate the installation of a new concrete and stone staircase and WC at basement level, forming part of a redevelopment scheme.

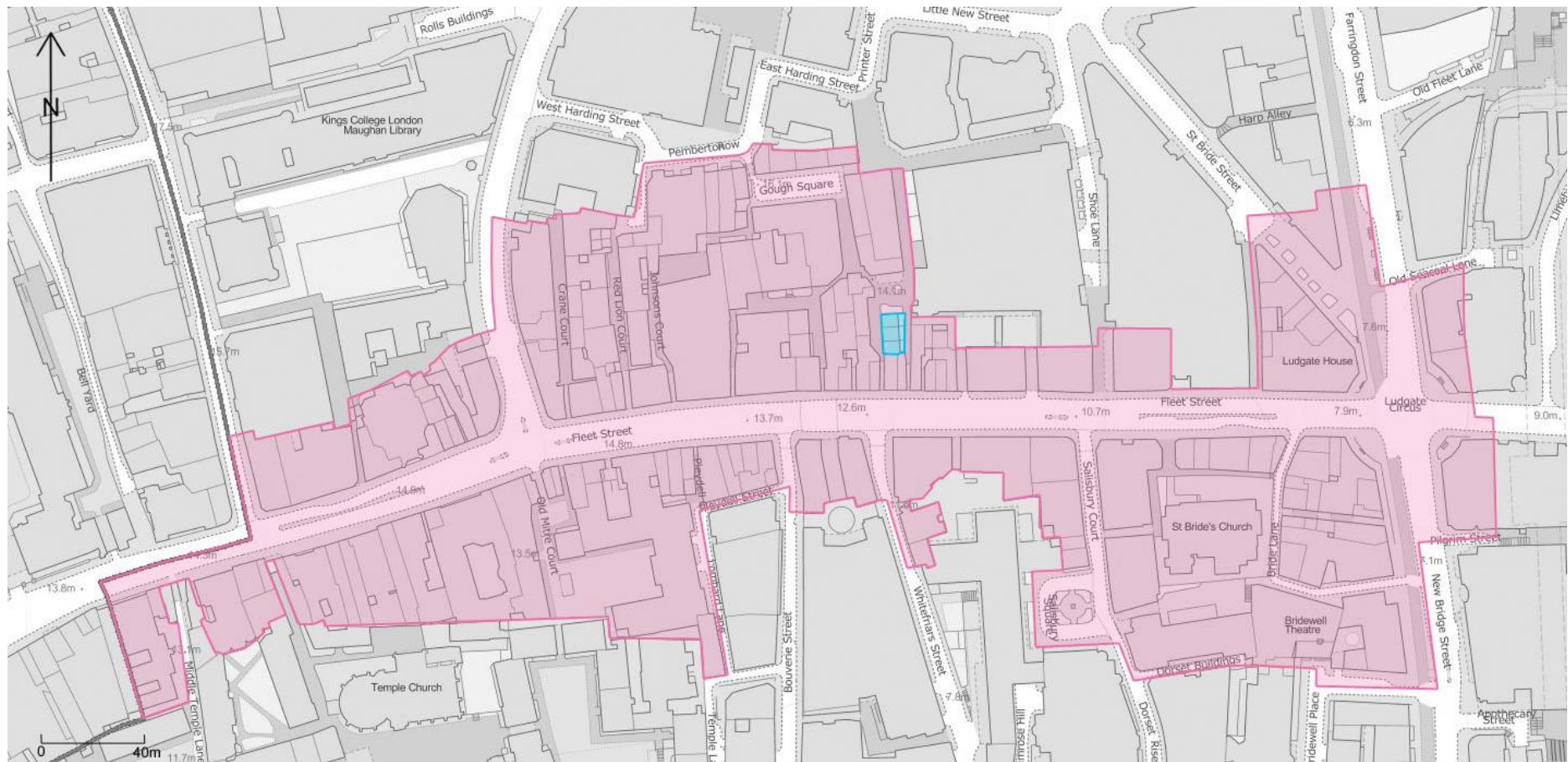


Figure 2: Listed Buildings of 1-3 Wine Office Court (blue), in relation to the Fleet Street Conservation Area (pink).

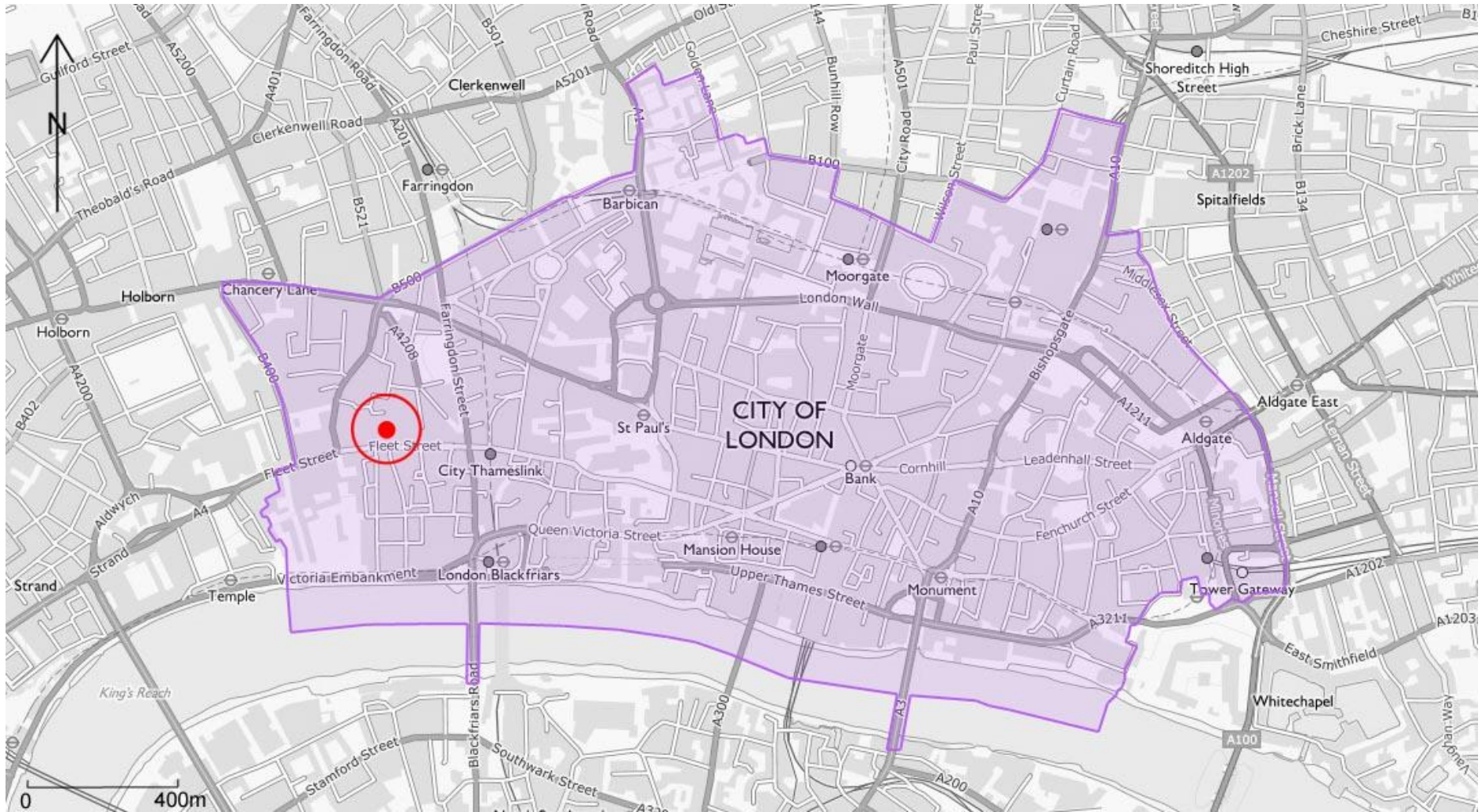


Figure 3: City of London Archaeological Priority Area (purple) in relation to the site location (red).

2 ACKNOWLEDGEMENTS

2.1 Compass Archaeology would like to thank Mark Hannon, Jeff Kahane & Associates for commissioning Compass to undertake the archaeological watching brief and also to Dan Langan for allowing access to his property.

3 SITE LOCATION, GEOLOGY AND TOPOGRAPHY

3.1 The groundworks were located within 3 Wine Office Court, the northernmost of three terraced houses in Wine Office Court, a north-south alley running northwards from Fleet Street. The monitored works were situated within the basement of the property and front yard, referred to below as 'the area'.

3.2 According to the British Geological Survey (Sheet 256: *North London*) the site sits on the southern edge of a small outcropping of Kempton Park Gravels, within a larger band of Langley Silt. This is bounded to the south by an expanse of London Clay and to the north by alluvium, demarcating the extent of the River Thames (fig.4).

3.3 The site sits towards the centre of a slight but noticeable north-south slope along Wine Office Court. The open square to the north of number 3 sits at c14.1mOD, dropping to c12.6mOD on Fleet Street.

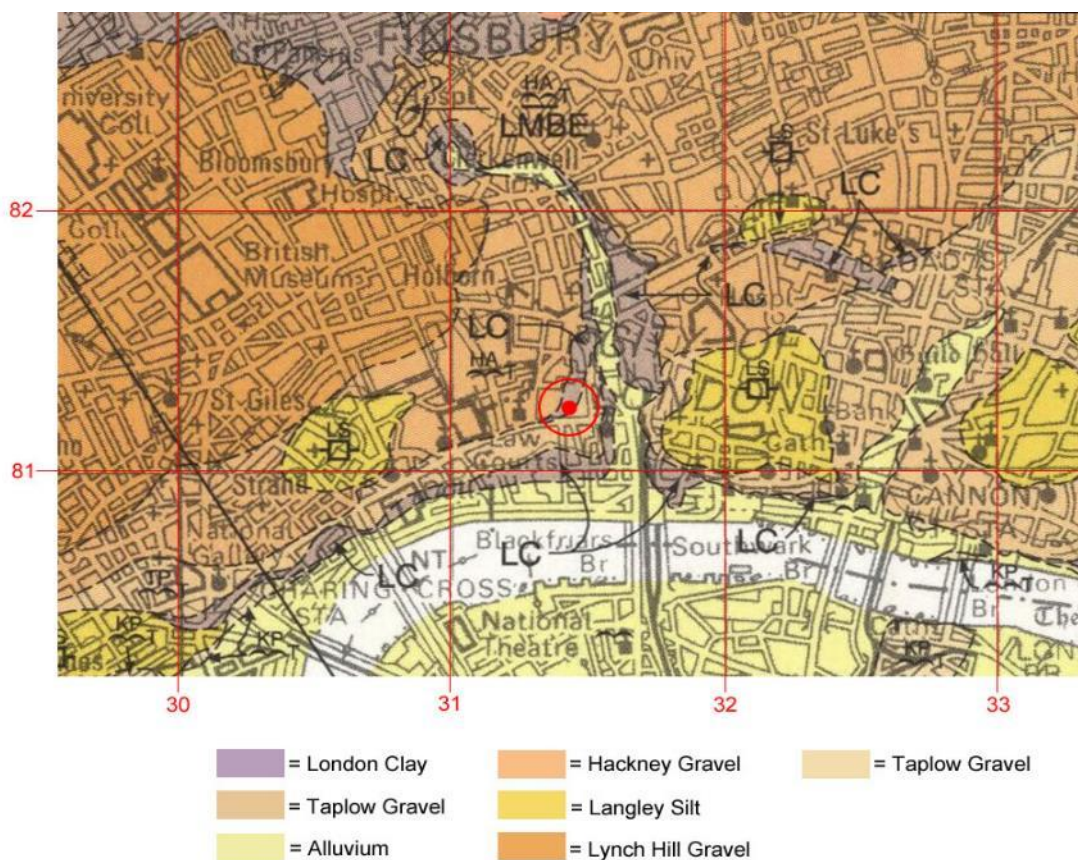


Figure 4: Extract from the BGS Sheet 256: North London (1993), with site location marked in red.

4 ARCHAEOLOGICAL AND HISTORIC BACKGROUND

The archaeological and historical background of the site is well documented, and discussed at length in the preceding Desk Based Assessment (Compass Archaeology 2018) so shall not be reproduced at length here. Instead a short summary of the major historical periods is given.

4.1 *Prehistoric*

During the prehistoric period much of the archaeological evidence for activity / occupation is concentrated close to the River Thames, often on gravel islands, or eyots, which afforded higher and dryer ground, space and a regular subsistence supply favoured by a hunter-gatherer lifestyle. There is little archaeological evidence to suggest that the site and its immediate environs were heavily exploited during this period.

Further westwards, towards the church of St Dunstan-in-the-West a flint tranchet axe was recovered from the River Fleet, however its precise location is unknown. A bronze dagger was also recovered from the river, towards the Holborn Viaduct. Finally, the remains of a Woolly Rhino were uncovered from the beneath the Daily Chronicle building in 1903, dated to c50 – 250,000BC (Londonist 2013).

This evidence implies that there was some activity taking place within the vicinity of the site, however, it is most likely small scale isolated incidents, rather than large scale occupation or industrial level activity.

4.2 *Roman*

A Roman settlement was established shortly after the successful Claudian invasion of AD43. *Londinium* comprised a playing card shaped fortress, centred on the present day London Wall / Wood Street, and a civilian settlement extending from Ludgate in the west to Tower Hill / Aldgate in the east. Due to its location close to the River Thames and easy access to the Kent coast, settlement in the vicinity of the site was quickly established.

Fleet Street was established as a thoroughfare leading west from Ludgate, however the surrounding area was predominately marshy and as such was not exploited much beyond the limits of the road.

Londinium served as a major port and commercial centre for Roman Britain until its eventual abandonment during the 5th century. The fort and surrounding *vicus* began to decline in the early to mid-4th century AD as troops were relocated further north to defend the border near Hadrian's Wall. Eventually, in the early 5th century trade and communication links with Britain had broken down due to territorial disputes in mainland Europe, leading to the complete withdrawal of a Roman presence.

4.3 *Saxon*

In the post-Roman period the commercial centre moved further west, with the Saxon settlement of *Lundenwic* being established in the area of Covent Garden, more

specifically in the area now occupied by the Royal Opera House and Bow Street Magistrates Court.

Fleet Street first appears in documentary sources from c1274 as *Fletestrete* (and variations of *Fletebrigge*, *Fleet Bridge* etc.) however it is likely the road remained in use from the Roman period onwards. The area became notable for its religious institutions, referred to collectively as the Lundenwic Strand Settlement Churches, and includes St Dunstan-in-the-West, St Martin in the Fields, St Bride's and St Mary le Strand. In general the area begins to gain in prominence during the Saxon period, and was likely a focal point of religious and administrative activity, surrounding a densely populated street, all exploiting the River Fleet.

4.4 Medieval

Throughout the medieval period the area gained in popularity and expanded rapidly. The area took on an institutional and ecclesiastical character and by the 13th century had been brought within the boundaries of the City, marked at the western end of Fleet Street by the Temple Bar. Upon moving to London in the early 13th century the Dominican Black Friars took up residence on the east side of Shoe Lane, remaining at this location until 1278. John Richardson (2000) cites in his *Annals of London* that in 1263, 700 friars attended a general chapter in Shoe Lane, which would have considerably increased the still fairly modest local population.

Archaeological investigations in the vicinity have revealed numerous quarry pits, rubbish pits and ditches containing finds of medieval date, including pottery, glazed roof tiles, animal bones and kiln wasters. Many of the pits are thought to be associated with the 12th – 13th century construction of the Carmelite Friary of Whitefriars, located to the south of Wine Office Court.

The Fleet River (also known as Fleet Ditch) attracted tanners to the area and the ward became densely populated and industrious. The area also became attractive to lawyers and from 1320 became a legal hub. In 1337 the Temple divided into four Inns of Court – Inner Temple, where lawyers resided, Middle Temple, also occupied by lawyers, and Lincoln's Inn for barristers and Gray's Inn, originally used for teaching. Each complex was substantial, providing libraries, lodging and chambers for practising barristers. Fleet Street was conveniently located between Westminster and the commercial centre of the City and as such held an important strategic position, particularly for publishing houses, as they were in demand both for legal texts for the courts and printed literature and news reports from the City.

4.5 Post-medieval

Population and construction expansion continued into the early post-medieval area and the site and its immediate environs became a dense industrious hub. Fleet Street remained a focal point for publishing houses, albeit now on a more organised and larger scale. Expansion was significantly halted by the Great Fire in 1666, however a rebuilding programme was quickly undertaken and the area became more densely packed than before. The site appears on cartographic sources from the 17th century onwards, in a number of configurations until its present day form. The area surrounding the site is characterised by its architecture and includes several post-fire buildings. The Ye Olde

Cheshire Cheese public house, immediately adjacent to the site, was in existence from the mid-16th century and was rebuilt again shortly after the fire.

By the post-medieval period the River Fleet had become increasingly used as a sewer and the area came to be characterised by its poor housing, prisons and low standard of living. Due to the increasing demand for space the river was covered over in the 1730s, with the final section being completed in the 1870s when Hampstead was expanded.

3 Wine Office Court has existed in its present form since c1828 comprising a five storey terraced townhouse, bounded on both sides. The house is typical of its period and spacious enough to support a single or multiple families (see AHP Heritage Statement 2018).

4.6 *Modern*

Into the early modern period the site remained relatively unchanged, remaining in use as a dwelling. During the Second World War the area was badly affected by enemy action, and several of the buildings in close proximity to 3 Wine Office Court were damaged beyond repair, including number 4, to the north, which was subsequently cleared to create the open space now in existence.

From the 1950s onwards the building has undergone a series of small renovations and alterations however the exterior remains unchanged. The Newspaper Offices to the east were constructed in the late 1940s / early 1950s, replacing a number of smaller post-medieval offices and buildings, many of which had been cleared after the war. To the north of 4 Wine Office Court a small post-medieval block was cleared and rebuilt in the late-1960s, creating the existing layout.

5 PLANNING AND OBJECTIVES

5.1 The groundworks entailed the completion of three trenches located in the property. The first trench was situated within the basement, in an area formerly in use as a kitchen / dining room. The second and third comprised the opening of the whole area to the front of the property, also at basement level (fig.5).

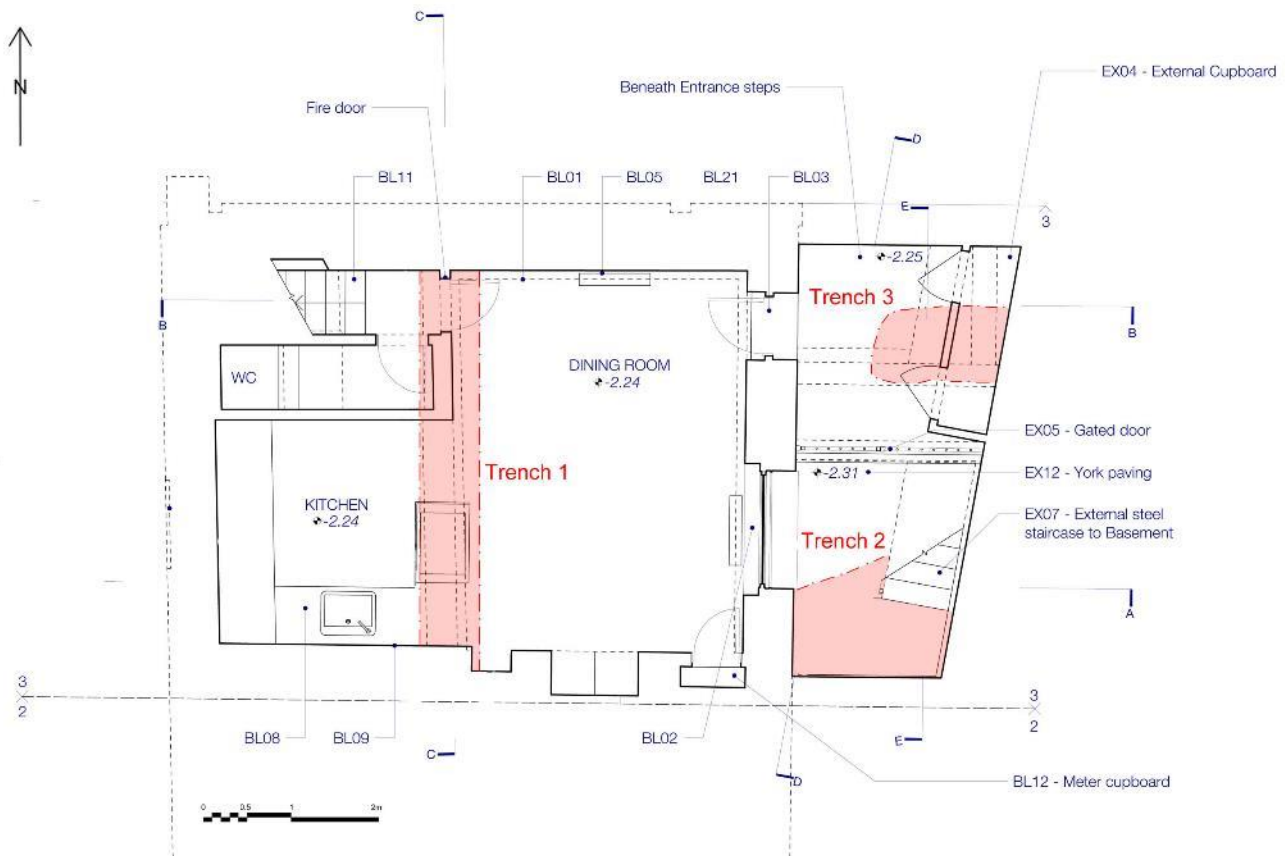


Figure 5: Location of trenches monitored during the watching brief (red). Adapted from drawing no. 735_EX_090 supplied by Jeff Kahane and Associates.

5.2 The concrete surfaces were removed via hand held breaker, with the remainder of the excavation works being undertaken by hand.

5.3 The work followed the standards set out in the London Plan (2016 and currently in draft) (*Chapter Seven: London's Living Spaces and Places*) which states that new developments are expected to align with the following procedures:

Historic Environment and Landscapes

Policy 7.8 *Heritage assets and archaeology*

Strategic

A *London's heritage assets and historic environment, including listed buildings, registered historic parks and gardens and other natural and historic landscapes, conservation areas, World Heritage Sites, registered battlefields, scheduled monuments, archaeological remains and memorials should be identified, so that the desirability of*

sustaining and enhancing their significance and of utilising their positive role in place shaping can be taken into account.

- B** *Development should incorporate measures that identify, record, interpret, protect and, where appropriate, present the site's archaeology.*

Planning decisions

- C** *Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.*
- D** *Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural design.*
- E** *New development should make provision for the protection of archaeological resources, landscapes, and significant memorials. The physical assets should, where possible, be made available to the public on-site. Where the archaeological asset or memorial cannot be preserved or managed on-site, provision must be made for the investigation, understanding, recording, dissemination and archiving of that asset.*

LDF Preparation

- F** *Boroughs should, in LDF policies, seek to maintain and enhance the contribution of built, landscaped and buried heritage to London's environmental quality, cultural identity and economy as part of managing London's ability to accommodate change and regeneration.*
- G** *Boroughs, in consultation with English Heritage, Natural England and other relevant statutory organisations, should include appropriate policies in their LDFs for identifying, protecting, enhancing and improving access to the historic environment and heritage assets and their settings where appropriate, and to archaeological assets, memorials and historic and natural landscape character within their area.*

- 5.4** In addition to the policy outlined above, the City of London has its own, additional policies concerning archaeological remains and other heritage assets, laid out within the *Local Plan* (adopted 2015), including Core Strategic Policy CS12: Historic Environment and Development Management Policies DM12.1 to 12.5. Of particular significance here is policy DM12.4, set out thus:

Policy DM12.4 Ancient monuments and archaeology

- 1. To require planning applications which involve excavation or ground works on sites of archaeological potential to be accompanied by an archaeological assessment and evaluation of the site, including the impact of the proposed development.*
- 2. To preserve, protect, safeguard and enhance archaeological monuments, remains and their settings in development, and to seek a public display and interpretation, where appropriate.*
- 3. To require proper investigation and recording of archaeological remains as an integral part of a development programme, and publication and archiving of results to advance understanding.*

6 METHODOLOGY

6.1 Standards

6.1.1 The field and post-excavation work was carried out in accordance with Historic England guidelines (*Greater London Archaeology Advisory Service: Standards for Archaeological Work, 2015*). Works also conformed to the standards of the Chartered Institute for Archaeologists (*Standard and guidance for an archaeological watching brief 2015*). Overall management of the project was undertaken by a full member of the Chartered Institute.

6.1.2 Fieldwork was carried out in accordance with the Construction (Health, Safety & Welfare) Regulations. All members of the fieldwork team held valid CSCS (Construction Skills Certificate Scheme) cards, and wore hi-vis jackets, hard-hats, steel-toe-capped boots, etc., as required. All members of the fieldwork team also followed the contractors' health and safety guidelines.

6.1.3 The Client, City of London Department of the Built Environment and Historic England were kept informed of the progress of fieldwork and any finds recovered.

6.2 Fieldwork

6.2.1 The archaeological watching brief took place during the completion of groundworks associated with the redevelopment of 3 Wine Office Court.

6.2.2 The work was undertaken between the 14th January and 12th February 2019, under archaeological supervision.

6.2.3 Archaeological contexts were recorded as appropriate on *pro-forma* sheets by written and measured description, and drawn in plan or section, generally at scales of 1:10 or 1:20. The investigations were recorded on a general site plan and related to the Ordnance Survey grid. Levels were taken on archaeological features or deposits, transferred from the nearest Ordnance Datum Benchmark, a spot height noted on Ordnance Survey Plans *Hind Court*, at 14.1mOD. The fieldwork record was supplemented by digital photography, in .jpeg and RAW formats.

6.2.4 The recording system followed the procedures set out in the Museum of London recording manual. By agreement the recording and drawing sheets used are directly compatible with those developed by the Museum.

6.3 Post-excavation

The fieldwork was followed by off-site assessment and compilation of a report, and by ordering and deposition of the site archive.

6.3.1 Finds and samples

No finds were recovered from the watching brief.

6.4 Report procedure

- 6.4.1** This report contains a description of the fieldwork plus details of any archaeological remains or finds, and an interpretation of the associated deposits. Illustrations have been included as appropriate, including a site plan located to the OS grid. A short summary of the project has been appended using the OASIS Data Collection Form.
- 6.4.2** Copies of this report will be supplied to the Client and City of London Department of the Built Environment.
- 6.4.3** There is no provision for further analysis or publication of significant findings. Should these be made the requirements would need to be discussed and agreed with the Client.

6.5 The site archive

Assuming that no further work is required, an ordered indexed and internally consistent archive of the evaluation will be compiled in line with MoL Guidelines for the Preparation of Archaeological Archives, and will be deposited in the Museum of London Archaeological Archive under site code WOF19. The integrity of the site archive should be maintained, and the landowner will be urged to donate any archaeological finds to the Museum.

7 RESULTS

7.1 Trench 1

7.1.1 Trench 1 was situated within the basement of the property, in the area formerly used as the kitchen / dining room. The trench measured 4.2m in length (N-S) x 0.6m in width x 0.7m in depth (11.09mOD), aligned N-S (fig.6).



Figure 6: Trench 1, showing made ground beneath concrete. Facing SW. Scale 0.5m.

7.1.2 The stratigraphy comprised 200mm of well compacted light grey lean mix reinforced concrete (1) above at least 500mm of moderately compacted dark brown silty soil abundant with stones and small fragments of ceramic building material (CBM) (2). This dark soil is taken to be made ground, disturbed through the construction of the present standing building. A larger deposit of concrete (3) was visible at the northern end of the trench. Two modern services associated with the property were observed below the concrete floor (1). No further features were observed and no finds were recovered from this trench.

7.2 Trench 2

7.2.1 The second trench covered the area to the front of the property, following the removal of the existing floor. The area was sub-rectangular in plan, measuring approximately 5m in length x 1.5 – 2.5m in width. A post-medieval brick feature was observed at the narrower, southern end of the space (fig.7).



Figure 7: Post-medieval brick drain situated at the southern end of the area. Facing SE. Scale 0.5m.

7.2.2 The structure, aligned east-west was constructed from red bricks bonded with a gritty mortar, with a stone base [4]. A single CBM tile course was visible in the southern section. The stone base sloped downwards in an easterly direction, leading to a square brick drain capped with a single stone. The top of the feature was encountered at approximately 11.5mOD.

7.2.3 The structure measured 1.5m in length x 0.7m in width x 0.2m in height, with the square drain part having an internal space of 0.25 x 0.25m, reaching an unknown depth (fig.8). The drain was filled, and overlain by a dark brown silty-soil (7), taken to be similar to, if not the same as context (2) observed in Trench 1, and cut [5] into a deposit of orange clay (6).



Figure 8: Square part of the drain, filled by silty soil. Facing E. Scale 0.5m.

7.2.4 The stone base of the drain [4] was partially truncated at the western end by the insertion of a later ceramic pipe (fig.9).



Figure 9: The drain [5] can be seen cutting into clay (6) in the foreground. A more modern ceramic drain can be seen towards the top and bottom of frame, slightly truncating the earlier stonework. A corner, possibly indicating a change of direction can be seen to the right of the scale and ceramic pipe. Facing E. Scale 0.2m.

7.2.5 The brick structure is taken to be the remains of a post-medieval drain, most likely contemporary with the 1828 construction, based on its alignment and location immediate beneath the existing basement level. A slight chamfer in the brickwork observed in the southwestern corner suggests that the drain ran north-south beneath the wall dividing the property from next door, before turning eastwards and heading downhill, collecting in the square drain at the base of the stairs.

7.3 Trench 3

7.3.1 A final trench was undertaken to expose an existing manhole, situated beneath the stairs in the area. The trench was irregular in plan, measuring 1.76m at its longest extent x 0.75m in depth (11.04mOD / 3.6mbgl) (fig.10).



Figure 10: Trench 3, showing natural gravels beneath post-medieval and modern services. Facing SW. Scale 0.5m.

7.3.2 The stratigraphy comprised 350mm of dark brown silty soil (7) overlying a minimum of 400mm of dark orange sandy gravel (8), taken to be the natural geology. The made ground has been disturbed on multiple occasions by the installation of several post-medieval and modern services leading to and from the brick manhole. The construction of the manhole itself had also caused localised truncation of the surrounding deposits.

7.4 No further feature of archaeological interest were recorded during the watching brief and no finds were recovered.

8 CONCLUSIONS

8.1 The brick structure exposed during the groundworks is consistent with a post-medieval drain. The feature was aligned east-west, draining in an easterly direction, and potentially originated from the property next door, 2 Wine Office Court. Its location within the area and position beneath the floor suggests it is contemporary with the 1828 construction. Localised truncation to the southwestern corner indicates it was altered at a later date, by the insertion of a ceramic pipe. A chamfered brick corner observed in this corner suggests that the later ceramic pipe was utilising the older course of the drain.

8.2 Natural geology, comprising moderately well compacted dark orange sandy gravels was observed in Trench 3 at a depth of 400mm (11.4mOD / 2.7mbgl).

9 SOURCES

9.1 Digital Sources

Greater London Historic Environment Record. glher@HistoricEngland.org.uk

London Archaeological Archive & Resource Centre (LAARC) database.
<http://archive.museumoflondon.org.uk/laarc/caralogue/>

Londonist (2016). Prehistoric London...Mapped.
<https://londonist.com/2013/05/prehistoric-london-mapped>

9.2 Bibliography

Chartered Institute for Archaeologists. (2014a). *Standard and guidance for the collection, documentation, conservation and research of archaeological materials.*

Chartered Institute for Archaeologists (2014b). *Standard and guidance for the creation, compilation, transfer and deposition of archaeological archives.*

Chartered Institute for Archaeologists. (2015). *Standard and guidance for an archaeological watching brief.*

City of London (2015). *Local Plan.*

Communities and Local Government. (2018). *National Planning Policy Framework.*

Compass Archaeology (2018). *Redevelopment of 3 Wine Office Court, City of London EC4A 3BY.*

Historic England. (2015). *Greater London Archaeology Advisory Service: Guidelines for Archaeological Projects in Greater London.*

Historic England. (2015). *Greater London Archaeology Advisory Service: Standards for Archaeological Work.*

Mayor of London. (2016-18). *The London Plan.*

Richardson, J. (2000). *The Annals of London. A Year-by-Year Record of a Thousand Years of History.* London: Cassell & Co.

9.3 Cartographic Sources

British Geological Survey (1993). *Sheet 256: North London.*

APPENDIX I – CONTEXT LIST

Number	Description
(1)	Concrete floor in Trench 1
(2)	Made ground below (1)
(3)	Concrete at northern end of Trench 1
[4]	Brick drain in Trench 2
[5]	Cut for [4]
(6)	Clay
(7)	Made ground in Trench 2
(8)	Natural gravels in Trench 3

APPENDIX II – OASIS RECORDING FORM

OASIS ID: compassa1-342924

Project details

Project name	Redevelopment of 3 Wine Office Court, EC4A 3BY
Short description of the project	Between the 14th January and 12 th February 2019 Compass Archaeology undertook an archaeological watching brief at 3 Wine Office Court, City of London EC4A 3BY. The watching brief monitored groundworks associated within and to the front of the property, at basement level. The work exposed the remains of an east-west aligned brick drain, taken to be contemporary with the 1828 construction of the house. No finds were recovered. Natural gravels were encountered at approximately 11.4mOD.
Project dates	Start: 14-01-2019 End: 29-01-2019
Previous/future work	No / No
Any associated project reference codes	WOF19 - Sitecode
Type of project	Recording project
Site status	Conservation Area
Site status	Local Authority Designated Archaeological Area
Current Land use	Residential 1 - General Residential
Monument type	DRAIN Post Medieval
Significant Finds	NONE None
Investigation type	"Watching Brief"
Prompt	Planning condition

Project location

Country	England
Site location	GREATER LONDON CITY OF LONDON CITY OF LONDON 3 Wine Office Court
Postcode	EC4A 3BY
Study area	10 Square metres
Site coordinates	TQ 531427 181212 50.941591829239 0.180048520922 50 56 29 N 000 10 48 E Point
Height OD / Depth	Min: 11.1m Max: 11.4m

Project creators

Name of Organisation	Compass Archaeology
Project brief originator	City of London Department of the Built Environment
Project design originator	Compass Archaeology

Project director/manager	Geoff Potter
Project supervisor	Heidi Archer
Type of sponsor/funding body	Developer
Name of sponsor/funding body	Jeff Kahane & Associates on behalf of property owner

Project archives

Physical Archive Exists?	No
Digital Archive recipient	Museum of London Archaeological Archive
Digital Contents	"Stratigraphic"
Digital Media available	"Images raster / digital photography"
Paper Archive recipient	Museum of London Archaeological Archive
Paper Contents	"Stratigraphic"
Paper Media available	"Photograph", "Plan", "Unpublished Text"

Project bibliography 1

Publication type	Grey literature (unpublished document/manuscript)
Title	Redevelopment of 3 Wine Office Court, City of London EC4A 3BY
Author(s)/Editor(s)	Archer, H.
Date	2019
Issuer or publisher	Compass Archaeology
Place of issue or publication	250 York Road, Battersea SW11 3SJ
Description	Short report summarising the results of the watching brief. Report comprises background information relating to the project, including site location, geology and archaeological and historical background, and reference to relevant planning policy. This is followed by the results of the watching brief, supplemented by relevant photographs, and concluding remarks. Context List and OASIS form included as appendices.