

Heritage Impact Assessment



**27 Fitzroy Square
London W1T 6ES**

On behalf of

Advent Life Sciences

January 2021

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1 Executive Summary

Border Archaeology (BA) has been commissioned to carry out a Heritage Impact Assessment regarding a planning application for external and internal refurbishment works at 27 Fitzroy Square London W1T 6ES. The results of this assessment may be briefly summarised thus:

No. 27 Fitzroy Square is located roughly midway along a terrace of 13 houses (Nos. 20-32) lining the west side of Fitzroy Square, one of London's finest squares, a distinctive and well-known area of speculative residential development laid out in Marylebone during the late 18th/early 19th century which is designated as a Conservation Area. The square has significant and well-known historical associations, particularly in literary and artistic terms.

Nos. 20-32, designated as a Grade II* listed building, were built in 1832-35 and represent the last remaining portion of the square to be built, the eastern and southern sides being built first to designs by Robert and James Adam between 1792 and 1794 and the northern side between 1827 and 1828. It may be regarded as a built heritage asset of **High** significance, reflecting its Grade II* listing, forming part of one of the finest late Georgian/Regency squares in London, with well-known historical and literary associations of national importance.

The interior of the house comprises a basement, ground, first, second and third floors; the layout exhibits a typical plan followed by the other houses in the square (and indeed characteristic of late 18th/early 19th century London townhouses generally) being two rooms deep with a large front room flanked by the hallway and a smaller back room flanked by the staircase, with rooms to the rear behind the staircase which appear to constitute a later extension to the house, probably of mid to late 19th century date. In spite of the fact that the interior has been subject to extensive modern refurbishment works (the property having been used as a dental practice for a lengthy period until quite recently), the original plan form of the house remains well-preserved and highly legible.

Based on the proposed plans and available information supplied, it is considered that, in overall terms, the proposed external and internal refurbishment works may have a **Minor** magnitude of impact on the significance of the listed building. The proposed external works are limited in scope and the appearance of the building will remain unchanged. The internal refurbishment works are extensive; however, with the exception of the proposed replacement of the timber flooring in the hallway (which it is suggested should be retained), no original fixtures or fittings will be removed, and no new internal partitions will be inserted. However, the installation of the proposed lighting, air conditioning system and associated ductwork could potentially impact on concealed historic fabric and thus it is respectfully suggested that particular care should be given to the undertaking of these works with reference to relevant conservation guidance provided by Camden Council and Historic England.

Conclusion: In overall terms, the impact of the proposed internal refurbishment works on the significance of the listed building may be assessed as Slight to Moderate, based on a cross-referencing of the significance of the house, assessed as being of High importance as forming part of an important Grade II Listed terrace of early 19th century date, cross-referenced against the magnitude of impact, assessed as Minor. The proposed works will not alter the overall plan form or external appearance of the building and no internal fixtures or fittings of note will be removed, although there is potential for the installation of lighting and a new air conditioning system to impact to a certain degree on historic fabric.

2 Introduction

Border Archaeology (BA) has been instructed by Advent Life Sciences to undertake a Built Heritage Statement (HS) relating to 27 Fitzroy Square, Fitzrovia, London W1T 6ES, in connection with the proposed refurbishment of the exterior and interior of the building (which until recently was used as a dental surgery) as commercial office space (*fig.1*).

The grid reference for the site (approximate centre) is NGR: TQ 29088 82056.

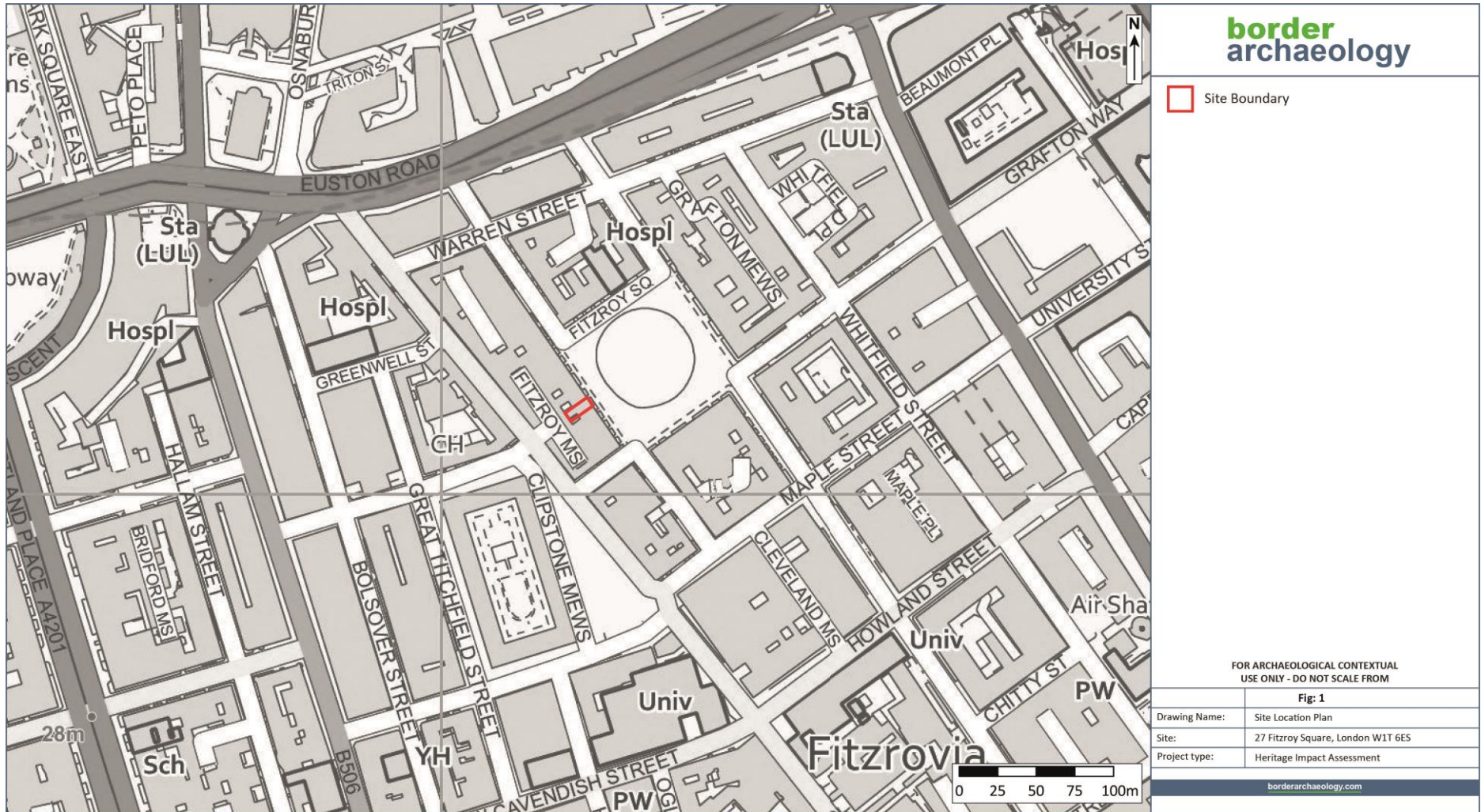
3 Site Location

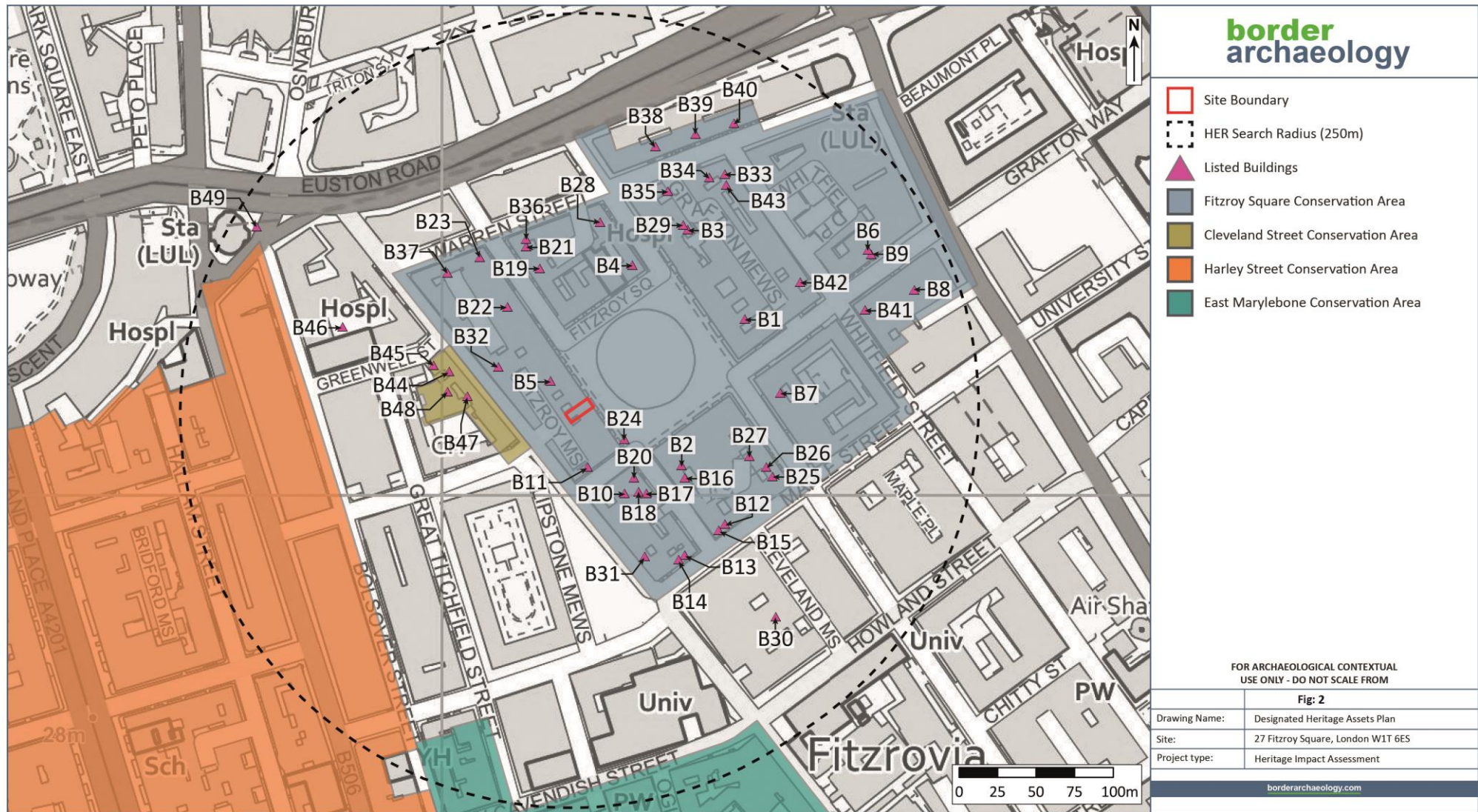
No. 27, the property forming the subject of this Heritage Impact Assessment, is a four-storey house with basement located roughly midway along a terrace of 13 houses on the W side of Fitzroy Square (Nos. 20-32 Fitzroy Square), which is collectively designated as a Grade II* Listed Building.

Fitzroy Square is a late 18th/early 19th century residential square situated within central London, to the S of Euston Road, W of Tottenham Court Road, E of Cleveland Road and N of Maple Street. It forms the focal point of the Fitzroy Square Conservation Area, as designated by Camden Borough Council.

3.1 Soils & Geology

Due to the urban nature of the site within central London, the local soils are listed as 'unsurveyed' in the Soil Survey of England and Wales (SSEW 1983). The British Geological Survey (BGS) records the underlying solid geology in the vicinity of the site as consisting of clay, silt and sand belonging to the London Clay Formation.





4 Methodology

4.1 Aims & Objectives

This Heritage Impact Assessment describes the listed building at 27 Fitzroy Square and assesses its significance, followed by a description of the application proposals and an assessment of their potential impact on the heritage asset, in order to reach an overall assessment of the significance of impact upon the built heritage asset.

4.2 Legislative Framework

BA are cognisant of the following national and local planning policy guidance and legislative information relating to the status of Listed Buildings and the preparation of Heritage Statements.

Listed Buildings are referred to as ‘designated heritage assets’ at national planning policy level and under the current National Planning Policy Framework (NPPF) published in 2019, the following policies are of specific relevance to the assessment of these assets.

NPPF Chapter 16 para. 189 states that: *‘In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary’.*

Chapter 16 para. 193-196 state that: *‘When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.*

Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

- a) Grade II listed buildings, or grade II registered parks or gardens, should be exceptional; b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.*

Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply: a) the nature of the heritage asset prevents all reasonable uses of the site; and b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and c) conservation by grant-funding or some form of not for profit, charitable or public ownership is

demonstrably not possible; and d) the harm or loss is outweighed by the benefit of bringing the site back into use. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.'

4.3 Criteria

This Heritage Statement has been informed by relevant Historic England guidance for assessing impact on heritage assets, their significance and respective settings, namely, *Conservation Principles Policies and Guidance for the Sustainable Management of the Historic Environment* (Historic England 2015), *The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning 3 - Second Edition* (Historic England 2017a), *Understanding Place: Historic Area Assessments: Principles and Practice* (Historic England 2017b) and *Statements of Heritage Significance: Analysing Significance in Heritage Assets Historic England Advice Note 12* (Historic England 2019). This Assessment also reflects local and regional planning policy guidance regarding the assessment of archaeological assets contained in the *London Plan* (Policy 7.8 Heritage Assets and Archaeology) and in the *Camden Local Plan* (adopted 2017), in particular Policy D2 (Heritage).

Table 1: Overall Significance of impact on heritage assets					
<i>Magnitude of impact.</i>	<i>Importance of heritage asset.</i>				
	Very High	High	Medium	Low	Negligible
No change	Neutral	Neutral	Neutral	Neutral	Neutral
Negligible	Slight	Slight	Neutral/Slight	Neutral/Slight	Neutral
Minor	Moderate/Large	Slight/Moderate	Slight	Neutral/Slight	Neutral/Slight
Moderate	Large/Very Large	Moderate/Large	Moderate	Slight	Neutral/Slight
Major	Very Large	Large/Very Large	Moderate/Large	Slight/Moderate	Slight

4.4 Consultation of Records relating to Archaeological & Built Heritage Assets

In order to fully appreciate the significance of the heritage assets and their respective settings which may be affected by the proposed development, information was collected on the known built heritage assets within a 250m study area around the area of proposed development (fig. 2).

The research carried out for this Heritage Statement consisted of the following elements:

- Consultation of the Greater London Historic Environment (GLHER). The Historic Environment Record includes information on archaeological and built heritage assets as well as previous archaeological investigations and historic building surveys.
- Historic England – information on statutory designations including scheduled monuments, registered parks and gardens and listed buildings along with identified Heritage at Risk.
- Online collections of documentary records, census returns, post office directories and historic maps and photographs were consulted using records held by the National Archives and the British Library

The Heritage Impact Assessment was also informed by a site visit undertaken on 16th December 2020. Photos were taken of the exterior and interior are included as an appendix to this report (Appendix 1; figs. 3-7).

5 Heritage Assessment

5.1 Site Specific Historical Background

Fitzroy Square was originally constructed as part of a speculative development, intended to provide London residences for aristocratic families, during the late 18th and early 19th centuries, in an area which later became known as 'Fitzrovia'.

Prior to development, the site of Fitzroy Square lay within a rural area to the W of Tottenham Court Road, as shown on Rocque's map of 1746 (*fig. 13*). The area formed part of the estates of the Dukes of Grafton, descended from Henry FitzRoy, 1st Duke of Grafton, an illegitimate son of Charles II and Barbara Villiers. The construction of the square was commissioned by Charles Fitzroy (who was created Lord Southampton in 1780), who commissioned Robert and James Adam to produce the initial drawings (Howard Roberts & Godfrey, 1949, 52-63; Weinreb & Hibbert 2008, 296; Camden Council 2010).

The eastern and southern sides of Fitzroy Square were developed first, in the early 1790s, with buildings fronted in Portland Stone to designs by Robert and James Adam. This phase of development also included the laying out of the circular garden, surrounded by a railed enclosure, for the private use of the residents. However, the effects of the Napoleonic Wars and a general slump in the London property market led to the completion of the remaining sides of the square being suspended, as evidenced by Horwood's Map of 1799 (*fig. 14*), which shows the N and W sides of the square as still undeveloped.

Greenwood's map of 1829 (*fig. 15*) shows that the northern part of the square had been completed by that date; however, the W side (including Number 27) was not finished until 1832-1835 (Camden Council 2010). The terrace, which consisted of 4 storeys with basements, was finished in stucco, with rusticated ground floors. The first available cartographic source to show the completed Fitzroy Square is Stanford's Map of 1862 (*fig. 16*), however it provides little useful detail regarding the layout of the buildings at that time.

Further details of the site are provided by the 1876 OS 1st Edition 25-Inch map (*fig. 17*), which shows that the terrace had been extended to the rear, probably at some point during the mid-late 19th century. Notable occupants of the house at No. 27 during the 19th century included Albert Humbert, an architect responsible for the design of Sandringham House and the Royal Mausoleum at Frogmore (the final resting place of Queen Victoria and Prince Albert), and William Archer, a noted Scottish writer, playwright and literary critic who was a friend and supporter of George Bernard Shaw, who lived nearby at 29 Fitzroy Square (Howard Roberts & Godfrey 1949, 61-62).

The 1900 Goad Insurance Plan (*fig. 18*) provides a deeper level of information about the property than previous maps, recording details about its construction for insurance purposes. Goad's plan records the main section of Number 27 as a 'Studio & Dwelling', a four-storey building with a slate roof, with a stable block to the rear backing onto Fitzroy Mews. The southern part of Fitzroy Square was heavily damaged by bombing during the Second World War; however the W side of the terrace survived relatively unscathed. From the mid-20th century up to the present day, the property at No. 27 was occupied by a dental practice.

5.2 Identification of Heritage Assets, Settings & Significance

This section of the HIA comprises an identification and description of the listed building at No. 27 Fitzroy Square (both external and internal) and its setting and an assessment of its significance in heritage terms. The assessment of significance is primarily based on the criteria for the assessment of heritage assets contained in Conservation Principles Policies and Guidance for the Sustainable Management of the Historic Environment (Historic England 2015b), which considers their significance in terms of their evidential, historical, aesthetic and communal values.

Evidential value derives from the potential of a place to yield evidence about past human activity, which tends to be diminished in proportion to the extent of its removal or replacement.

Historical value derives from the ways in which past people, events and aspects of life can be connected through a place to the present and tends to be either illustrative or associative.

Aesthetic value may be said to be derived from the ways in which people draw sensory and intellectual stimulation from a place, which can be the result of formal design or gradual, organic changes over time.

Communal value is derived from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory. Communal values are closely bound up with historical (particularly associative) and aesthetic values but tend to have additional and specific aspects.

An initial trawl of relevant heritage datasets held by Historic England and the Greater London Historic Environment Record identified 49 designated built heritage assets within the study area, including two Grade I Listed Buildings, four Grade II* Listed Buildings, 43 Grade II Listed Buildings and the Fitzroy Square Conservation Area itself, which is considered for the purposes of this assessment as being of at least equivalent value to a Grade II listed building (*Table 2; fig. 2*).

#	Ref.	Name	Grade	NGR
B1	1112991	1, 1A & 2-8 Fitzroy Square & Attached Railings & Lamp Holders	GI	TQ 2919 8211
B2	1112997	The London Foot Hospital & Attached Railings	GI	TQ 2915 8202
B3	1112994	9 & 10 Fitzroy Square & Attached Railings	GII*	TQ 2915 8217
B4	1112995	11, 12 & 15-19 Fitzroy Square & Attached Railings	GII*	TQ 2912 8215
B5	1112996	20-32 Fitzroy Square & Attached Railings	GII*	TQ 2906 8207
B6	1113071	54-56 Grafton Way	GII*	TQ 2927 8216
B7	1113000	Indian Young Mens Christian Association	GII	TQ 2922 8207
B8	1113067	37-45 Grafton Way & Attached Railings	GII	TQ 2930 8213
B9	1113068	52-56 & 60-62 Grafton Way & Attached Railings	GII	TQ 2927 8215
B10	1113072	65-71 Grafton Way & Attached Railings	GII	TQ 2911 8200
B11	1113073	78 & 80 Grafton Way & Attached Railings	GII	TQ 2909 8201
B12	1113109	42 & 44 Maple Street & Attached Railings	GII	TQ 2918 8198
B13	1113110	46 & 48 Maple Street & Attached Railings	GII	TQ 2915 8196
B14	1113111	50 & 52 Maple Street & Attached Railings	GII	TQ 2915 8195

#	Ref.	Name	Grade	NGR
B15	1245243	2 Conway Street & Attached Railings	GII	TQ 2917 8197
B16	1245244	6, 8 & 10 Conway Street & Attached Railings	GII	TQ 2915 8201
B17	1245245	7, 9 & 11 Conway Street & Attached Railings	GII	TQ 2913 8200
B18	1245246	13 Conway Street & Attached Railings	GII	TQ 2912 8200
B19	1245247	14-20 Conway Street & Attached Railings	GII	TQ 2906 8214
B20	1245248	15 Conway Street & Attached Railings	GII	TQ 2912 8201
B21	1245249	22 & 24 Conway Street & Attached Railings	GII	TQ 2905 8216
B22	1245250	23-33 Conway Street & Attached Railings	GII	TQ 2904 8212
B23	1245251	J.Evans & Attached Railings	GII	TQ 2902 8215
B24	1322180	Bollards outside 32-35 Fitzroy Square	GII	TQ 2911 8203
B25	1322181	25 Fitzroy Street & Attached Railings	GII	TQ 2921 8201
B26	1322182	27 Fitzroy Street & Attached Railings	GII	TQ 2920 8201
B27	1322183	31-37 Fitzroy Street & Attached Railings	GII	TQ 2919 8202
B28	1322184	39-45 Fitzroy Street & Attached Railings	GII	TQ 2910 8217
B29	1322185	46, 48 & 50 Fitzroy Street & Attached Railings	GII	TQ 2915 8217
B30	1350342	BT Communication Tower	GII	TQ 2921 8192
B31	1356769	68 Cleveland Street	GII	TQ 2913 8196
B32	1356771	106 Cleveland Street	GII	TQ 2903 8208
B33	1379110	15 Warren Street	GII	TQ 2918 8220
B34	1379111	16 & 17 Warren Street & Attached Railings	GII	TQ 2917 8220
B35	1379113	21 Warren Street	GII	TQ 2914 8219
B36	1379117	29 Warren Street & Attached Railings	GII	TQ 2905 8216
B37	1379120	30-34 Warren Street & Attached Railings	GII	TQ 2900 8214
B38	1379123	56 Warren Street	GII	TQ 2913 8222
B39	1379125	58-62 Warren Street & Attached Railings	GII	TQ 2916 8223
B40	1379126	63-68 Warren Street & Attached Railings	GII	TQ 2918 8224
B41	1379190	112 Whitfield Street	GII	TQ 2927 8212
B42	1379191	131-137 Whitfield Street & Attached Railings	GII	TQ 2923 8213
B43	1379192	159 Whitfield Street	GII	TQ 2918 8220
B44	1066259	143-149 Cleveland Street	GII	TQ 2900 8208
B45	1219538	George & Dragon PH	GII	TQ 2899 8208
B46	1378462	Outpatients Hall, Royal National Orthopedic Hospital	GII	TQ 2893 8210
B47	1066258	139 Cleveland Street	GII	TQ 2901 8206
B48	1291411	141 Cleveland Street	GII	TQ 2900 8206
B49	1248614	Drinking Fountain Outside Underground Station	GII	TQ 2887 8217

Table 2: List of Designated Heritage Assets within a 250m radius of the study area, extracted from the Greater London Historic Environment Record

Following this initial trawl, it was determined, based on the nature of the works to be carried out, that the proposed alterations only had potential to affect the Grade II listed terrace at Nos. 20-32 Fitzroy Square (of which Nos. 27 forms a part) and that there was no discernible potential for other heritage assets in the surrounding vicinity, including the Fitzroy Square Conservation Area, to be affected by the proposed works.

5.3 Description of Heritage Asset – No. 27 Fitzroy Square

No. 27 Fitzroy Square is located roughly midway along a terrace of 13 houses (Nos. 20-32) lining the west side of Fitzroy Square. This terrace, designated in 1954 as a Grade II* listed building, was built in 1832-35 and represents the last remaining portion of the square to be built, the eastern and southern sides being built first to designs by Robert and James Adam between 1792 and 1794 and the northern side between 1827 and 1828 (Howard Roberts & Godfrey 1949, 52-58). The listing description for Nos. 20-32 Fitzroy Square, extracted from the *National Heritage List for England*, reads as follows:

'Terrace of 13 houses forming the western side of Fitzroy Square. c1832-35. Stucco with rusticated ground floor. Exterior: 4 storeys and basements. 3 windows each. 3 windows at each end and centre 7 windows projecting. Round-arched ground floor openings linked by impost bands. Doorways with pilaster-jambs carrying cornice-heads; fanlights (some radial patterned) and panelled doors. Sash windows in shallow, plain stucco recesses. Upper storeys with square-headed, recessed sashes. Continuous cast-iron balcony to 1st floor windows. Moulded 2nd floor sill band. Main cornice with plain frieze below attic storey. Cornice and blocking course. Central bays with 4 Ionic engaged columns in antis rising through 1st and 2nd floors. 1 bay to either side with pilasters rising through 1st and 2nd floors and recessed, tripartite sash windows, those on the ground floor being segmental-arched. No.32 with 3 window (all blind) return to Grafton Way. Interiors: not inspected. Subsidiary Features: attached cast-iron railings with tasselled spearhead finials to areas. Cast-iron foot scrapers and most with mosaic top steps. Historical Note: No.21, was the home of Robert Gascoyne Cecil, 3rd Marquess of Salisbury & Prime Minister (GLC plaque). No.29 was the home of George Bernard Shaw and from 1907-11 Virginia Woolf had rooms here (commemorative plaques). This terrace complements the Adam blocks in the square, though it is very different in design. (Survey of London: Vol. XXI, Tottenham Court Road and Neighbourhood, St Pancras III: London: -1949: 52-8)'.

5.3.1 Exterior

The following description of the exterior is based on the listing description contained in the National Heritage List for England (List Entry No. 1112996). The property at No. 27 forms the southernmost two bays of the central portion of the terrace lining the W side of Fitzroy Square (Nos.20-32 Fitzroy Square) and comprises four storeys and a basement clad in stucco (*Plate 1*).

The ground floor has a rusticated façade with a round arched entrance approached by steps flanked by cast-iron railings which appear to be original (*Plate 2*). The doorcase comprises a moulded entablature flanked by Corinthian pilasters, above which is a semi-circular, radial glazed fanlight. To the left of the doorway is a recessed tripartite sash window set within a segmental arched opening. The fenestration at first and second floor level consists of a 6/6 flat-arched sash window flanked to the left by a flat-arched tripartite sash window (with a projecting cast-iron balcony on the first floor), while on the uppermost floor the fenestration comprises a 3/3 sash window again flanked by a tripartite sash window.

5.3.2 Interior

- *Ground Floor*

The interior of the house comprises a basement, ground, first, second and third floors; the layout exhibits a typical plan followed by the other houses in the square (and indeed characteristic of late 18th/early 19th century London townhouses generally) being two rooms deep with a large front room flanked by the hallway and a smaller back room flanked by the staircase, with rooms to the rear behind the staircase which appear to constitute a later extension to the house, probably of mid to late 19th century date.

The entrance hall at ground floor level is floorboarded and has a ceiling with a plain moulded frieze with rosette decoration (*Plate 3*). At the far end of the hall is a tall semi-circular opening with glazed fanlight (with ornate glazing bars), moulded entablature and flanking pilasters marking the division between the hall and the ground floor landing (*Plate 4*). The dog-leg staircase leading up from the ground floor landing has a plain mahogany handrail (with a spiral at the base) and ornamental wrought-iron balustrade (*Plate 5*).

The large front room to the left of the entrance hall is lit by a tripartite sash window (*Plate 6*) and has a parquet floor. It is largely devoid of decoration apart from a moulded cornice with egg-and-dart decoration. The wall at the W end of the front room is bowed with a tall segmental arched opening which has been blocked up but originally would have led directly into the back room (*Plate 7*). The only other feature of note is a black marble fireplace with plain Doric pilasters in the S wall (*Plate 8*).

A passageway off the ground floor landing provides access to the back room which is lit by an 8/8 sash window and is again largely devoid of decoration apart from a plain moulded cornice (*Plate 9*). A projecting chimneybreast is visible in the S wall although the fireplace has been blocked up (*Plate 10*). The passageway to the side of the ground floor staircase leads to a large room to the rear which has been subject to extensive modern refurbishment as evidenced by the two large square rooflights in the ceiling (*Plates 11 & 12*). No features of architectural interest were noted in this room.

- *First Floor*

The staircase from the ground floor leads up to the first-floor landing which has a moulded cornice and a ceiling frieze with 'Greek Key' decoration (*Plates 13-15*). To the E of the landing is a six-panelled door leading into a large front room with parquet floor, lit by a tripartite sash window and an adjoining 6/6 sash window (*Plates 16 & 17*). The room has a moulded cornice (similar in form to that in the ground floor room) and ceiling frieze with elaborate scrollwork decoration and a central plaster rosette (*Plates 18 & 19*). The fireplace in the S wall has been removed and replaced by a cupboard (*Plate 20*).

A doorway in the W wall provides access to the back room which is lit by an 8/8 sash window in the W wall. The back room has a cornice, ceiling frieze and rosette similar to that in the front room while the fireplace in the S wall has also been replaced by a wall-cupboard (*Plates 21 & 22*).

- *Second Floor*

A staircase with mahogany handrail and wrought-iron ornamental balustrade provides access from the first-floor landing to the second floor (*Plates 23-24*). On the half-landing between first and second floor is a water closet which appears to be a modern addition (*Plate 25*).

A doorway with semi-circular glazed overlight at the top of the staircase provides access to a narrow landing with another small dog-leg staircase leading up to the third floor (*Plates 26 & 27*). Leading off to the E of this landing is a large L-shaped room lit by a tripartite sash window and a 6/6 sash window; the room is largely devoid of decoration and it is noticeable that there is no ceiling cornice and frieze in contrast to the rooms on the ground and first floors (*Plates 28 -30*). A marble fireplace with fluted pilasters and bullseye *paterae* survives in the S wall although the grate has been blocked (*Plate 31*). It appears that this room was originally sub-divided into two parts as indicated by a wall stub between the tripartite window and the 6/6 sash and the presence of another, smaller fireplace of similar style in the N wall (*Plates 32 & 33*). The back room is accessed from a doorway leading off to the S of the second-floor landing (*Plates 34 & 35*), it is lit by an 18-pane casement window and is largely devoid of internal fixtures or fittings of note, with the exception of a small marble fireplace with fluted pilasters and bullseye decoration similar to the fireplaces in the front room (*Plate 36*).

- *Third Floor*

A wooden staircase with moulded balusters leads up from the second floor to the third-floor landing (*Plates 37 & 38*). At the E end of this landing is a large room lit by a tripartite window and a 3/3 sash window (*Plate 39*) which originally appears to have been subdivided into two separate unequal-sized rooms, as evidenced by a wall-stub between the two windows and two plain fireplaces (both of which have set in the S and N walls of the room respectively (*Plates 40-& 41*). No other fixtures or fittings of note were observed in this room. The back room is accessed from a doorway off the landing and is lit by a 4/4 sash window (*Plates 43 & 44*); the only noteworthy feature was a fireplace I the S wall (*Plate 45*). At the W end of the third-floor landing is a glazed door leading to a small kitchen compartment with a segmental arched casement window (*Plate 46*).

- *Basement*

The stairway leading from the ground floor to the basement is evidently of modern date (*Plate 47*). The layout of the basement generally reflects that of the upper floors although a number of modern partitions have been inserted to the rear of the building. A doorway at the E end of the basement landing leads into a large front room lit by a single tripartite sash window (*Plates 48 & 49*). The only other feature of note observed in this room was a blocked chimneybreast in the S wall (*Plate 50*). A doorway to the left of the sash window provides access to vestibule leading to an external yard area and a small brick barrel-vaulted cellar with a paved floor (*Plates 51 & 52*). To the S of the basement landing is a back room which has been sub-divided into two compartments, a blocked chimneybreast was noted in the S wall of this room (*Plate 54*). The remaining rooms within the rear portion of the basement appear to have been subject to extensive modern refurbishment and alteration, being subdivided into several compartments.

5.4 Assessment of Significance

The house at No. 27 may be regarded as a heritage asset of High importance, reflecting its status as forming part of a Grade II* listed terrace along the W side of Fitzroy Square, one of the finest late Georgian/Regency squares in London, with well-known historical and literary associations of national importance. Robert Adam (d.1792), who was partially responsible for original design of the square in the late 18th century, is regarded as one of the leading Neo-Classical architects in Late Georgian Britain, although the W portion of the square was not finally completed until the 1830s.

No. 27 itself was occupied during the 19th century by several notable figures including A.J. Humbert, a prominent mid-19th century architect who designed the Frogmore Mausoleum and Sandringham Castle for Queen Victoria.

The internal layout of the house exhibits a typical plan followed by the other houses in the square (and indeed characteristic of late 18th/early 19th century London townhouses generally) being two rooms deep with a large front room flanked by the hallway and a smaller back room flanked by the staircase, with rooms to the rear behind the staircase which appear to constitute a later extension to the house, probably of mid to late 19th century date. In spite of the fact that the interior has been subject to extensive modern refurbishment previously, the original plan form of the house remains well-preserved and highly legible.

With regard to internal features, decoration and fittings, No. 27 shares similarities to the other houses in this terrace as being relatively plain and unornamented. Notable surviving features which are probably original include the semi-circular glazed overlight in the entrance hall, the moulded ceiling in the entrance hall and the ceilings in the front rooms at ground and first floor levels with moulded cornices and friezes, the ceiling of the first-floor landing with Greek key decoration for the frieze, as well as the staircases between the ground, first and second floors with mahogany handrails and cast-iron balustrades. The majority of the sash windows appear to be original although they have evidently been subject to a degree of modern repair and refurbishment.

Relatively few fixtures or fittings of note were observed. Several of the fireplaces have been removed or replaced at a later date although the marble fireplaces in the front rooms at ground and second floor level appear to be original. Much of the flooring (where not concealed by carpeting) appears to have been renewed in recent years; the parquetry of the ground and first floors has been subject to extensive repair and renewal. A brick barrel vaulted cellar with paved floor survives at the eastern end of the basement (beneath the street frontage).

6 Description of Proposals and Magnitude of Impact

6.1 Summary Description of Proposals

The following summary description of the development is based on architects' drawings, a Design and Access Statement and a summary Scope of Works document supplied by MWA on behalf of the client in January 2021. Subsequent publication of more detailed, revised proposals and specifications for the proposed development, together with updated plans and elevation drawings, may necessitate revisions to this report and the conclusions reached.

External Works: There are currently two condensers located externally on the 1st floor roof which will be relocated alongside the two new condensers and housed into a newly constructed acoustic enclosure which is to be installed in the rear courtyard first-floor roof. The only other external works involve the decoration of the front door, railings, balcony balustrades, front basement, and rear ground lightwells and basement doors, to match their existing appearance. All the sash windows are to be repaired and made good so that they open and close properly whilst replacing any broken panes, cords and ensuring completely draught proofed.

Internal Works: The proposed internal refurbishment works may be described as follows:

Ground Floor: The ground floor entrance is to be used as part of the visitor experience with a one room being used as a visitor waiting area and the other two rooms being used as office space. The intention is to upgrade the building with particular emphasis from the ground floor entrance door up to the 1st floor meeting rooms.

The refurbishment works to the ground floor include the removal of the existing timber floor to the entrance hallway and corridor and carpet to the staircase. In its place feature tiling is to be laid to the entrance and corridor with a feature runner carpet laid to the stairs with necessary nosings from ground to second floor. The existing timber floor throughout the rest of the space to be made good, sanded and revarnished. The walls within the entrance hallway and corridor are to have a dado rail applied. All walls, ceilings and woodwork to be re-painted in keeping with a period building. The staircase handrail is to be revarnished. The existing small tea point is to be stripped out and a coat cupboard built in its place. The ground floor WC is to be stripped out and upgraded so more in keeping with the building.

Air conditioning is to be installed to two rooms using indoor wall mounted units. Existing radiators in the entrance hallway and corridor and to be replaced with period style radiators. Ceiling lighting to be replaced throughout with feature pendants from the entrance to the 1st floor landing and replacement wall lights installed in the entrance hallway. The office area lighting to be replaced using LED suspended linear lights. Existing power and data to remain

First Floor: As part of the visitors' experience the first-floor rooms are to be used as the main boardroom and meeting room for the building with the interconnecting doors being retained. The existing timber floor is to be made good, sanded and revarnished. All walls, ceilings, and woodwork to be re-painted in keeping with a period building. Air conditioning is to be installed to two rooms using indoor wall mounted units. Existing radiators to be

replaced with period style radiators. The ceiling lighting is to be replaced throughout with feature pendants and with replacement wall lights. Wall mounted TV's are to be installed in each room.

Second Floor: The second-floor rooms are to be used as Directors' offices. The existing timber floor is to be made good, sanded and revarnished. All walls, ceilings and woodwork to be re-painted in keeping with a period building. Air conditioning is to be installed to two rooms using indoor wall mounted units. Ceiling lighting is to be replaced throughout with LED suspended linear lights and wall mounted TV's are to be installed in each room. The WC located on the staircase half landing between the 1st and 2nd floor is to be stripped out and upgraded so more in keeping with the building.

Third Floor: The third-floor rooms are to be used as Directors' offices. The existing timber floor is to be made good, sanded and revarnished. All walls, ceilings and woodwork to be re-painted in keeping with a period building. Air conditioning is to be installed to two rooms using indoor wall mounted units. Ceiling lighting to be replaced throughout with LED suspended linear lights.

In connection with the installation of the air conditioning unit, it may be necessary to create a riser from the basement to the 3rd floor which would involve the installation of ductwork (although this is subject to final confirmation).

Basement: The refurbishment works to the basement include the removal of the existing carpet throughout and with the laying of vinyl flooring and carpet tile in its place. There is currently rising damp to the walls in the basement, so it is intended to hack off the affected plaster, inject a chemical damp proof course and re-plaster. All walls, ceilings, and woodwork to be re-painted in keeping with a period building. A breakout area is to be created with a non-cooking tea point being installed. All existing WC's and showers to remain unaltered. Air conditioning is to be installed to two rooms using indoor wall mounted units, with ceiling lighting to be replaced throughout.

6.2 Assessment of Magnitude of Impact

With regard to the external works, it is considered that the installation of an acoustic inclosure for the two new air condensers within the courtyard at first floor level will result in a minimal change to the appearance of the building. Based on the available information, the proposed redecoration of the railings and balustrades (which form an integral part of the listed building) will match their existing appearance and thus will not result in a noticeable change to its existing appearance.

Particular care should be taken with regard to the repair and refurbishment of the sash windows as they form a key element of the significance of the listed building and should be carried out in accordance with Historic England guidelines contained in *Traditional Windows: their care, repair and upgrading* (Historic England 2017) and relevant conservation guidance provided by Camden Council.

With regard to the interior refurbishments, the following observations may be made. The replacement of the existing basement flooring (which appears in its present form to be of modern date) will not impact on historic fabric.

It is recommended, however, that the existing timber floor within the ground floor hallway and landing should be retained. While the existing flooring may well have been subject to a degree of modern repair, it is likely that, historically (based on comparison with neighbouring properties) there has always been a timber boarded floor within the entrance hallway.

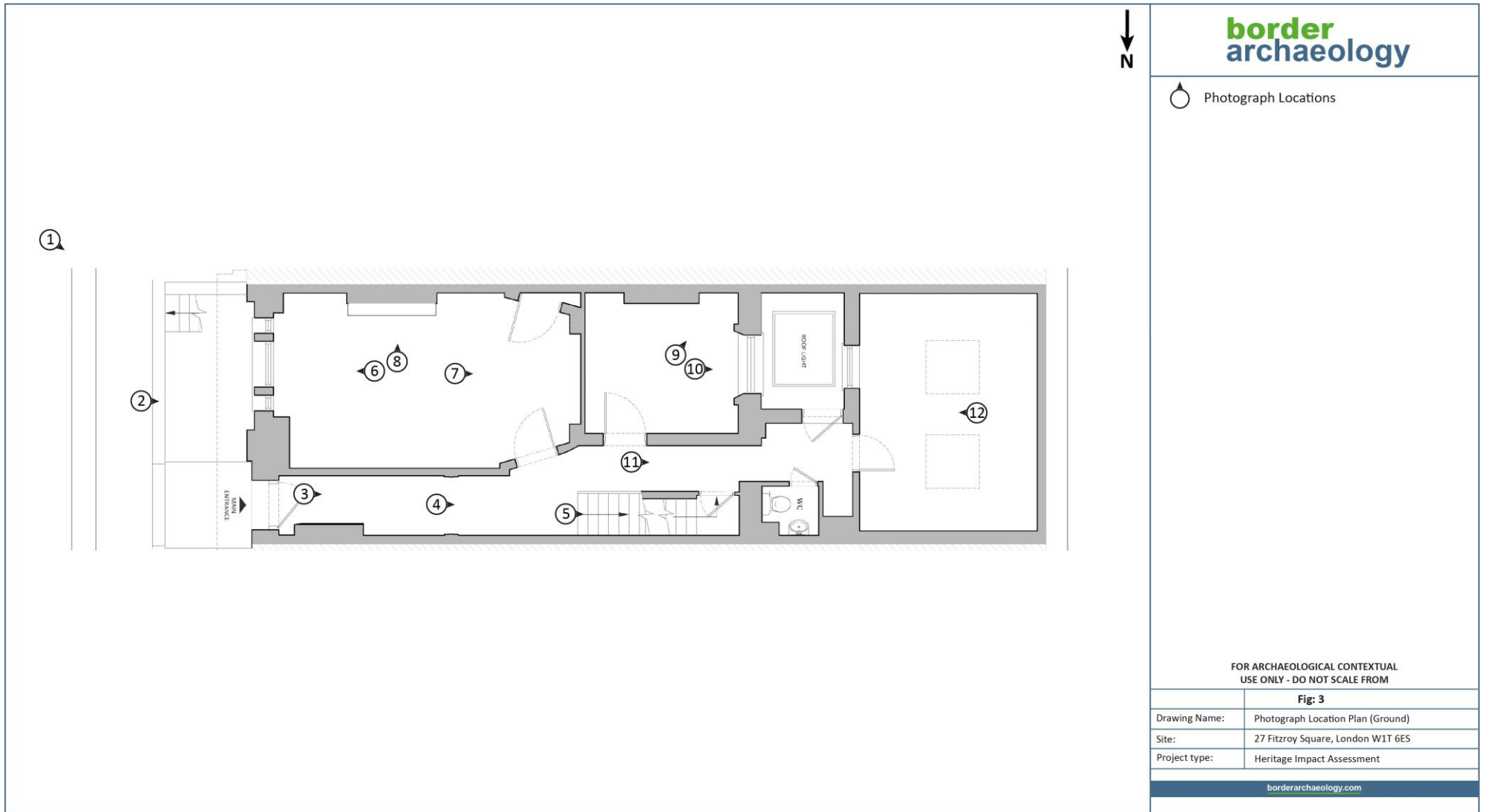
It is considered that the proposed redecoration of the walls, ceiling and woodwork can be supported in heritage terms but that especial care should be taken to ensure that these works respect the historic character and decorative scheme of the listed building and that existing decorative features, including the ceiling rosettes, friezes and cornicing in the rooms at ground and first floor level should be preserved intact as they represent surviving architectural features of interest. Particular care should also be taken with regard to the redecoration/varnishing of the staircase with its mahogany handrail and ornamental cast-iron balustrades as this is an especially significant feature in architectural terms. These works should be carried out with reference to relevant conservation guidance provided by Historic England and Camden Council.

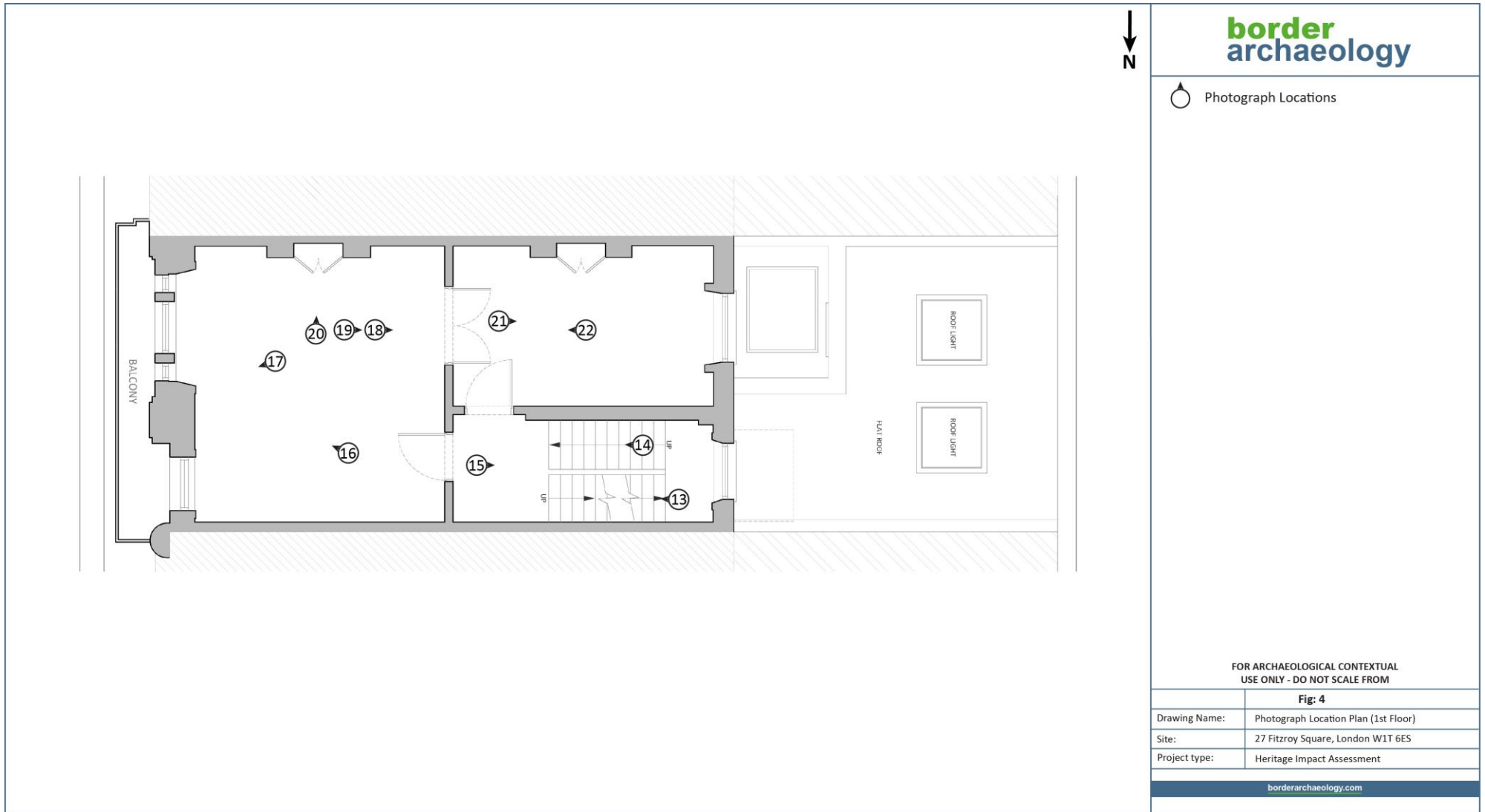
The introduction of new lighting and wall-mounted televisions with associated wiring could potentially impact on historic fabric and it is recommended that care should be taken with the installation of these fittings, both to minimise potential impact on historic fabric and respect the historic character of the interior.

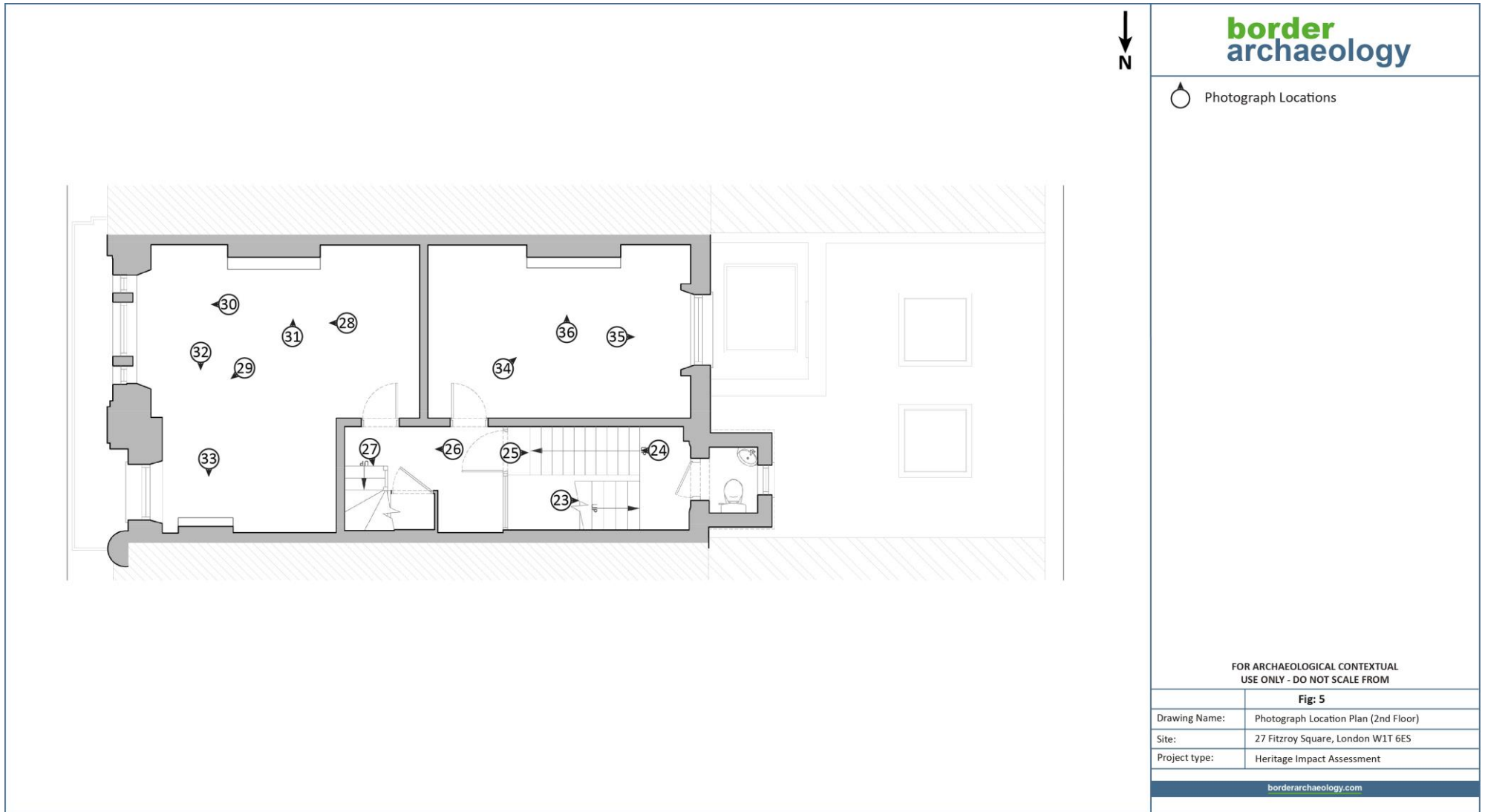
The installation of a new air-conditioning system, possibly with a riser and associated ductwork extending from basement to third floor level, could potentially impact on historic fabric, in terms of cutting through beams or floorboards. Should this option be confirmed, it is recommended that particular care should be taken in carrying out these works, in full accordance with conservation guidance issued by Historic England and Camden Council.

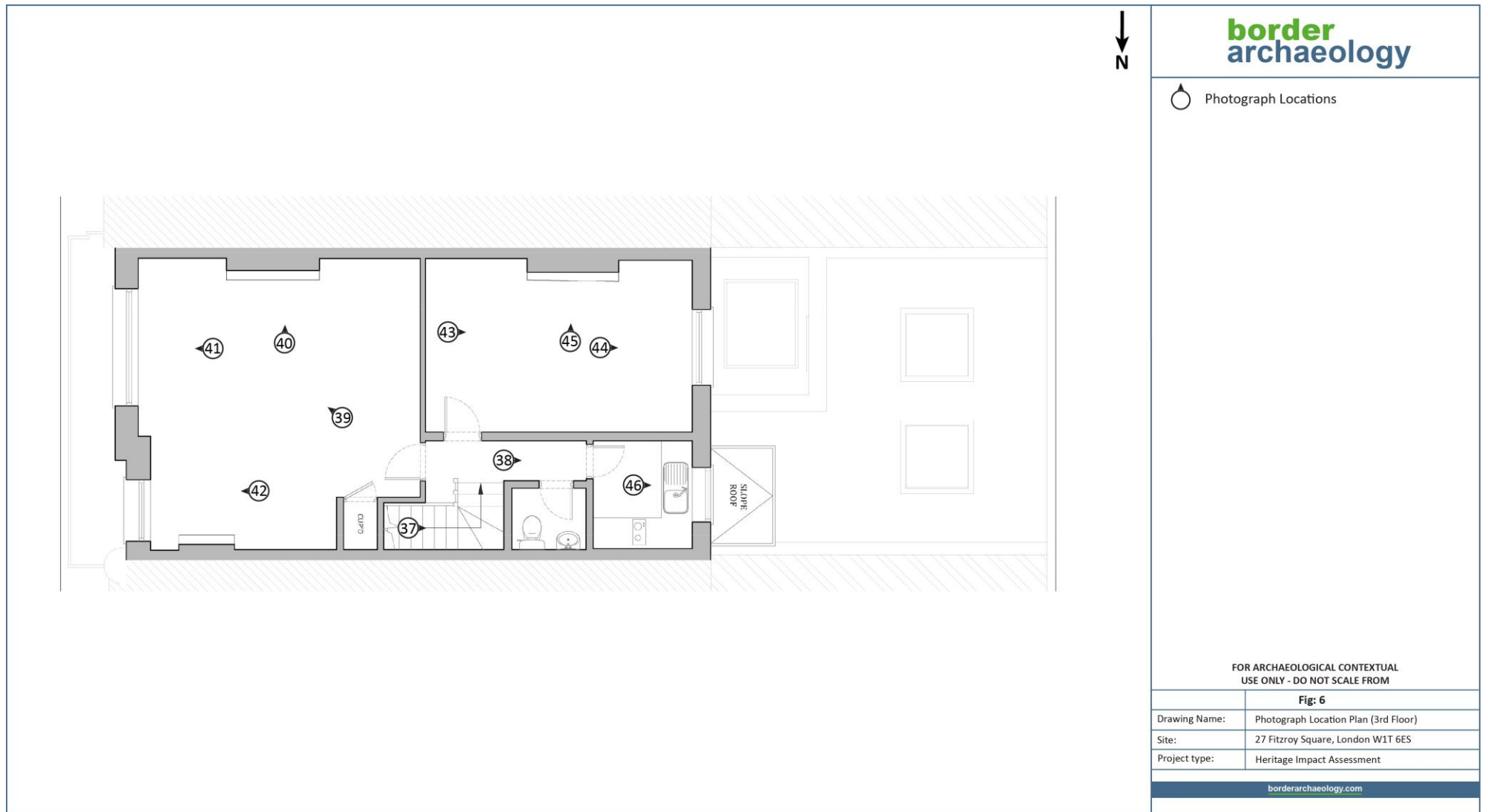
Based on the proposed plans and available information supplied, it is considered that, in overall terms, the proposed external and internal refurbishment works may have a **Minor** magnitude of impact on the significance of the listed building. The proposed external works are minor in scope and the appearance of the building will remain unchanged. With the exception of the timber flooring in the hallway (which it is suggested should be retained), no original fixtures or fittings will be removed, and no new internal partitions will be inserted.

In overall terms, it is thus considered that the plan form and architectural detailing of the building, which are integral to its overall significance in historical and architectural terms, will not be materially affected. However, the installation of the proposed lighting, air conditioning system and associated ductwork could potentially impact on historic fabric and thus it is respectfully suggested that particular care should be given to the undertaking of these works with reference to relevant conservation guidance provided by Camden Council and Historic England.









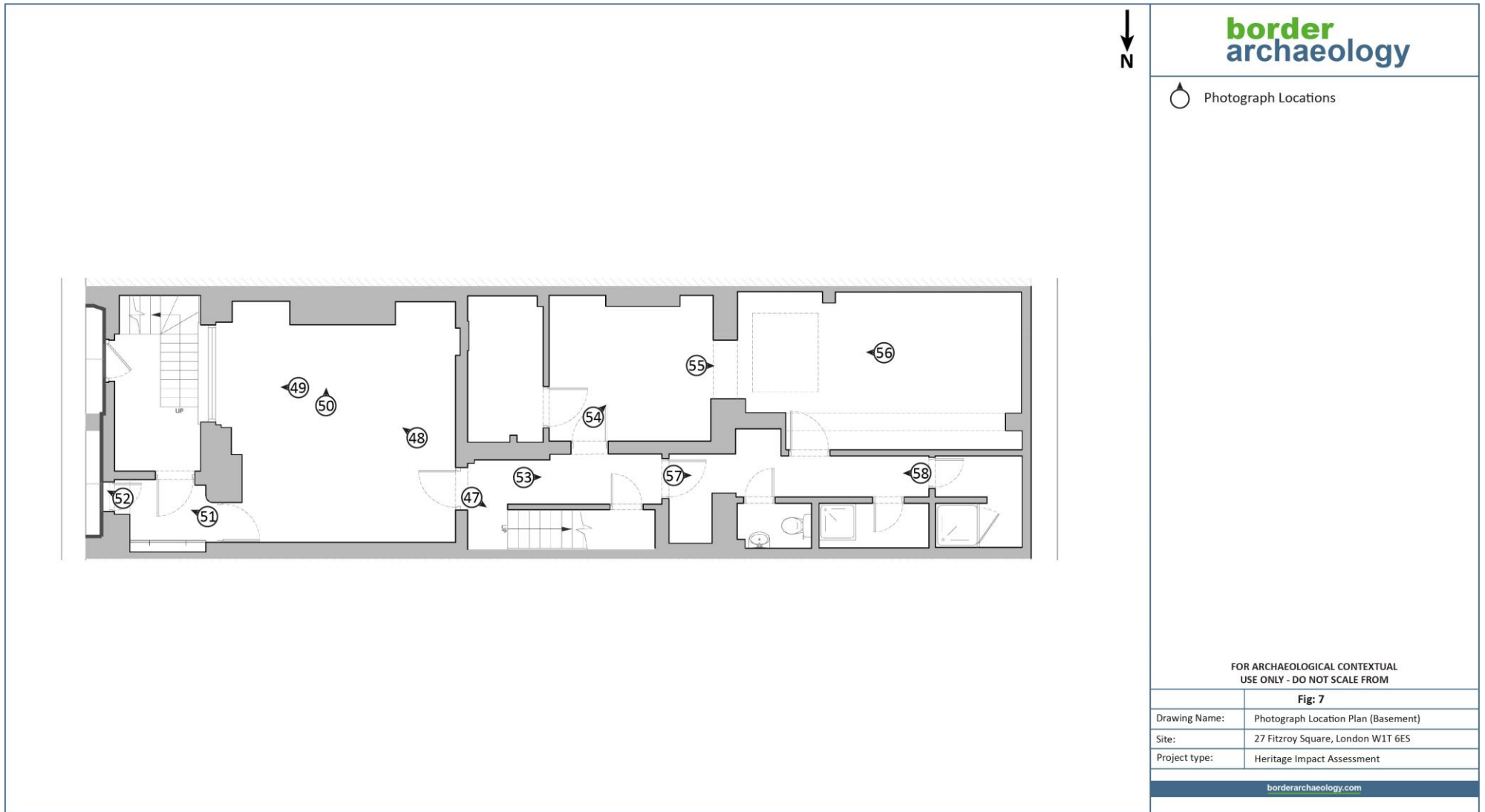




Fig. 8: Ground floor plan as proposed

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It is the responsibility of Contractors and/or Clients to check measurements displayed on the drawings. MWA accepts no responsibility for errors brought about by incorrect measurements.

New Furniture

Re-use existing furniture

L : Feature Light

R : Feature Rug

RAD : Feature Radiator

Rev.	Description	WHS	Date
I	For Approval	LP	18.12.20
D	For Approval	LP	16.11.20
C	For Approval	LP	10.11.20
B	For Approval	LP	05.11.20
A	For Approval	LP	12.10.20

Client Approval

Depth, Rep. Name: _____ Date: _____

Signed: _____ Date: _____

MWA
PROJECT MANAGEMENT | DESIGN | BUILD

Ground Floor
Kingline House, 45, Soane Place
Herberton Terrace, Chiswick, WOP 2AA
90 0149 217121 Fax: 0181 611 1010 Web: www.mwa.uk.net
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Facility Address: 27 Fitzroy Square
London
W1T 6ES

Drawing Title: PROPOSED GROUND FLOOR
GENERAL ARRANGEMENT

Drawn By	MWA Project and Facilities Management	
LP	DATE	SCALE
LP	18.12.20	r15
Date Checked	Drawing No.	
18.12.20	263-001 (PGF)GA-01E	

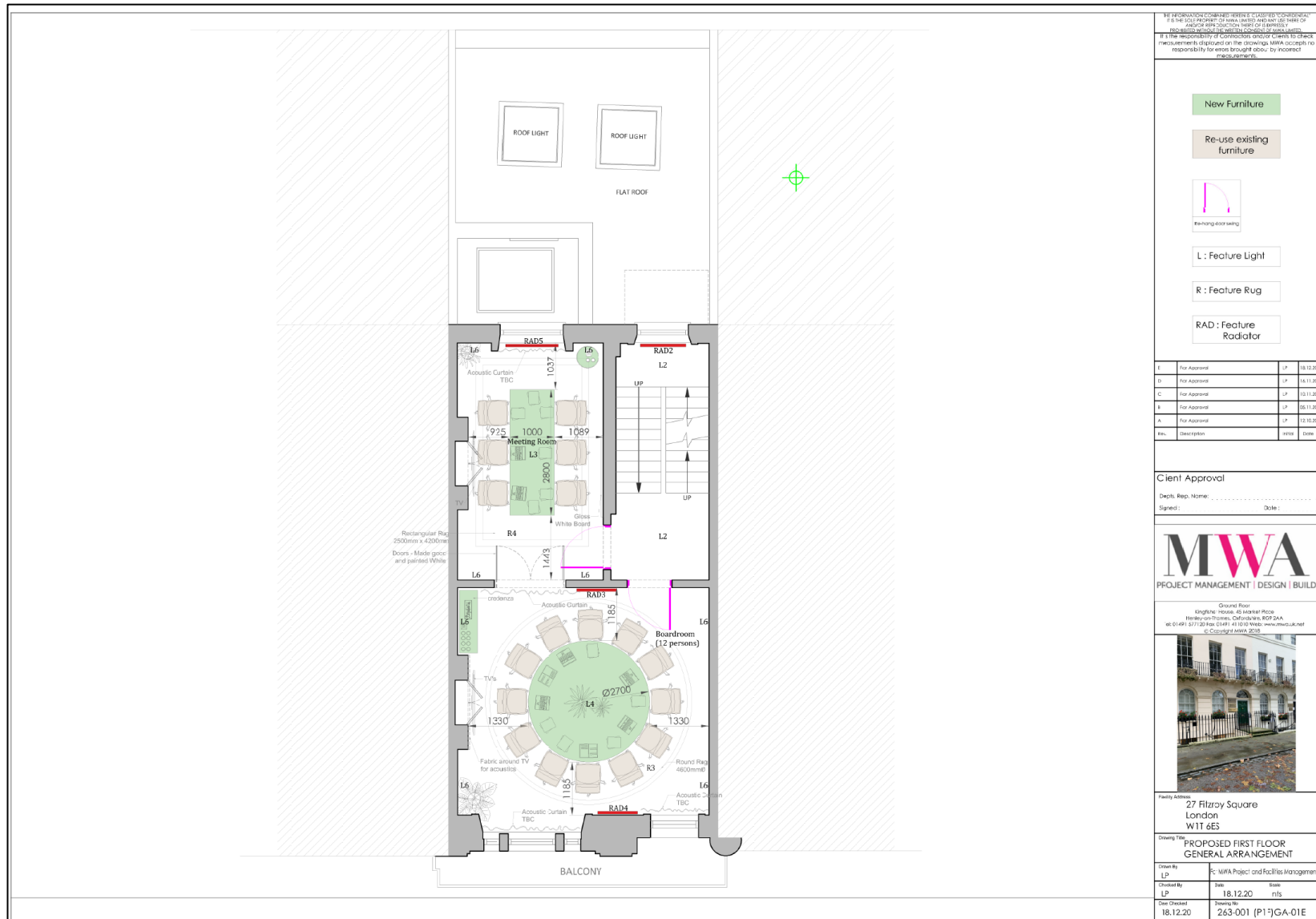


Fig. 9: First floor plan as proposed

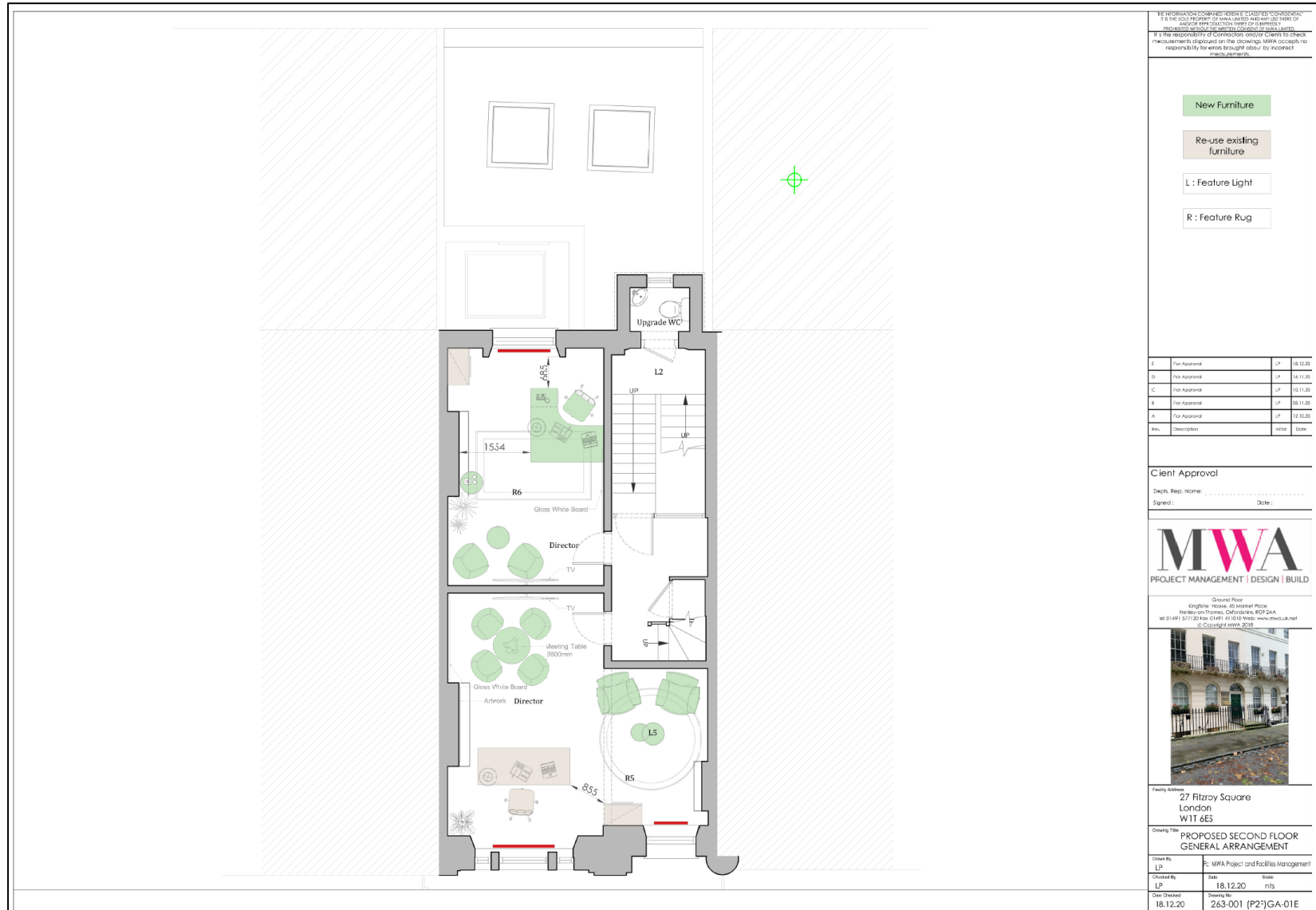


Fig. 10: Second floor plan as proposed



Fig. 11: Third floor plan as proposed

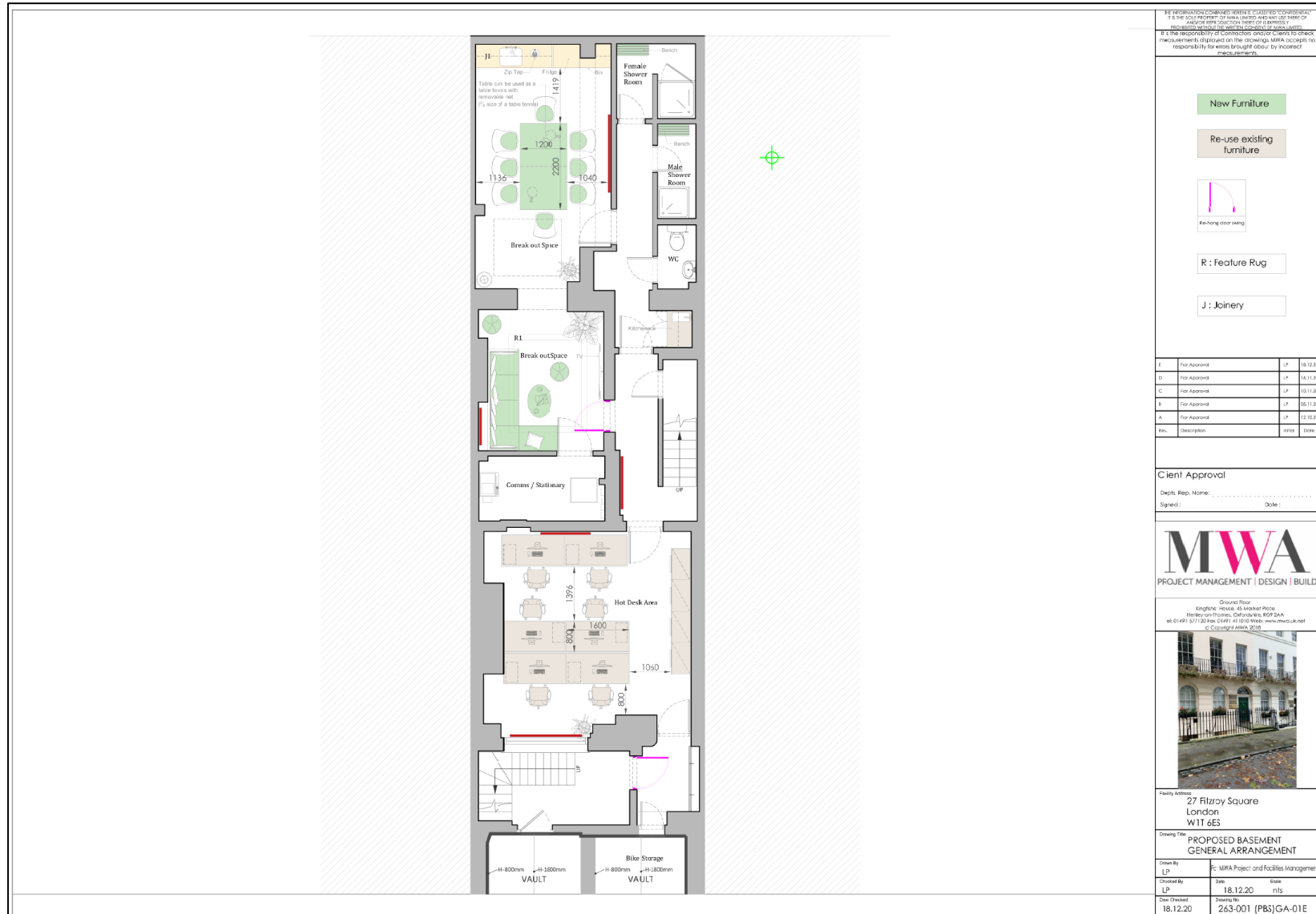


Fig. 12:
Basement
plan as
proposed

7 Overall Significance of Impact & Conclusion

Having determined the intrinsic significance of the specific heritage assets considered for the purposes of this study and the potential magnitude of impact of the proposed development on these assets, it is now possible to reach an informed overall appraisal of the implications of the development proposals by means of cross-referencing the significance of the heritage assets against the magnitude of impact.

No. 27 Fitzroy Square forms one of a terrace of 13 houses (Nos. 20-32) lining the west side of Fitzroy Square, one of London's finest squares, a distinctive and well-known area of speculative residential development laid out in Marylebone during the late 18th/early 19th century which is designated as a Conservation Area. The square has significant and well-known historical associations, particularly in literary and artistic terms.

Nos. 20-32, designated as a Grade II* listed building, were built in 1832-35 and represent the last remaining portion of the square to be built, the eastern and southern sides being built first to designs by Robert and James Adam between 1792 and 1794 and the northern side between 1827 and 1828. It may be regarded as a built heritage asset of **High** significance, reflecting its Grade II* listing, forming part of one of the finest late Georgian/Regency squares in London, with well-known historical and literary associations of national importance. No. 27 itself was occupied in the mid-19th century by A.J. Humbert, a notable Victorian architect who designed the Frogmore Mausoleum and Sandringham Castle for Queen Victoria.

The interior of the house comprises a basement, ground, first, second and third floors; the layout exhibits a typical plan followed by the other houses in the square (and indeed characteristic of late 18th/early 19th century London townhouses generally) being two rooms deep with a large front room flanked by the hallway and a smaller back room flanked by the staircase, with rooms to the rear behind the staircase which appear to constitute a later extension to the house, probably of mid to late 19th century date. In spite of the fact that the interior has been subject to extensive modern refurbishment works (the property having been used as a dental practice for a lengthy period until quite recently), the original plan form of the house remains well-preserved and highly legible.

With regard to internal features, decoration and fittings, No. 27 shares similarities to the other houses in this terrace as being relatively plain and unornamented. Notable surviving features which are probably original include the semi-circular glazed overlight in the entrance hall, the moulded ceiling in the entrance hall and the ceilings in the front rooms at ground and first floor levels with ceiling rosettes, moulded cornices and friezes; the ceiling of the first-floor landing with Greek key decoration for the frieze, as well as the staircases between the ground, first and second floors with fine mahogany handrails and ornamented cast-iron balustrades.

Several of the fireplaces have been removed or replaced at a later date although the marble fireplaces in the front rooms at ground and second floor level appear to be original. Much of the flooring appears to have been renewed in recent years although the timber board floor in the entrance hall, although subject to repair, may well represent an original feature. A brick barrel vaulted cellar survives at the eastern end of the basement (beneath the street frontage).

Based on the proposed plans and available information supplied, it is considered that, in overall terms, the proposed external and internal refurbishment works may have a **Minor** magnitude of impact on the significance of the listed building. The proposed external works are limited in scope and the appearance of the building will remain unchanged.

The internal refurbishment works are extensive; however, with the exception of the proposed replacement of the timber flooring in the hallway (which it is suggested should be retained), no original fixtures or fittings will be removed, and no new internal partitions will be inserted.

In overall terms, it is thus considered that the plan form and architectural detailing of the building, which are integral to its overall significance in historical and architectural terms, will not be materially affected. However, the installation of the proposed lighting, air conditioning system and associated ductwork could potentially impact on concealed historic fabric (such as ceiling beams and floorboards) and thus it is respectfully suggested that particular care should be given to the undertaking of these works with reference to relevant conservation guidance provided by Camden Council and Historic England.

Conclusion: In overall terms, the impact of the proposed internal refurbishment works on the significance of the listed building may be assessed as Slight to Moderate, based on a cross-referencing of the significance of the house, assessed as being of High importance as forming part of an important Grade II Listed terrace of early 19th century date, cross-referenced against the magnitude of impact, assessed as Minor. The proposed works will not alter the overall plan form or external appearance of the building and no internal fixtures or fittings of note will be removed, although there is potential for the installation of lighting and a new air conditioning system to impact on historic fabric.

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9 References

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10 Cartography

(All maps were obtained from the London Metropolitan Archives unless otherwise stated)

1746 – Rocque’s Map of London and its Environs

1799 – Horwood’s Map of London

1828 – Greenwood’s Map of London

1862 – Stanford’s Map of London

1876 - OS 1st Edition 25-Inch Map

1895 - OS 2nd Edition 25-Inch Map

1900 – Goad’s Insurance Plan of London (British Library)

1952 - OS 1:2,500 National Survey

1967 - OS 1:2,500 National Survey

1975 - OS 1:2,500 National Survey

1983 - OS 1:10,000 National Survey

1945 – London County Council Bomb Damage Map

11 Appendix 1: Photographic Record



Plate 1: Oblique view looking NW showing the terrace at Nos. 20-32 Fitzroy Square



Plate 2: View looking W showing the front elevation of No. 27 Fitzroy Square

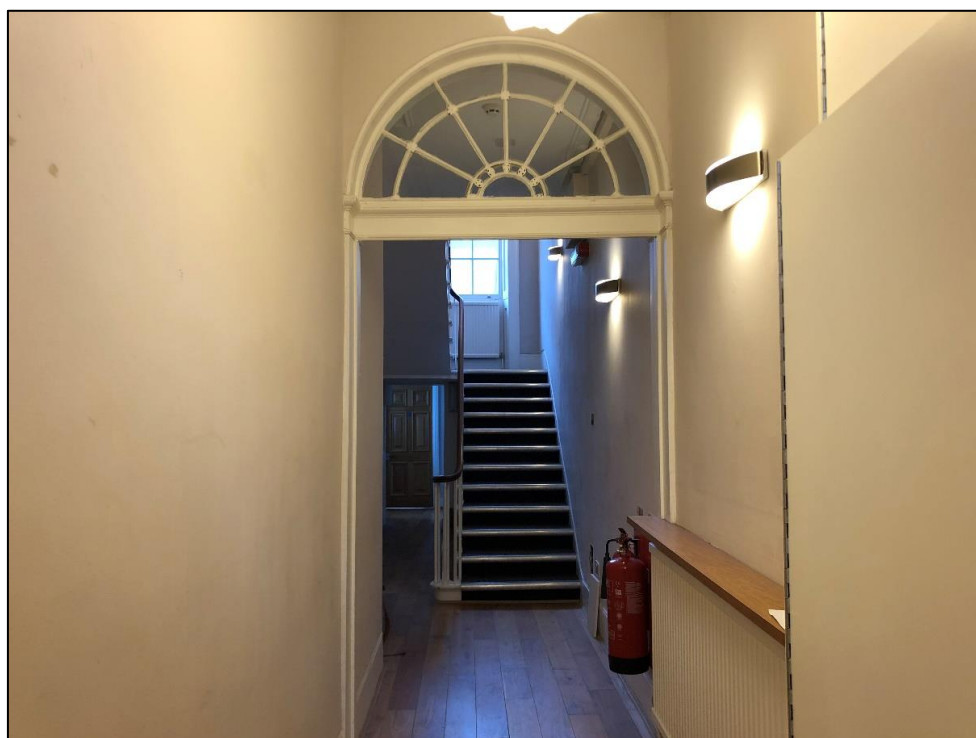


Plate 3: View looking W along ground floor entrance hall



Plate 4: View looking W showing detail of glazed overlight in the entrance hall

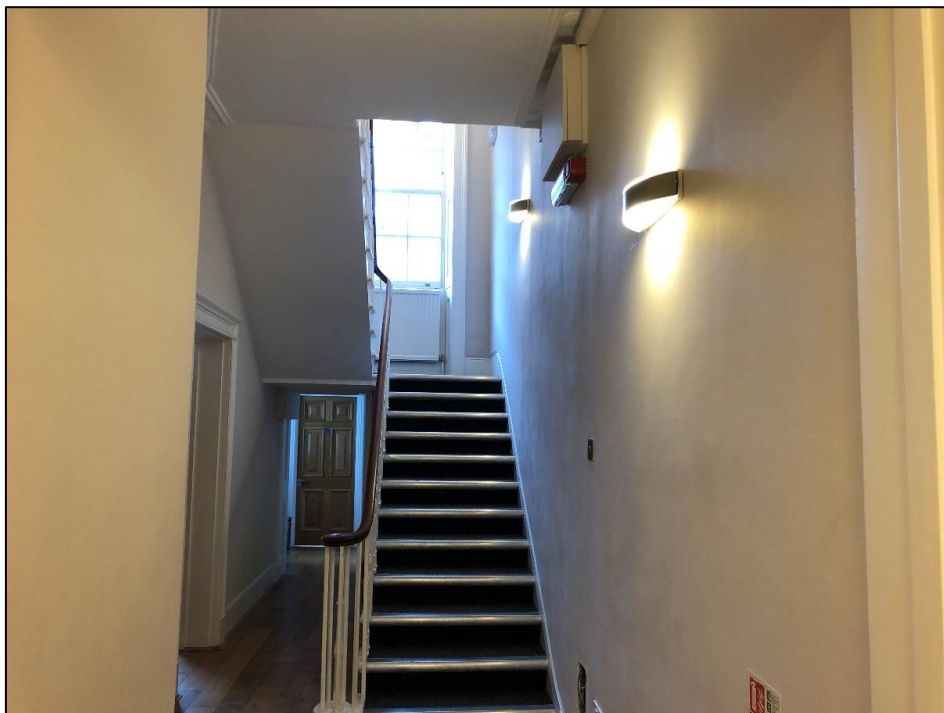


Plate 5: View looking W showing ground floor landing with stairs to first floor



Plate 6: General view looking E showing front room on ground floor with fireplace visible to right of picture



Plate 7: View looking W showing blocked archway in W wall of ground floor front room



Plate 8: View looking S showing fireplace in ground floor front room



Plate 9: General view looking SW showing first floor back room with blocked fireplace and sash window



Plate 10: View looking W showing detail of sash window in ground floor back room

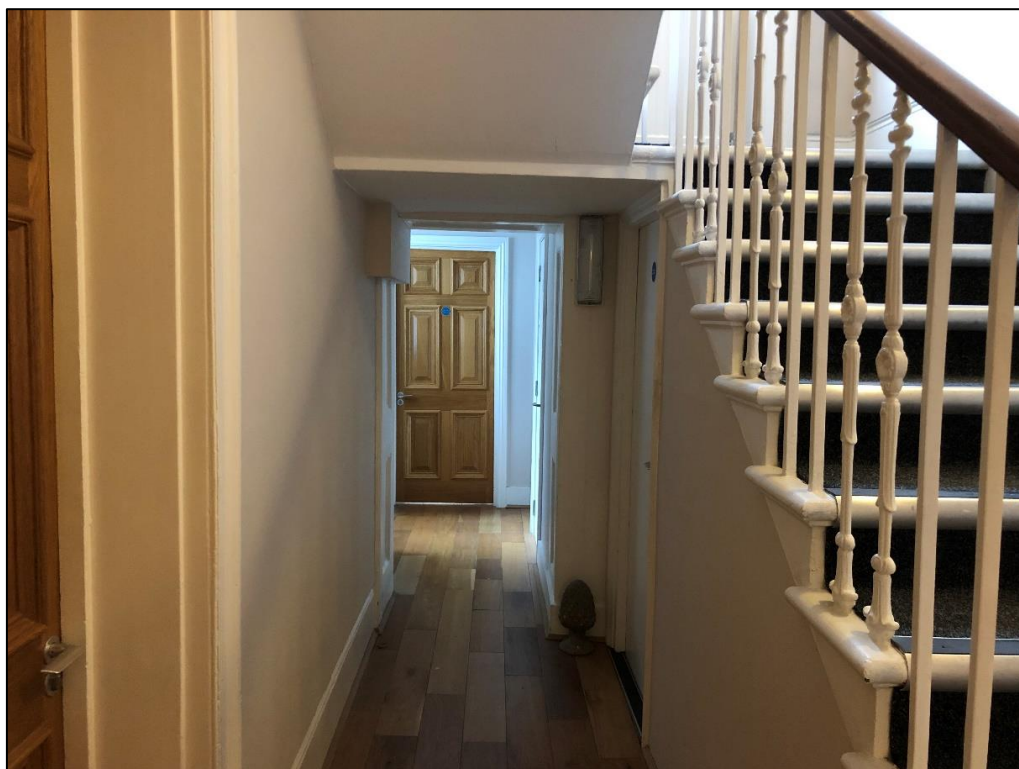


Plate 11: View looking W at passageway adjoining stairs to first floor

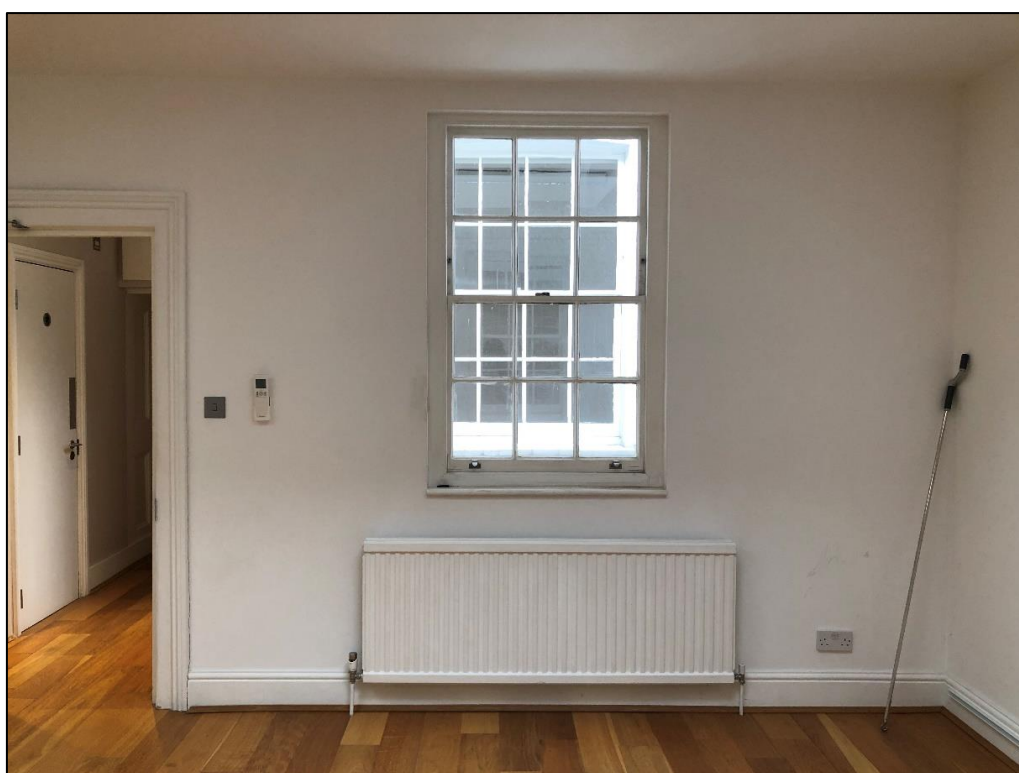


Plate 12: View looking E showing interior of ground floor back room

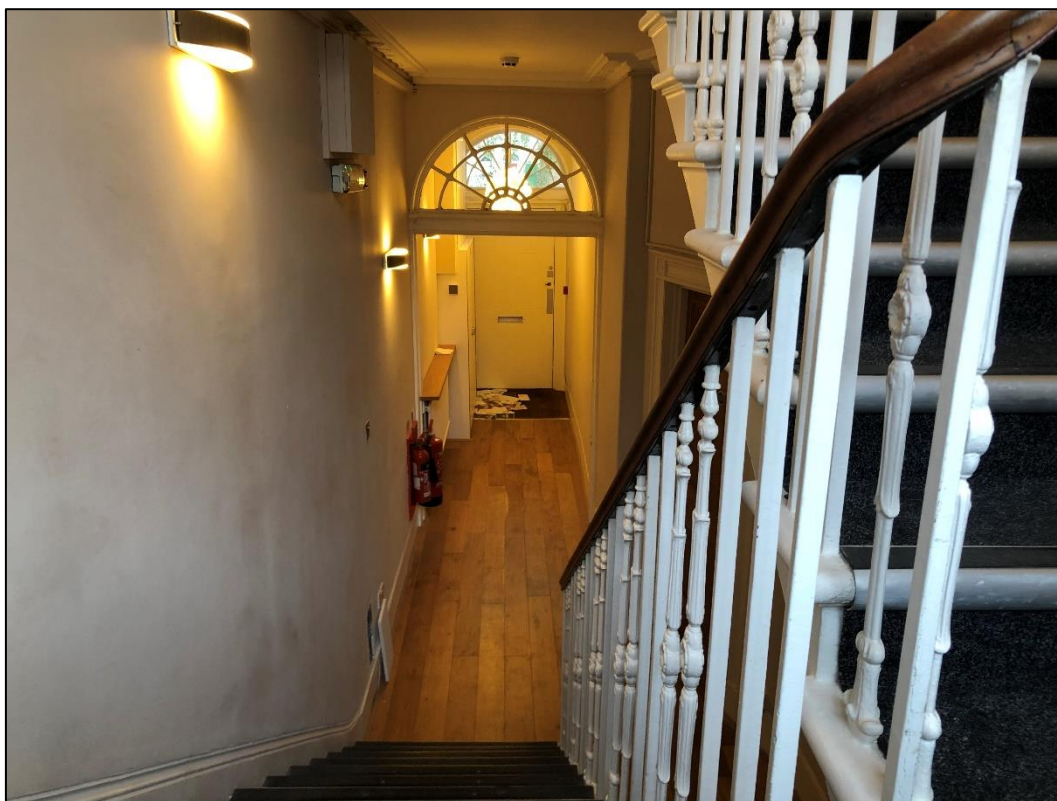


Plate 13: View showing detail of staircase to first floor with mahogany handrail and wrought-iron balusters

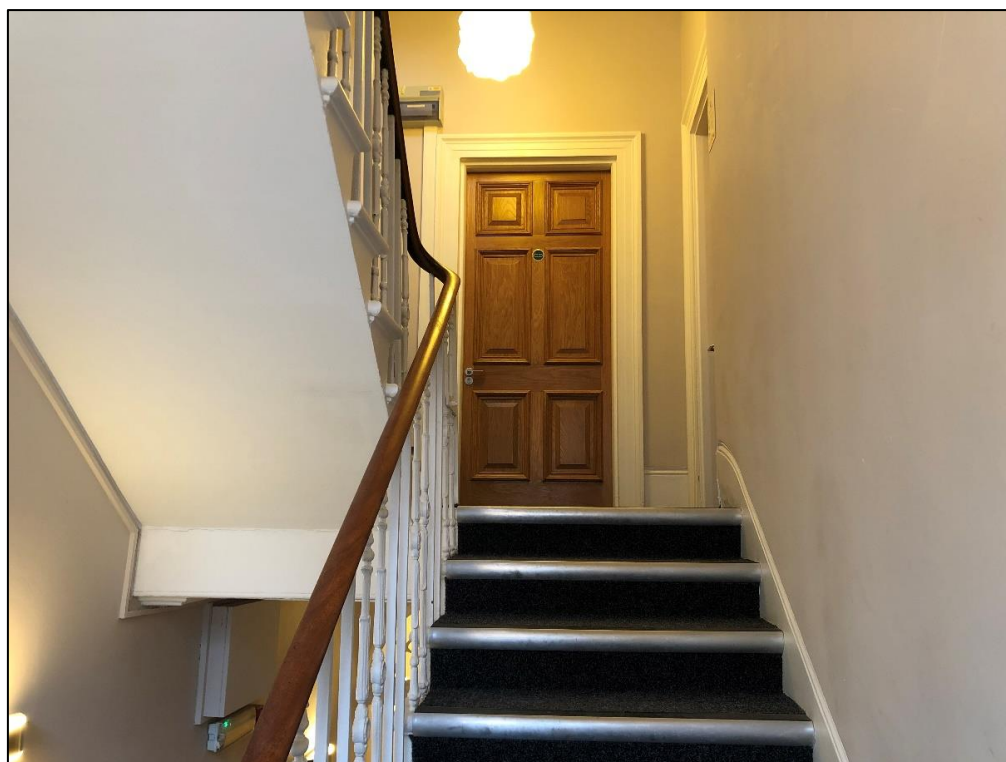


Plate 14: View showing staircase leading up to first floor landing

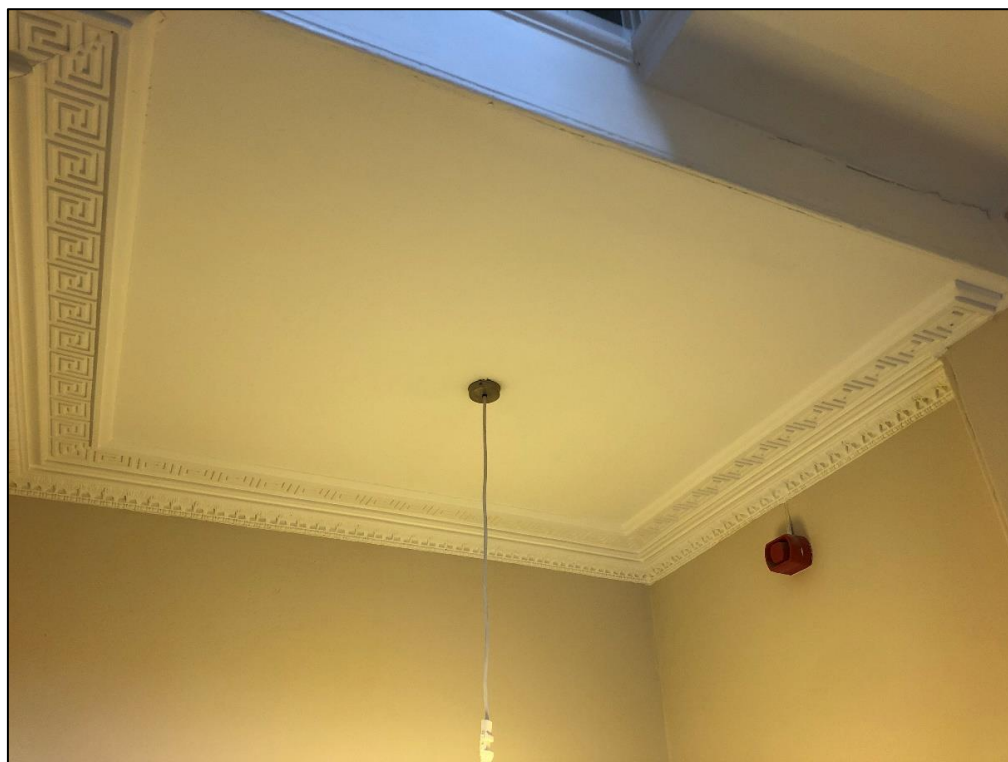


Plate 15: View looking W showing detail of cornice and ceiling frieze on first floor landing



Plate 16: General view looking SE across front room on first floor with parquet floor



Plate 17: View looking E showing tripartite sash windows in front room on first floor

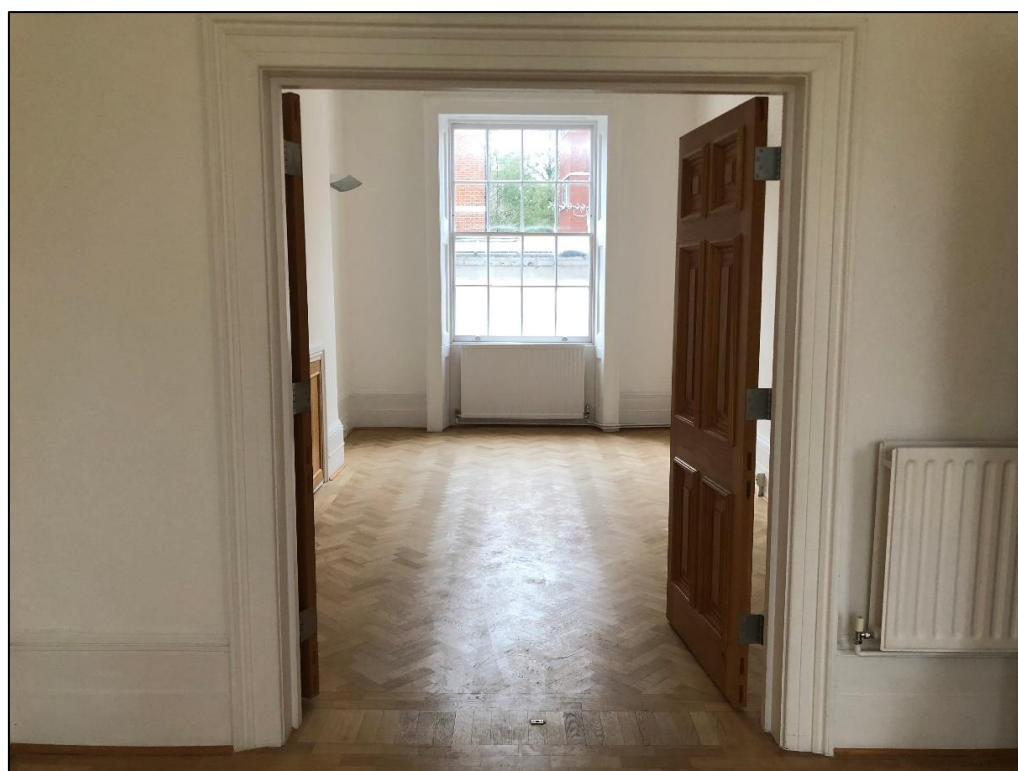


Plate 18: View looking W showing doorway between front and rear rooms on the first floor



Plate 19: View looking W showing detail of cornice and ceiling frieze in first floor front room



Plate 20: View looking S showing former fireplace (now wall cupboard) in S wall of first floor front room

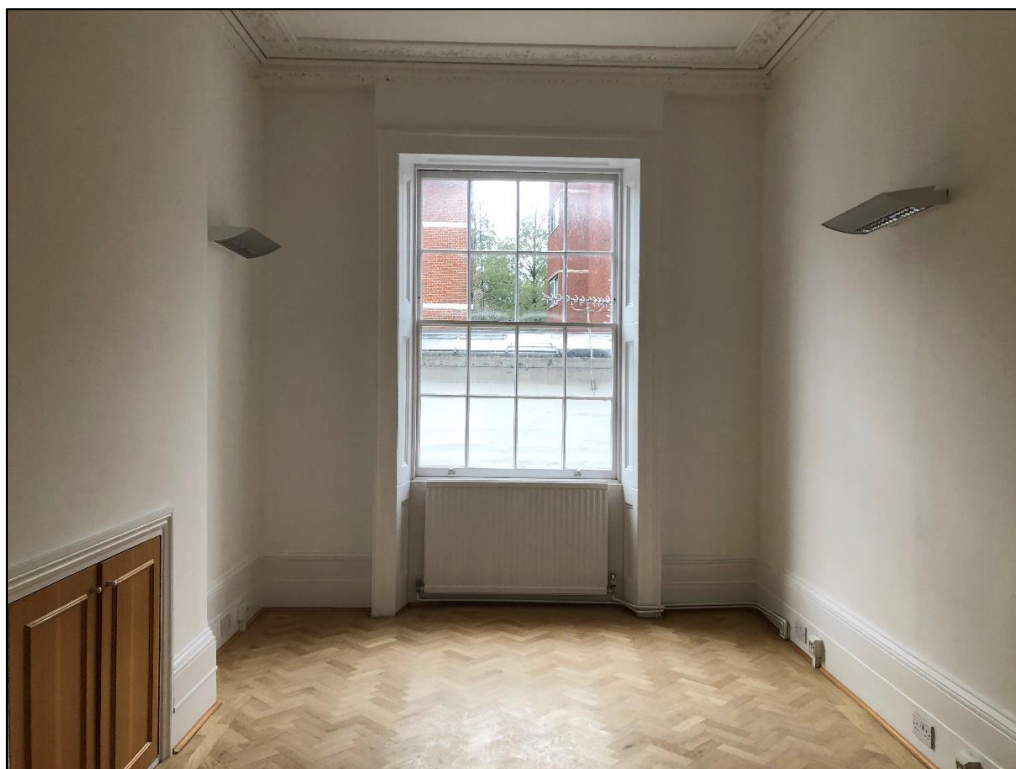


Plate 21: General view looking W across first floor back room

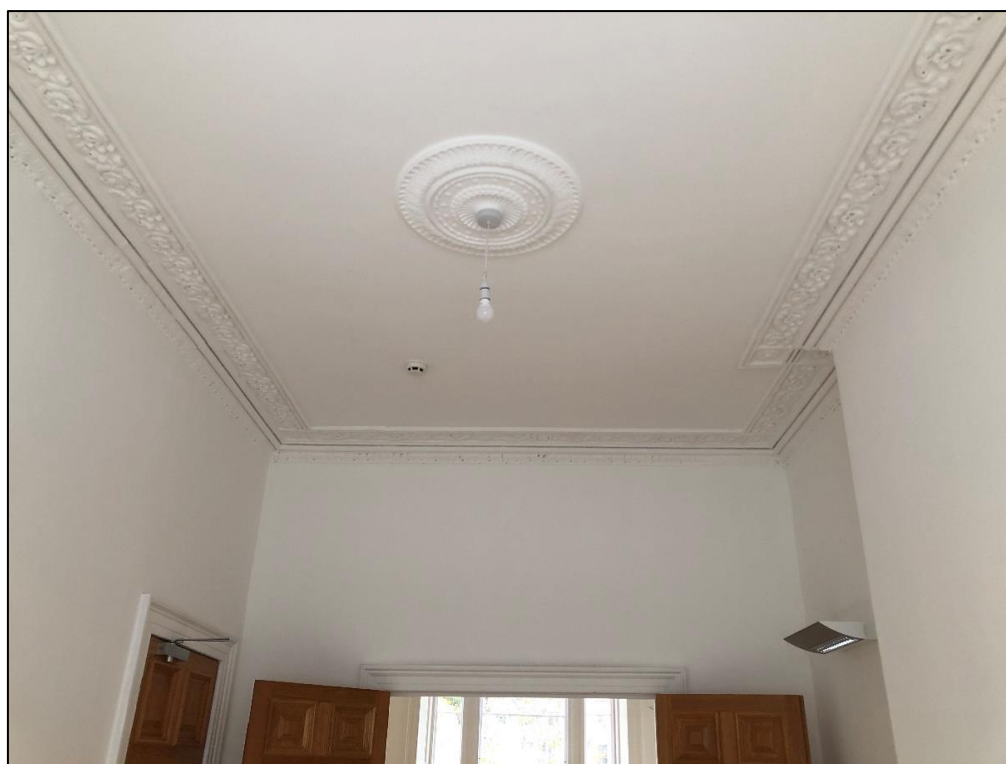


Plate 22: View looking E showing detail of cornice and frieze in first floor back room

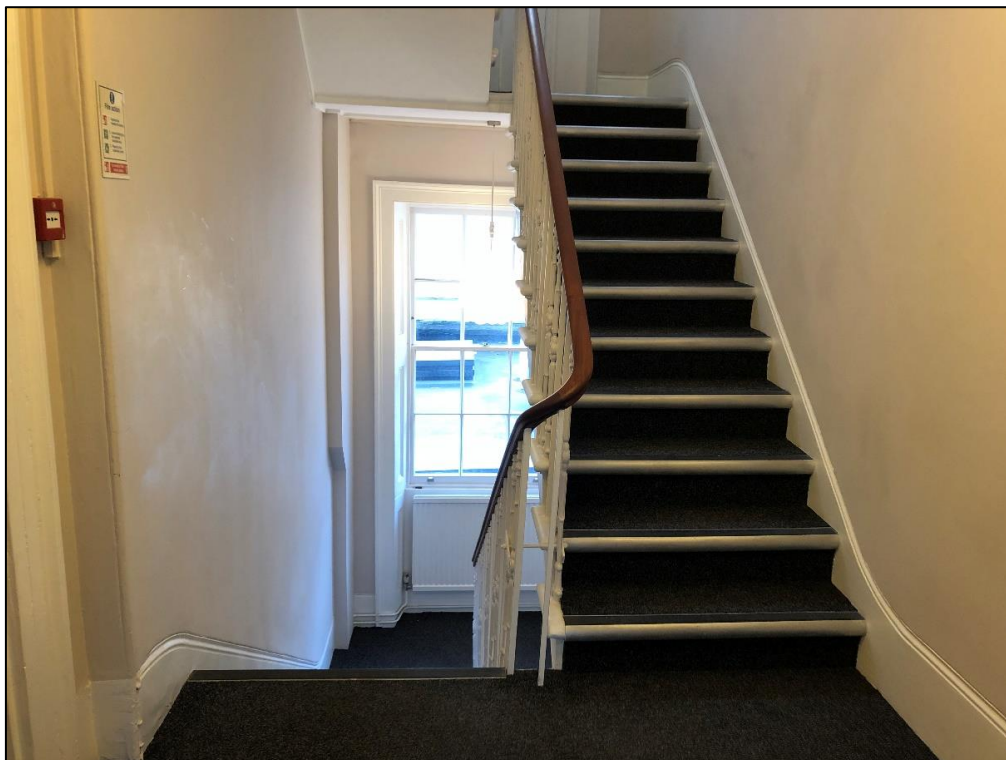


Plate 23: View showing staircase leading up from first to second floor



Plate 24: View looking up staircase towards glazed door to second floor landing

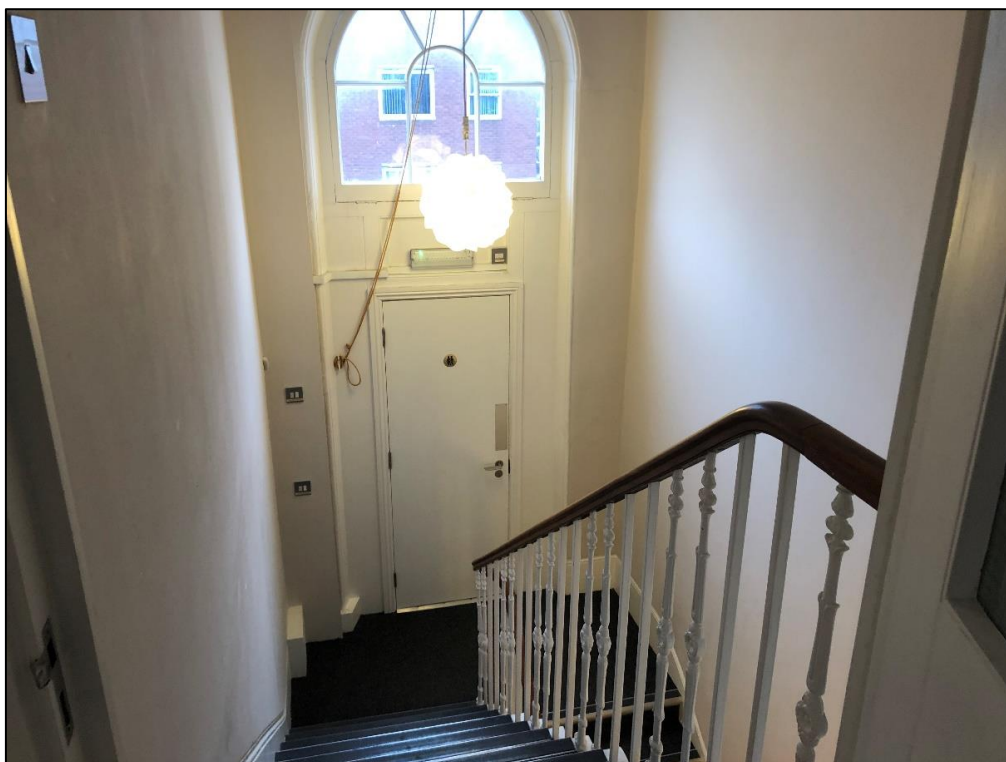


Plate 25: View looking down from second floor towards half landing and water closet

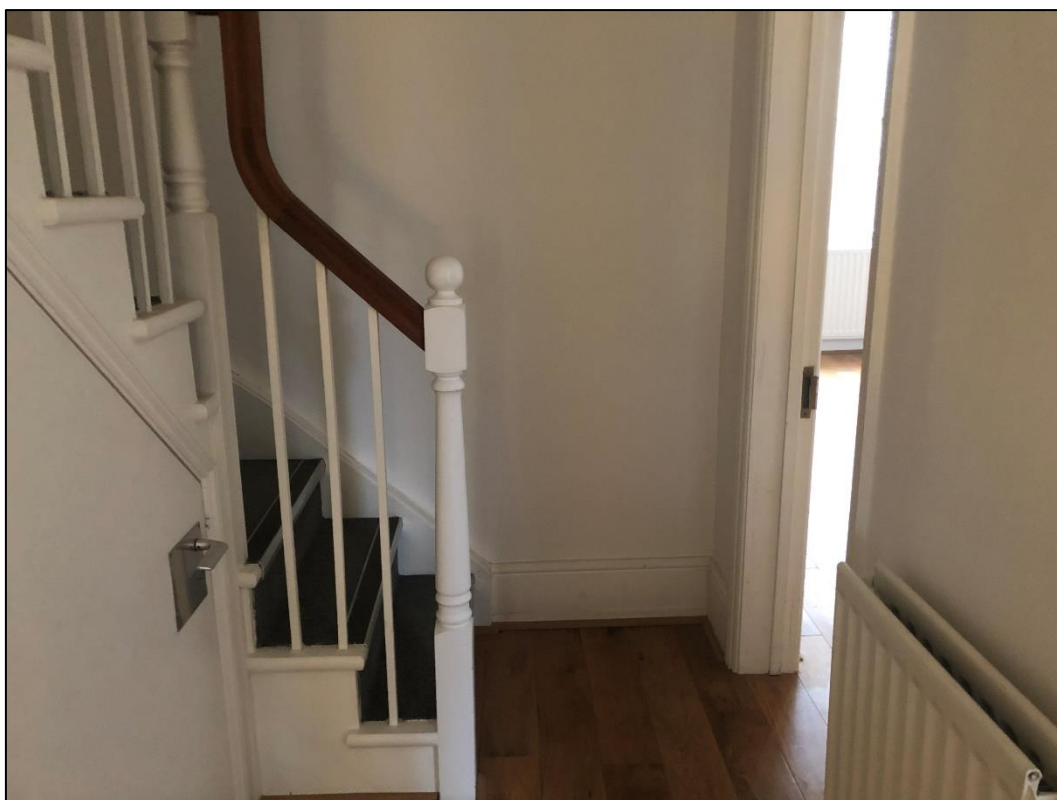


Plate 26: View looking E along second floor landing towards staircase to third floor



Plate 27: View looking N showing staircase leading from second to third floor



Plate 28: View looking E showing southern half of second floor front room



Plate 29: General view looking NE across second floor front room showing sash windows



Plate 30: View looking E showing detail of tripartite sash window in second floor front room



Plate 31: View showing marble fireplace in S wall of second floor front room



Plate 32: View looking N showing N half of second floor front room with fireplace at far end



Plate 33: View looking N showing marble fireplace in second floor front room



Plate 34: General view looking SW across second floor back room



Plate 35: View looking W showing casement window in second floor back room



Plate 36: View looking S showing marble fireplace in S wall of back room on second floor

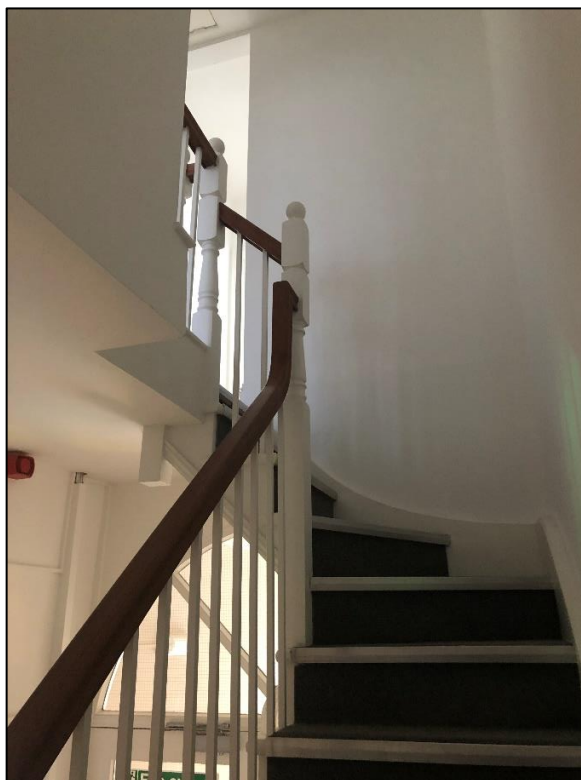


Plate 37: View looking W showing staircase leading to third floor



Plate 38: View looking W along third floor landing



Plate 39: General view looking SE across third floor front room



Plate 40: View looking S towards blocked fireplace in third floor front room



Plate 41: View looking E showing southern part of third floor front room, with wall stub visible to left of picture



Plate 42: View looking E showing sash window and fireplace in the N half of the third floor front room



Plate 43: General view looking W across third floor back room



Plate 44: View looking W showing sash window in back room on third floor



Plate 45: View looking S showing fireplace in S wall of back room on third floor



Plate 46: View looking W showing casement window in third floor kitchen



Plate 47: View looking NW at modern stairs from basement to ground floor



Plate 48: General view looking SE across basement front room



Plate 49: View looking E towards tripartite sash window in basement front room



Plate 50: View looking S showing blocked chimneybreast in basement front room



Plate 51: View looking E showing vestibule leading to vaulted basement



Plate 52: View looking E showing barrel vaulted roof in basement

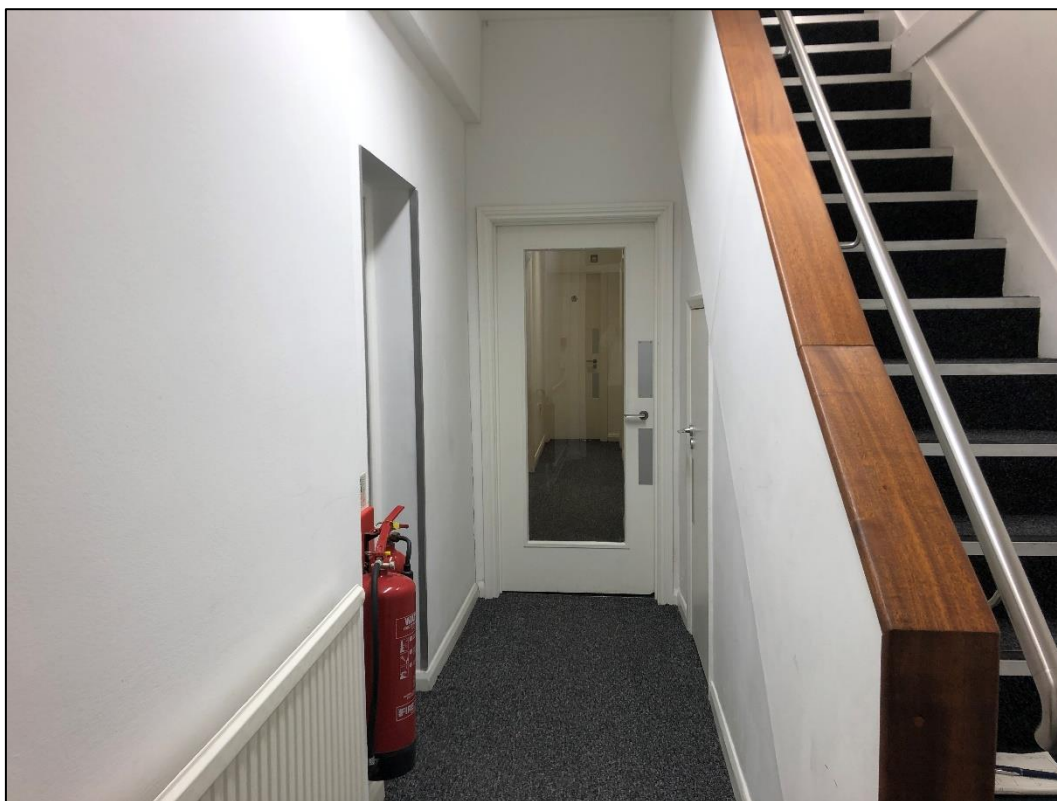


Plate 53: View looking W across basement landing



Plate 54: View looking SW showing blocked chimneybreast in S wall of basement room



Plate 55: View looking W across basement rear room

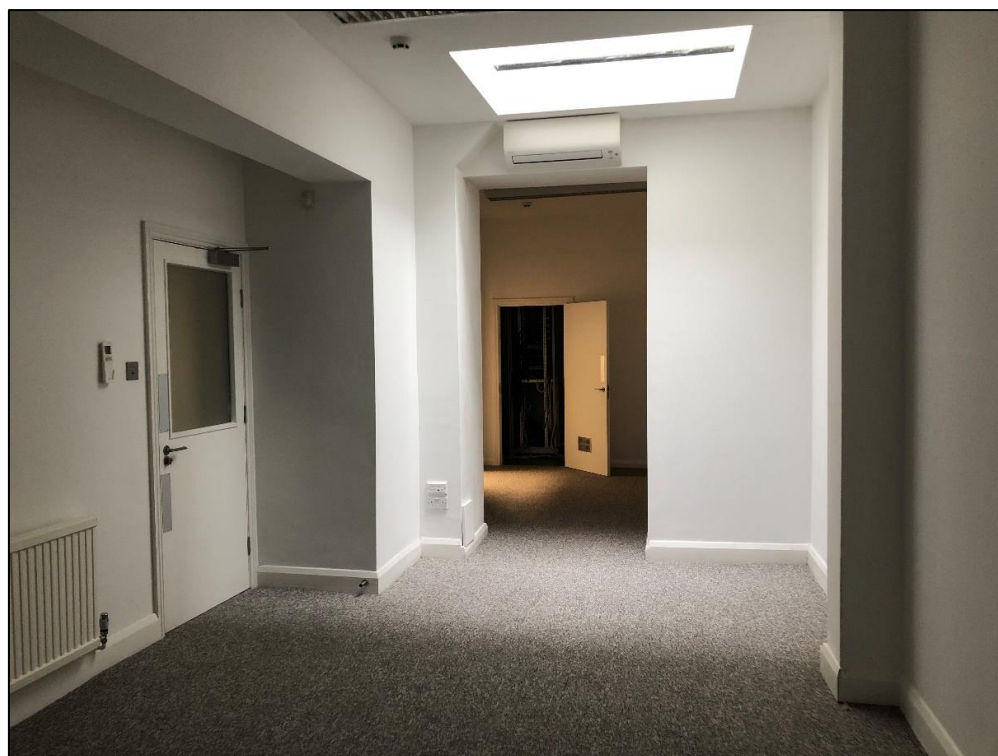


Plate 56: View looking E showing partition walls in back room within basement

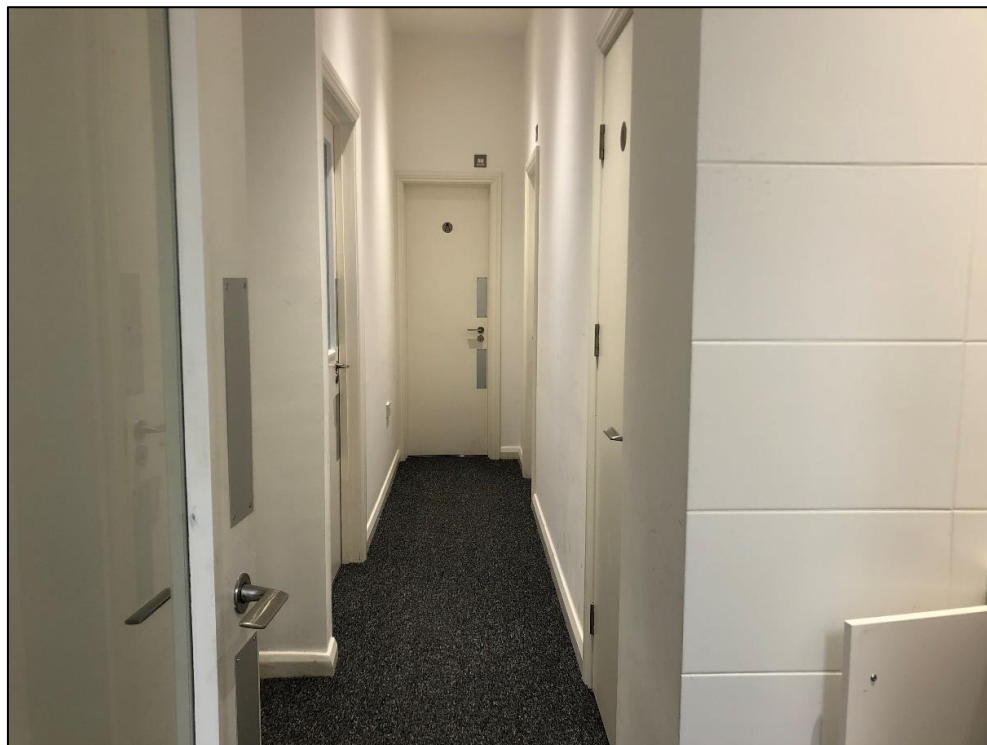


Plate 57: View looking W along corridor to rear of basement landing



Plate 58: View looking E along corridor to rear of basement landing

12 Appendix 2: Historic Maps



Fig. 13: Extract from Rocque's 1746 Survey of London
(Reproduced courtesy of the London Metropolitan Archives)



Fig. 14: Extract from Horwood's 1799 Survey of London
(Reproduced courtesy of the London Metropolitan Archives)

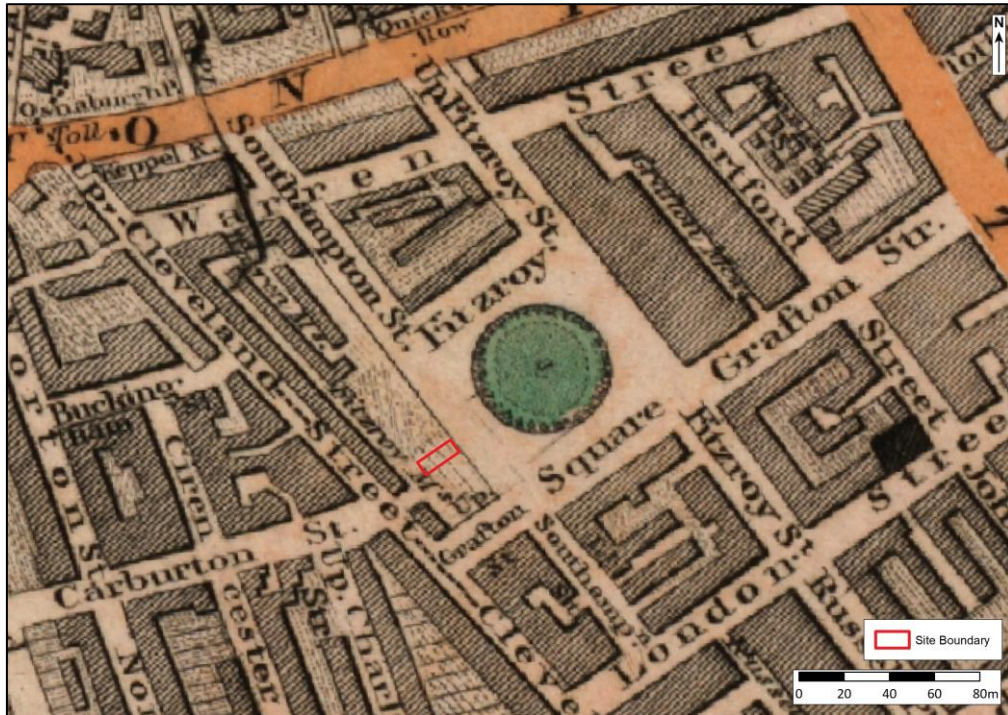


Fig. 15: Extract from Greenwood's 1829 Survey of London
(Reproduced courtesy of the London Metropolitan Archives)



Fig. 16: Extract from Stanford's 1862 Survey of London
(Reproduced courtesy of the London Metropolitan Archives)

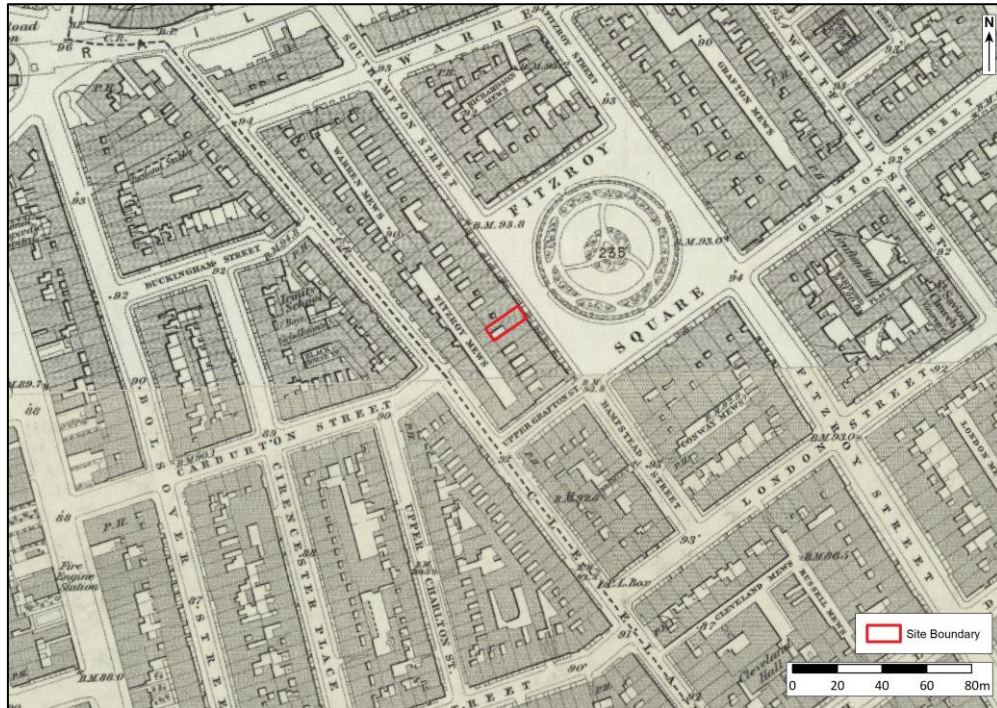


Fig. 17: Extract from the 1876 OS 1st Edition 25-Inch Survey of London
(Reproduced courtesy of the London Metropolitan Archives)

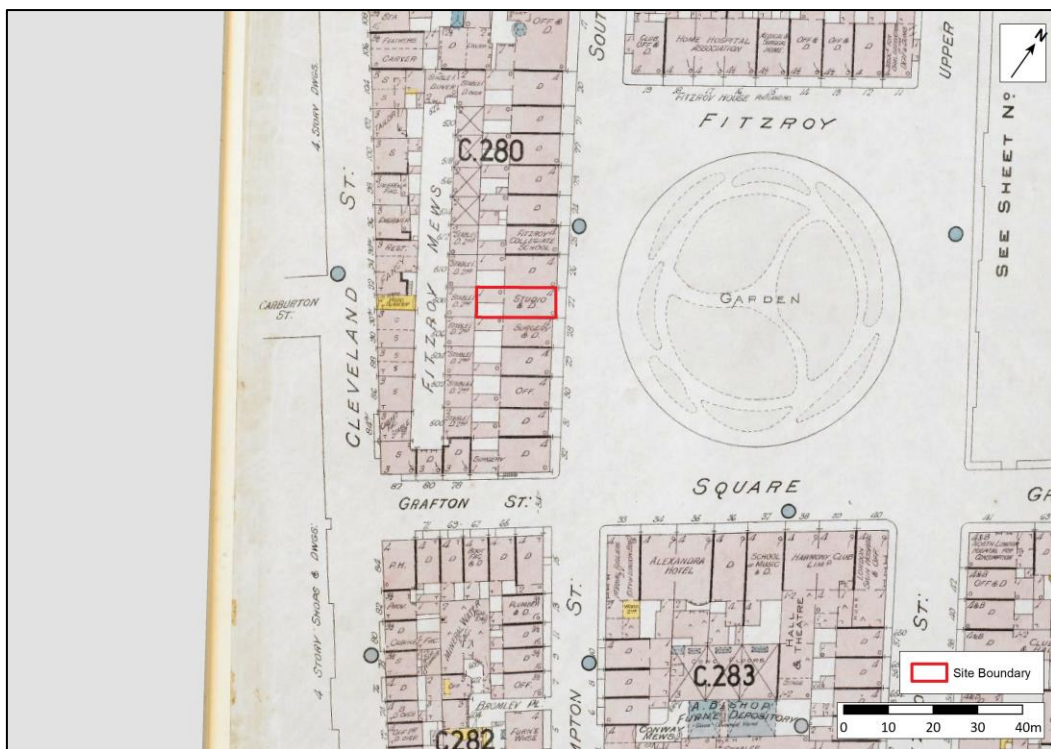


Fig. 18: Extract from the 1900 Goad Insurance Plan
(Reproduced courtesy of the British Library)

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