

REPORT ON BUILDING RECORDING & PHOTOGRAPHIC SURVEY

carried out at

FORMER SUNDAY SCHOOL,

12 – 14 VILLIERS STREET, SUNDERLAND SR1 1HA

NGR: NZ 4008 5705

Prepared for

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EXECUTIVE SUMMARY

It is understood that it is proposed to demolish the upstanding buildings on the disused site and develop it with six-storey apartment blocks, including landscaped zones and car parking.

On the instructions of Mario Minchella Architects on behalf of Atlas New Home Ltd, a geotechnical desk study was undertaken by Ian Farmer Associates (Report No. 3953, Jun 06), which recommended the site be subjected to detailed archaeological investigation to enquire into the history of the former Bethel Chapel and Sunday School on site and into the presence of vaults beneath the site.

On further instructions, Ian Farmer Associates *Archaeological Services* carried out the first archaeological phase which comprised a desk-based assessment and a walkover survey (Report No. 11005, Mar 07). These indicated that the former Chapel was demolished, the former Sunday School incorporated into a redundant garage, and the presence of the vaults not proven. The redundant engineering works held no archaeological interest.

Following the conclusion that the proposed development would greatly influence, i.e. destroy, the archaeological remains on site, the second archaeological phase was instigated, which saw the building recording and photographic survey of the upstanding features.

There is no doubt that the remains belong to the former Sunday School of 1849 with its western infant school of 1869 and a protrusion to the eastern façade. There have been phases of re-structuring, but the original lay-out has been preserved. Instability appears to exist within the south-eastern corner of the upper floor, which has been temporarily halted.

The evidence has been preserved in the forms of survey drawings and a photographic archive.

With regards to the site, it is recommended to carry out a ground-penetrating radar survey to clarify the location of sub-surface features, particularly the vaults. Once found, a reconnaissance visit into the vaults should elucidate the state of preservation of the structure as well as the existence of any human remains.

A mitigation strategy should take into consideration the importance of upstanding features and their inclusion into the proposed development as well as the needs of a geotechnical ground investigation.

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1.0 INTRODUCTION

- 1.1.1 It is understood that it is proposed to demolish the upstanding buildings on the disused site and develop it with six-storey apartment blocks, including landscaped zones and car parking.
- 1.1.2 On the instructions of Mario Minchella Architects on behalf of Atlas New Home Ltd, a geotechnical desk study was undertaken by Ian Farmer Associates (Report No. 3953, Jun 06), ref. 11.1, which recommended the site be subjected to detailed archaeological investigation to enquire into the history of the former Bethel Chapel and Sunday School on site and into the presence of vaults beneath the site.
- 1.1.3 On further instructions, Ian Farmer Associates *Archaeological Services* carried out the first archaeological phase which comprised a desk-based assessment and a walkover survey (Report No. 11005, Mar 07), ref 11.2. These indicated that the former Chapel was demolished, the former Sunday School incorporated into a redundant garage, and the presence of the vaults not proven. The redundant engineering works held no archaeological interest.
- 1.1.4 The findings of report no. 11005 are referred to throughout this report.
- 1.1.5 Following the conclusion that the proposed development would greatly influence, i.e. destroy, the archaeological remains on site, the second archaeological phase was instigated, which saw the building recording and photographic survey of the upstanding features.

2.0 GENERAL STANDARDS

2.1 Compliance

- 2.1.1 All work is carried out in compliance with the codes of practice of the Institute of Field Archaeologists (IFA), ref. 11.3, and follows the IFA Standards for an archaeological desk-based assessment, ref. 11.4.

2.2 Definition

- 2.2.1 *'The definition of archaeological building investigation and recording (ABIR) is a programme of work intended to establish the character, history, dating, form and archaeological development of a specified building, structure, or complex and its setting, including buried components, on land, inter-tidal zone or underwater.'* (IFA, ref. 11.4)

2.3 Purpose

- 2.3.1 *'The purpose of ABIR is to examine a specified building, structure or complex, and its setting, in order to inform:*

- *the formulation of a strategy for the conservation, alteration, demolition, repair or management of a building, or structure, or complex and its setting*
- or*
- *to seek a better understanding, compile a lasting record, analyse the findings/record, and then disseminate the results.’ (IFA, ref. 11.4)*

2.4 Third Parties

- 2.4.1 This report has been prepared for the sole use of the Client for the purpose described and no extended duty of care to any third party is implied or offered. Third parties using any information contained within this report do so at their own risk.
- 2.4.2 It is recommended that a copy of this report be submitted to the relevant authorities to enable them to carry out their own site assessment and provide any comments.
- 2.4.3 The comments given in this report and the opinions expressed herein are based on the information obtained initially from the desk study and site reconnaissance, report no. 3953, and subsequently the desk-based assessment and walkover survey, report no. 11005. No intrusive investigation has been carried out to confirm the actual ground or environmental conditions.
- 2.4.4 Any risks identified in this report are perceived risks based on information reviewed. Actual risks can only be assessed following a physical investigation of the site.
- 2.4.5 This report has been based, in part, on information supplied by others. The report has been prepared on the basis of that information being accurate.
- 2.4.6 The conclusions presented in this report are based on the guidance available at the time of preparation of the report. No liability can be accepted for the retrospective effects of any changes or amendments to legislation or guidance.

2.5 Site Archive

- 2.5.1 The site archive comprising of this report, the building survey drawings and the photographic archive will be deposited in the appropriate local museum within six months of completion of the report.
- 2.5.2 Tyne and Wear Specialist Conservation Team will require confirmation that the archive has been submitted in a satisfactory form to the relevant museum before recommending to the local planning authority that the condition should be fully discharged.

3.0 SITE

3.1 Site Location

3.1.1 The site is situated at the former Bethel Chapel, 12-14 Villiers Street, Sunderland, Tyne and Wear, SR1 1HA and may be located by National Grid Reference NZ 4008 5705.

3.1.2 Site location plans are included in Appendix 1, Figures A1.1 and A1.2 and duplicated in the building recording in Appendix 2, which also incorporates an aerial photograph.

3.2 Geological & Topographic Setting

3.2.1 Details of the geology underlying the site have been obtained from the British Geological Survey map, Sheet No. 21, 'Sunderland', solid and drift edition, 1:50,000 scale, published 1978.

3.2.2 The geological map indicates the site to be underlain by superficial deposits of Devensian undifferentiated glaciofluvial deposits comprising sand and gravel. Immediately to the north of the site, Devensian till is indicated.

3.2.3 The superficial deposits are underlain by Upper Permian dolomite.

3.2.4 The site is within an urban area and, although not indicated as present on the site from the geological maps, the possibility that Made Ground exists on site cannot be discounted.

3.2.5 The walkover showed the site to be covered in concrete.

3.2.6 The junction of Villiers Street and Little Villiers Street to the north of the site lies at approximately 27m OD while the junction of Villiers Street with Coronation Street to the south of the site lies at approximately 29m OD.

4.0 AIMS AND OBJECTIVES

4.1.1 *'As part of the assessment process and in accordance with standard practice, an archaeological record (drawn and photographic) needs to be made of the above ground elements of the building to provide an archive record and to advise the planning process. The finished report will include recommendations for any further recording required.'* (ref. 11.5)

5.0 METHODOLOGY

5.1.1 The building survey was undertaken on September 12th, 2006.

- 5.1.2 The survey was made by direct measurement using tapes and rods and was supported by electronic distance measurer (EDM).
- 5.1.3 Accurate elevations and plans were produced of each floor of the structure with phasing depicted in differential shading.
- 5.1.4 Cross-sections were drawn through the principal structural unit.
- 5.1.5 Scale drawings recording the form and location of other significant structural detail and drawings to show the form/profile of any architectural decoration were prepared.
- 5.1.6 A photographic record to show the buildings appearance and also to record the evidence on which the analysis of its historic development is based was made. The photographic record is an appendix to this report.

6.0 ANALYSIS AND INTERPRETATION

6.1 Existing Ground Floor Plan

- 6.1.1 Observations should be read in conjunction with Drg No 3 of 11, included in Appendix 2.
- 6.1.2 This drawing takes into consideration the whole site. The southern site boundary is made partly of brick, partly of limestone, the relative thicknesses apparent, the brick being half that of the limestone. The eastern site boundary is partly free-standing brick, partly incorporated into the eastern front of the former garage. Similarly, the northern and western boundaries are largely of brick being incorporated into the garage and its workshops.
- 6.1.3 The south-east of the site is occupied by a concrete car park.
- 6.1.4 To the south-west of the site is a garage workshop with a central inspection pit.
- 6.1.5 Centrally to the site is the rectangular former Sunday School with its thick walls. In its southern wall are two large gates, in its eastern wall are two windows and a blocked doorway (not indicated, the one with the sink on the other side), in its northern wall are a blocked doorway, two blocked windows and a large gate, and in its western wall are two doors. The Sunday School had last been used as part of a now redundant garage. A second inspection pit is shown and fittings of former machinery are visible in the concrete floor.
- 6.1.6 The northern large gate leads into another part of the redundant garage. To its east is the redundant office tract. There are no openings in the northern brick wall. There is only a single fore exit in the western brick wall. In the south-western corner is a gate.

- 6.1.7 Both, the central doorway in the western wall of the former Sunday School and the gate in the south-western corner of the redundant garage lead into a rectangular room which is clad in asbestos.
- 6.1.8 There are two internal doors from the workshop into the eastern redundant offices. The southern entrance leads into a short corridor, which has a glass window in its western wall, looking out onto the shop floor, and two doors as well as a glass window in its eastern wall, directed into the southern of the two office rooms. The northern entrance from the workshop leads into a square office room which has a door in its southern wall linking the two offices.
- 6.1.9 The square northern office room has no openings in its northern wall and two windows in its eastern wall looking out onto Villiers Street. The southern office room has three windows in its eastern wall looking out onto the street and a door in its southern wall.
- 6.1.10 This door leads from the offices into the protrusion of the former Sunday School which houses firstly a staircase leading upwards, but also the former staff toilet. A door in the protrusion's southern wall leads out onto Villiers Street.
- 6.1.11 A second staircase can be accessed through the second southern door in the western wall of the former Sunday School building. The stairs lead up, while two doors in the staircase's southern wall lead into small workshops and utility rooms of the redundant garage and connect this part of the Sunday School with the workshop along the western boundary.

6.2 Interpretation of the Existing Ground Floor Plan

- 6.2.1 This interpretation is based on the findings of report no. 11005.
- 6.2.2 The location of the former Bethel Chapel is known to coincide with the present concrete car park, although no traces of it have been found or surveyed.
- 6.2.3 Documentary and cartographic evidence as well as the walkover survey and building recording leave no doubt as to the existing building central to the site being the former Sunday School. Noteworthy is the thickness of the walls of the original rectangular building of 1849. The openings in the eastern wall are original as are the blocked door and windows in the northern wall. The central door in the western wall may be original while the southern door was constructed to allow access into the later infant school (see below). The large gates in the southern and northern walls are associated with the garage to allow vehicular access to the workshop.
- 6.2.4 The asbestos-clad room and staircase to the west are believed to be the infant school proposed in building control plans of 1869. By 1897, the protrusion

which houses another staircase had been built and also survives on site. Noticeable are wall thicknesses of about one whole brick.

6.2.5 Peculiarly, a bricked-up archway in the north wall of the protrusion would have allowed access into the protrusion which is denied entirely by there being the staff toilet wall from the other side. The possibility to look into this closed space through a hole under the stairs has been mentioned in the walkover survey.

6.2.6 All other features on site are believed to be modern structures in association with the redundant garage. Their walls are half a brick wide. The corridor and double doors in the offices presumably served to reduce noise and fumes from the workshop.

6.3 Existing First Floor Plan

6.3.1 Observations should be read in conjunction with Drg No 4 of 11, included in Appendix 2.

6.3.2 The first floor of the former Sunday School is open-plan. There are three bricked windows in the eastern wall, a doorway and four bricked windows in the northern wall, a doorway in the western wall, and two blocked windows with a central blocked doorway in the southern wall.

6.3.3 The doorway in the northern wall leads into the protrusion with a blocked west-facing window and its staircase going down. The intermediate level also incorporates a west-facing blocked window.

6.3.4 The doorway in the western wall leads into the western extension of the infants' schools comprising a staircase which has been partially destroyed and is unusable, and the school room. There are four windows in the western wall.

6.4 Interpretation of the Existing First Floor Plan

6.4.1 This interpretation is based on the findings of report no. 11005.

6.4.2 From 1849, the doorway in the southern wall must have connected the former Chapel's gallery with the schoolroom. At the time, its may have been the only point of entry, with the infants' school staircase having been built twenty years later, and the protrusion first appearing on a map of 1897.

6.4.3 The first floor plan indicates the features on the first floor belonging to the former Sunday School, with later building phases merely comprising the barricading of openings.

6.5 East Elevation

6.5.1 Observation should be read in conjunction with Drg No 5 of 11, included in Appendix 2.

- 6.5.2 The single-storey workshop and doorway indicated to the south of the drawing are those located along the western boundary of the site. The walls are brick-built, and there are no further features warranting examination.
- 6.5.3 The north of the drawing visualises the eastern façade of the former two-storey Sunday School, its protrusion and the single-storey extension of the redundant garage.
- 6.5.4 The ground floor of the former Sunday School displays a central doorway with two doors above which the Roman numerals for 1849 can be read. Two windows appear to either side of the doorway.
- 6.5.5 The upper floor of the former Sunday School shows three bricked-up windows.
- 6.5.6 Although decorated, the protrusion has no eastern openings in either the ground or the first floor.
- 6.5.7 There is a southern gable which is not part of the roof that actually spans the former school and the protrusion.
- 6.5.8 The protrusion appears to be founded on a stone wall which runs parallel to Villiers Street to the north, and as such can also be seen beneath the five front windows of the redundant single-storey garage.
- 6.5.9 The front of the garage, which has no door, is held in brick.

6.6 Interpretation of the East Elevation

- 6.6.1 This interpretation is based on the findings of report no. 11005.
- 6.6.2 The date above the door is thought to be contemporary with the reminder of the School's façade.
- 6.6.3 The protrusion is thought to be that first visible on the map of 1897 and to not have been altered.
- 6.6.4 The wall beneath the protrusion is thought to have been the cemetery wall, but perhaps not in its earliest form (see below).
- 6.6.5 The original roof is thought to have adopted the design of the former Chapel, now demolished, and to have incorporated the southern gable. Phases of rebuilding are not immediately obvious but are thought to have started with the construction of the infants' school and continued during the work on the protrusion.

6.7 South Elevation

- 6.7.1 Observations should be read in conjunction with Drg No 6 of 11, included in Appendix 2.
- 6.7.2 The south elevation clearly shows the southern door in the ground floor of the protrusion as well as the window in its first floor.
- 6.7.3 The external walls of the ground and first floor of the former Sunday School were built in limestone with wooden stabilisers.
- 6.7.4 In the ground floor wall are two large gates with a central shallow bay.
- 6.7.5 In the first floor are three blocked openings and at the eastern end are metal brackets.
- 6.7.6 There is a gable which also incorporates a metal bracket.
- 6.7.7 To the west in the extension of the former infants' school.

6.8 Interpretation of the South Elevation

- 6.8.1 This interpretation is based on the findings of report no. 11005.
- 6.8.2 Again, features of the protrusion are thought to be original and unaltered.
- 6.8.3 The limestone wall construction of the former Sunday School is thought to be original, with all brick features being later.
- 6.8.4 The first of these brick features would have been the blocking of the central doorway in the first floor (see 6.3.2), the brick being levelled with wood similar to that within the limestone construction and a sign of the times.
- 6.8.5 The brick type matches that used to construct the infants' school, hence they are believed to be contemporary. If until then the upper floor of the Sunday School could only be reached via the former Chapel's gallery, there was now a staircase in the infant's school to take care of access. Perhaps a doorway within the southern wall interfered with the proceedings either in the School or in the Chapel.
- 6.8.6 This brick type can also be observed within the gable, leading to the suggestion that the roof was re-built at around 1869.
- 6.8.7 Another brick type was used to block the windows in the School's upper floor, without using wood. This type can also be found surrounding the gates within the ground floor wall, the western corner of the building and along the top edge of the infants' school.

6.8.8 The gates could have perhaps been built while the Chapel was on site, breaching internal walls, but there would not have been a need to repair the corner of the building until after its demolition between 1978 and 1982.

6.8.9 The shallow bay within the ground floor plan is thought to have been built around some external feature on the Chapel at the time.

6.9 West Elevation

6.9.1 Observations should be read in conjunction with Drg No 7 of 11, included in Appendix 2.

6.9.2 The north of the drawing is occupied by the brick-built west wall of the redundant single-storey garage which incorporates a fire exit and a fragment of limestone wall.

6.9.3 Behind it, the brick-built western wall of the protrusion can be seen which has a single bricked-up window.

6.9.4 The limestone wall abuts the western brick-built wall of the former infants' school. The windows in the upper floor are unobstructed while the windows and door way in the ground floor are bricked up.

6.9.5 To the south of the infants' school, the corner of the former Sunday School juts out.

6.9.6 A brick wall runs along the western boundary parallel to the lane and joins a fragment of the southern limestone wall.

6.10 Interpretation of the West Elevation

6.10.1 This interpretation is based on the findings of report no. 11005.

6.10.2 The infants' includes a stone lintel over what appears to be its original entrance, albeit blocked.

6.10.3 Brick type 1 of the school closely matches that of the protrusion, and although the school was built in 1869 and the protrusion does not appear on maps until 1897 their construction histories may lie closer together.

6.10.4 The brick wall that abuts the school to the south is modern and of type 2. It is earlier than type 3 used to make it higher.

6.10.5 Incidentally, type 3 used to make the wall higher matches the type used to block the doorway, windows, stabilise the Sunday School's corner and build the single-storey garage.

6.10.6 The fragment of limestone wall to the south may have been constructed at the same time as either the Chapel to mark its southern boundary, or perhaps the

Sunday School which has limestone walls. If the southern fragment is contemporary with the fragment in the west wall, then the western fragment could potentially be earlier than the infants' school, and not later, as suggested by the abutment. Alternatively, the perimeter was not walled until after the construction of the infants' school.

6.10.7 The western limestone wall is thought to be the cemetery wall and the equivalent of the stone wall along the eastern boundary.

6.11 North Elevation

6.11.1 Observations should be read in conjunction with Drg No 8 of 11, included in Appendix 2.

6.11.2 The view of the north elevation is partially blocked by the brick-built single-storey redundant garage next to it. The garage incorporates the stone wall to the east and a roughly built limestone wall along its northern boundary.

6.11.3 It can be seen that the two-storey protrusion comprises a dressed façade and a brick-built rear and abuts onto the former Sunday School.

6.11.4 The northern first floor wall of the former Sunday School displays four large windows, all blocked.

6.11.5 To the west of the former School is the extension of the infants' school in a different brick type, also incorporating a blocked window of brick type 3.

6.11.6 The roof of the protrusion falls away from the roof of the former Sunday School.

6.12 Interpretation of the North Elevation

6.12.1 This interpretation is based on the findings of report no. 11005.

6.12.2 The north wall of the redundant garage shows no notable features. However, it is founded on what appears to be the oldest surviving wall fragment on site, which could be earlier than or contemporary with the cemetery.

6.12.3 The protrusion was clearly built to impress, with its rear being much less spectacular.

6.12.4 Comparing the brick types indicates that the windows in the former Sunday School and infants' school were not barricaded until the garage was being built.

6.12.5 The initial Sunday School roof appears to have been a east to west gable, with an extended gable to the south. Onto this, the roof that falls away over the protrusion was added. There is no connection between the Sunday School's roof and the infants' school's roof.

6.13 North Elevation of South Boundary Wall

- 6.13.1 Observations should be read in conjunction with Drg No 8 of 11, included in Appendix 2.
- 6.13.2 The south boundary wall consists largely of limestone, repaired with brick type 1 and added onto with brick type 3.
- 6.13.3 Hence, this limestone wall and presumably the fragment in the western wall are earlier than the type 1 built infants' school and was extended to fit the needs of the redundant garage.

6.14 Internal Elevations

- 6.14.1 Observations should be read in conjunctions with Drg No 11 of 11, included in Appendix 2.
- 6.14.2 These elevation drawings show the former Sunday School's interior prior to the breaching of the northern, western and southern walls and show the original lay-out.
- 6.14.3 The central doorway and side windows in the eastern wall are thought to be original.
- 6.14.4 The large windows in the northern wall are thought to be original. The doorway may have been there prior to the protrusion being built or may have been added with the protrusion. The window above the doorway may have a similar history.
- 6.14.5 The original breach of the western wall may have occurred during the time of the construction of the infants' school and may not be modern.
- 6.14.6 The breaching of the northern and southern walls for gates into the redundant workshops may have eradicated earlier doors or windows.
- 6.14.7 Unfortunately, internal elevations of the first floor are not available.

6.15 Additional Information

- 6.15.1 Drg No 9 of 11 and Drg No 10 of 11 have been created using information that became available during the time of the survey.
- 6.15.2 Drg No 9 takes into consideration data obtained from the ground-penetrating radar (GPR) survey which will be dealt with in a future report.
- 6.15.3 Drg No 11 reiterates information from a Victorian drawing of the former Chapel believed to have stood in the location of the current concrete car park. This, too, will be expanded on in a future report.

7.0 IMPACT OF PROPOSED DEVELOPMENT

- 7.1.1 A proposed site plan has been made available by the client.
- 7.1.2 It indicates an L-shaped building footprint to the east of the site, the length of which reaches from the northern site boundary all the way to the junction of Villiers Street with Coronation Street, while the width of it runs parallel to Coronation Street to the lane. In addition to the proposed building, the plan shows landscaped zones and car parking spaces parallel to the lane.
- 7.1.3 The proposed building would cover the eastern halves of the former Bethel Chapel, the former Sunday School, the redundant engineering works and the underlying vaults.
- 7.1.4 The landscapes zones and car parking spaces would cover the western halves of the former Bethel Chapel, the former Sunday School, the redundant engineering works and the underlying vaults.
- 7.1.5 It is intended to demolish any structures on site. In addition, groundworks related to the building footprint would have a profound effect not only on the foundations of the Bethel Chapel and the Sunday School but would most certainly unearth the vaults.
- 7.1.6 At this stage it is not possible to know if landscaping and the construction of a car park would touch on any of the above.

8.0 RECOMMENDATIONS

- 8.1.1 In the light of the complexity of the site, the proposed demolition of all structures, and detrimental effects of any groundworks during the construction of the proposed developments, it is suggested to continue a phased approach to further archaeological work.
- 8.1.2 If it is thought that the remains of the former Sunday School are of local or regional interest then a mitigation strategy to preserve these should be contemplated.
- 8.1.3 It is recommended that a further phase should see an appropriate survey technique being used to delineate the survival of sub-surface features of the former Chapel and Sunday School, as well as clarify the location of the vaults. Due to the site being covered in concrete, ground penetrating radar (GPR) may be best.
- 8.1.4 Subsequently, targeted archaeological evaluation trenches prior to or an archaeological watching brief during any groundworks should clarify if Chapel foundations survive.

- 8.1.5 If the GPR delineates the location of the vaults than these should be investigated further. If the entrance to the vaults can be found and it is deemed safe than entry should occur from there. If the entrance cannot be located the next best place would be the inspection pit in the floor of the former Sunday School.
- 8.1.6 A visit into the vaults would elucidate the state of preservation of the vaults as well as the existence of any human remains. With those questions answered, a strategy on how to proceed must be sought.
- 8.1.7 In addition to being of archaeological interest, the vaults represent a void over which geotechnical ground investigation paramount to foundation design cannot be carried out. Any archaeological mitigation strategy should be scrutinised by a geotechnical engineer to allow for the ground investigation to proceed satisfactorily.
- 8.1.8 The burial registers have been requested from the National Archives. They should be examined by a historian, and if necessary, living relatives should be notified of the proposed scheme.
- 8.1.9 Due to increased interest in this type of project (see 10.1.1) and the importance to local and regional archaeology, the developer may be able to seek additional funding for the archaeological work from local authorities.

9.0 OASIS

- 9.1.1 Ian Farmer Associates *Archaeological Services* support the Online Access to Index of Archaeological Investigation (OASIS) Project. The overall aim of the OASIS Project is to provide an online index to the mass of archaeological grey literature that has been produced as a result of the advent of large-scale developer-funded fieldwork.
- 9.1.2 *Archaeological Services* therefore completed the online OASIS form at <http://ads.ahds.ac.uk/project/oasis>. Submission and validation of a completed OASS form places the information into the public domain on the OASIS website.
- 9.1.3 A copy of the form submitted for validation has been included in Appendix 3.

10.0 PUBLICATION

- 10.1.1 While the specification foresees the publication of the results in a suitable archaeological journal, Cox (ref. 11.6) suggests,

'Whichever mode is selected from the dissemination of results to other archaeologists and interested academics, it should not be forgotten that such high profile projects with immediate human relevance will attract a wider

range of interested parties than may normally occur with archaeological projects. Dissemination of information at a more popular level should also be considered. Public interest in such projects may merit the production of a popular account of any future crypt excavation as it has in the past.'

10.1.2 The mode of publication will be considered as a phased approach progresses and will be discussed with the client. The creation of a website should be beneficial.

11.0 REFERENCES

- 11.1 Ian Farmer Associates, unpubl., *Geotechnical Desk Study for 12 – 14 Villiers Street, Sunderland*, IFA Report No. 3953, Ian Farmer Associates, Gateshead
- 11.2 Ian Farmer Associates, unpubl., *Former Bethel Chapel, Sunday School and Vaults – Report on Archaeological Desk-based Assessment and Walkover Survey*, IFA Report No. 11005, Ian Farmer Associates, Gateshead
- 11.3 Institute of Field Archaeologists, 2000, *Code of Conduct*, IFA, Reading
- 11.4 Institute of Field Archaeologists, 1999, *Standard and Guidance for Archaeological Desk-Based Assessment*, IFA, Reading
- 11.5 Morrison, J., unpubl., *Specification for an Archaeological Desk Based Assessment and Building Recording of the former Bethel Chapel*, Tyne and Wear Specialist Conservation Team, Newcastle
- 11.6 Cox, M. *Crypt Archaeology: an approach*, IFA, Reading

For and on behalf of Ian Farmer Associates (1998) Limited

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APPENDIX 1
DRAWINGS



**IAN FARMER
ASSOCIATES**

Geotechnical & Environmental Specialists

Villiers Street Sunderland

Contract No. 11005

Site Location Plans

REPRODUCED FROM ORDNANCE SURVEY MAP WITH THE PERMISSION OF THE
CONTROLLER OF HER MAJESTY'S STATIONARY OFFICE

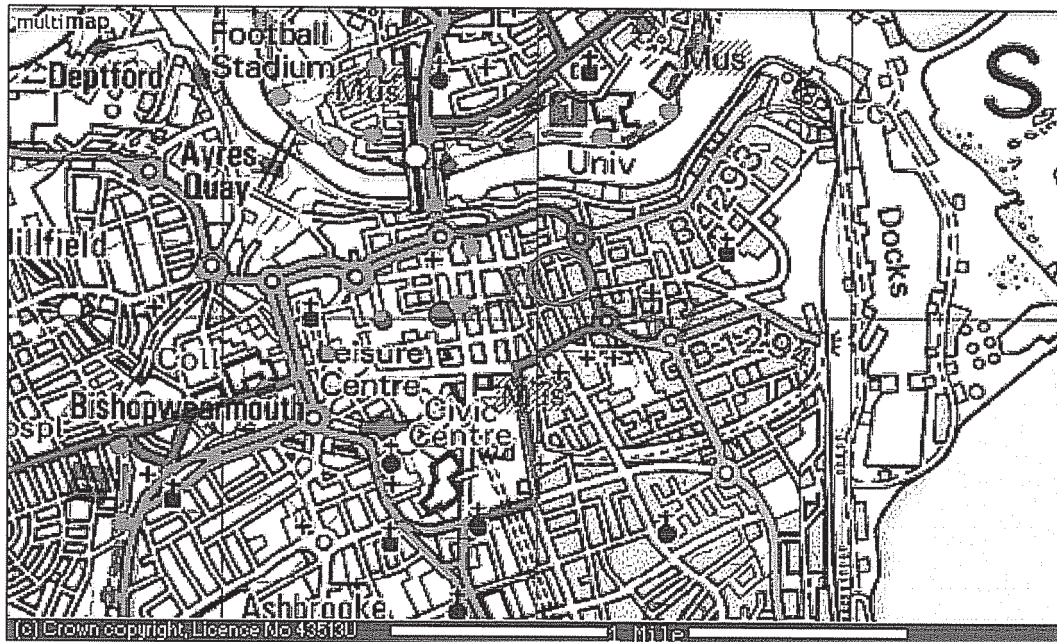
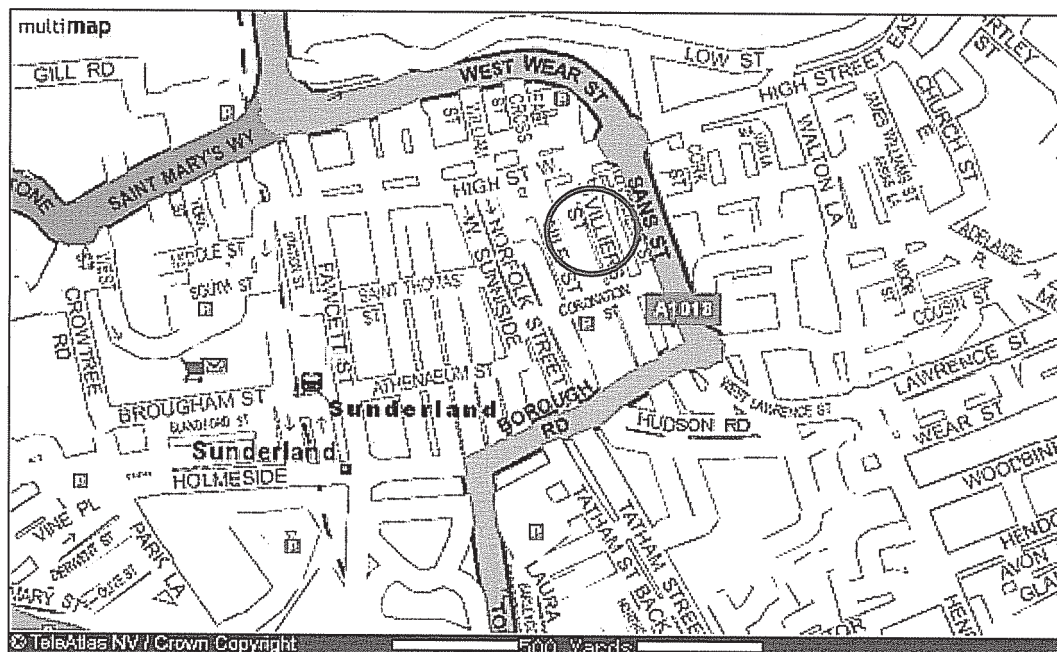


Fig. A1.1 Location plans



Licence No. 100031101



**IAN FARMER
ASSOCIATES**
Geotechnical & Environmental Specialists

Villiers Street, Sunderland
Contract No. 11005
Site Location Plan



Fig. A1.2 Site Location Plan

APPENDIX 2
BUILDING SURVEY

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Title: SITE LOCATION PLAN

Project:
EXISTING DRAWINGS OF
12-14 VILLIERS ST
SUNDERLAND
TYNEWEAR
SR1 1HA

Date: 12.09.06
Scale: 1:1250
Sheet Size: A3
Dwg No: 1 of 11



Notes:

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALE.
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Title: AERIAL PHOTO

Project:
EXISTING DRAWINGS OF
12-14 VILLIERS ST
SUNDERLAND
TYNE/WEAR
SR1 1HA

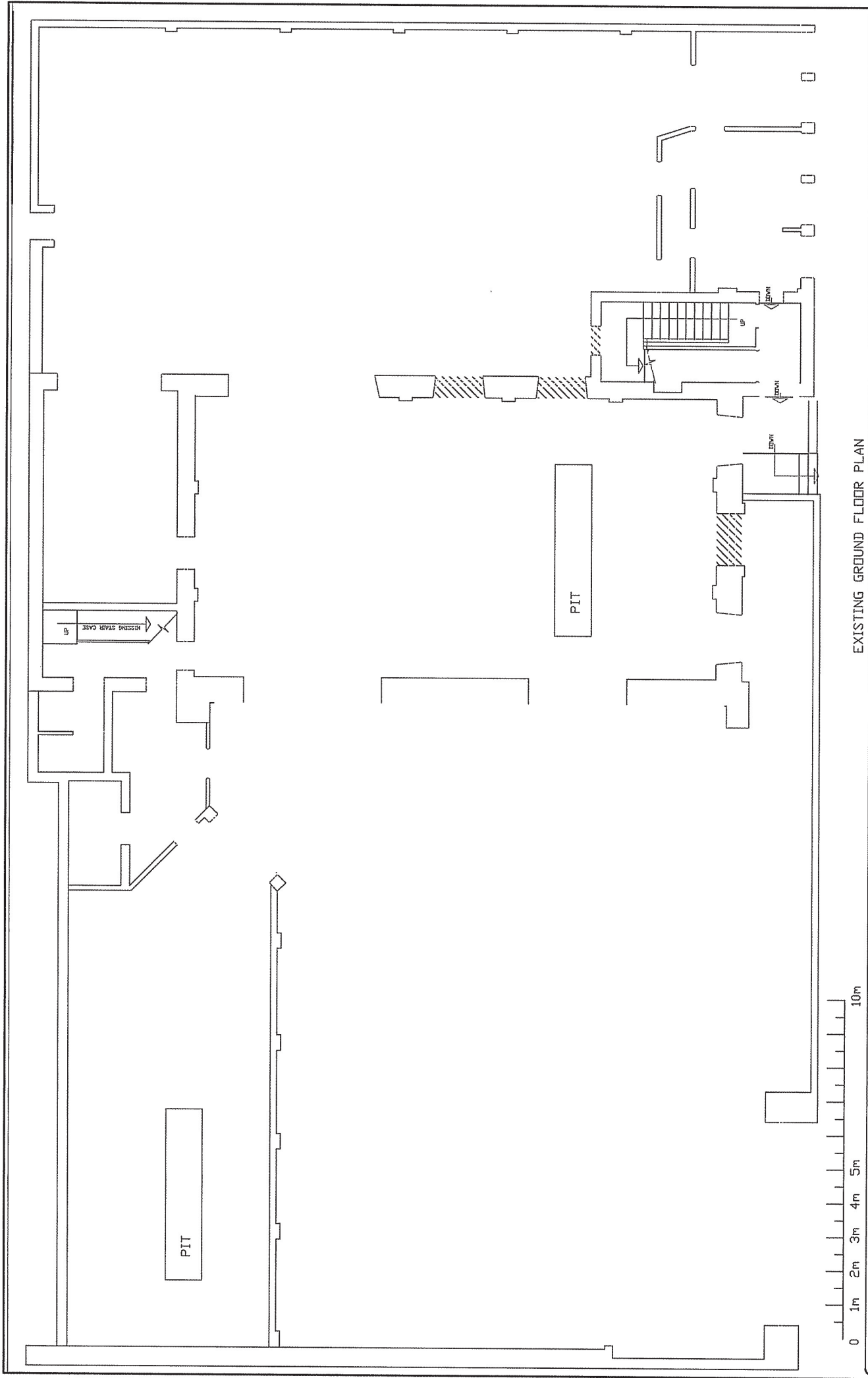
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Sheet Size: A3

Dwg No: 2 of 11





EXISTING GROUND FLOOR PLAN

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALE.
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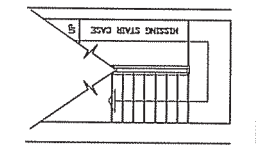
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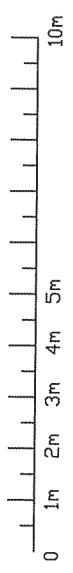
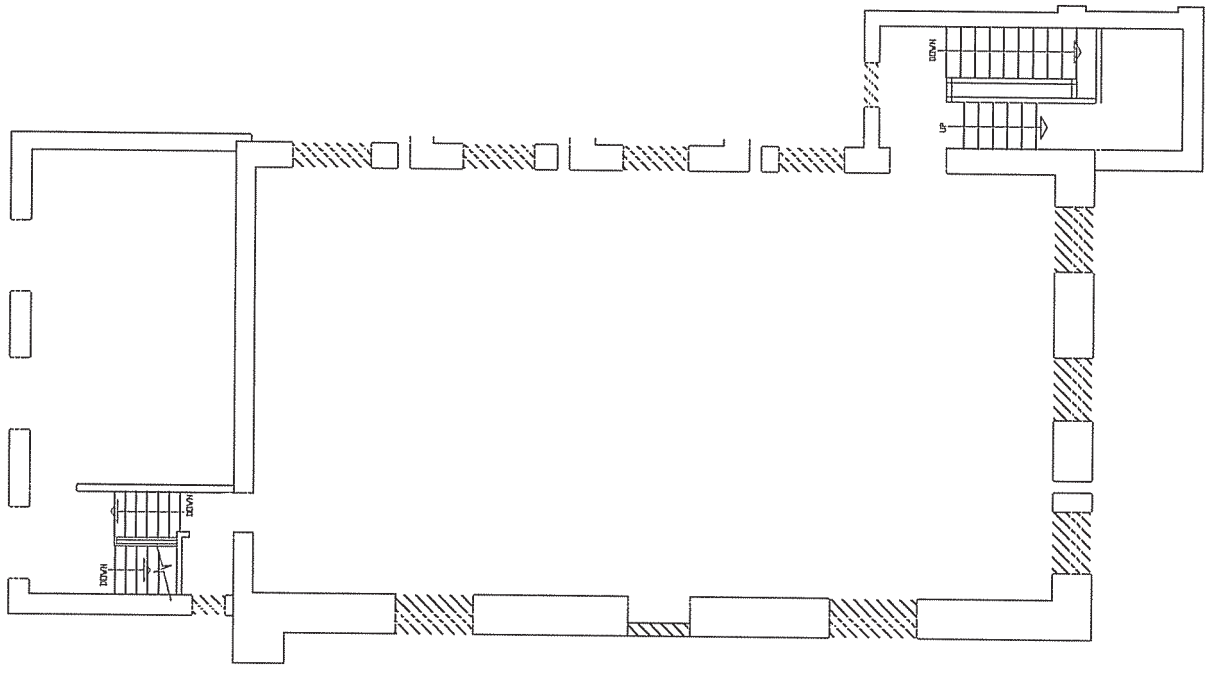
Ian Farmer Associates
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Date: 12.09.06
 Scale: 1:100
 Sheet Size: A3
 Dwg No: 3 of 11

Title: GROUND FLOOR
 Project:
 EXISTING DRAWINGS OF
 12-14 VILLIERS ST
 SUNDERLAND
 TYNE/WEAR
 SR1 1HA



REAR STAIRCASE INTERMEDIATE LEVEL

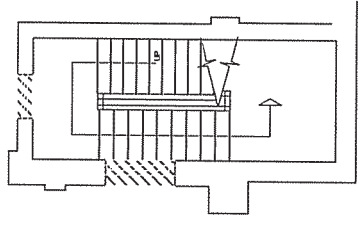


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EXISTING FIRST FLOOR PLAN

FRONT STAIRCASE INTERMEDIATE LEVEL



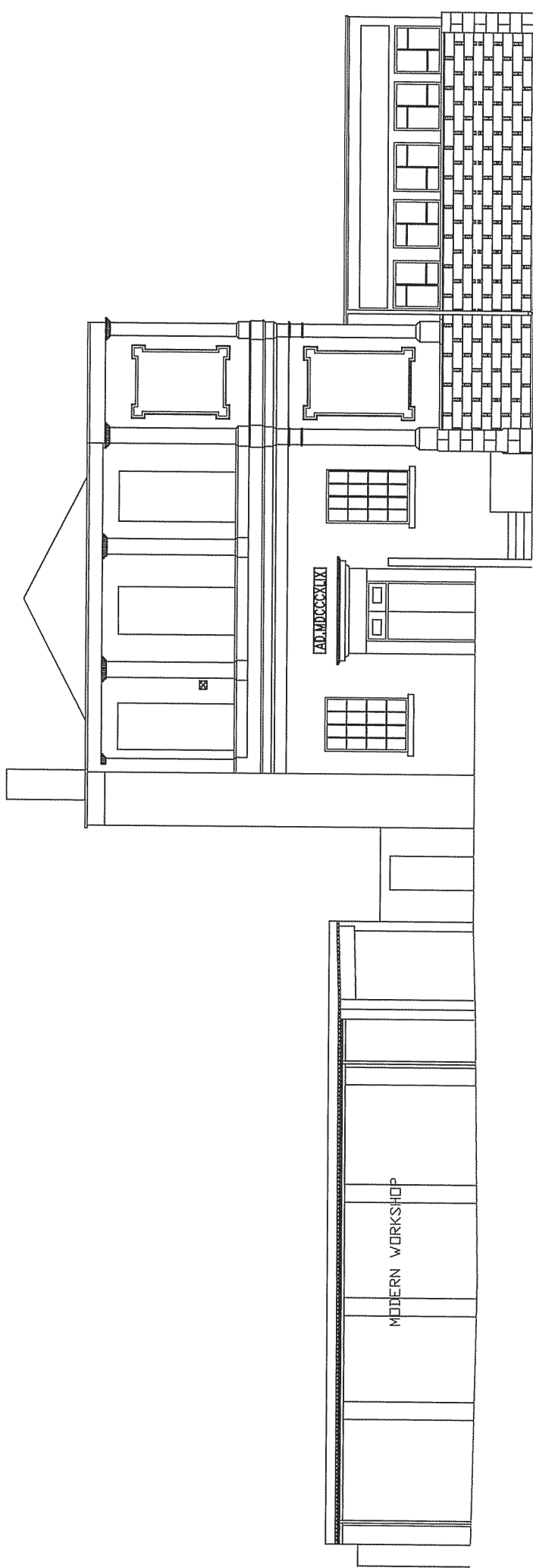
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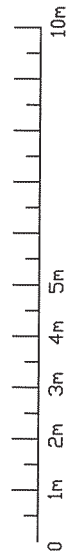
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Title: FIRST FLOOR
Project: EXISTING DRAWINGS OF 12-14 VILLIERS ST SUNDERLAND TYNEWEAR SR1 1HA

Notes:



EAST ELEVATION



Notes:



BRICK TYPE 1



STONE TYPE 1



BRICK TYPE 2



STONE TYPE 2



BRICK TYPE 3



STONE TYPE 3

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALE.

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E-Mail: ianfarmerassociates.co.uk

Date: 12.09.06

Scale: 1:100

Sheet Size: A3

Dwg No: 5 of 11

Title: EAST ELEVATION

Project:

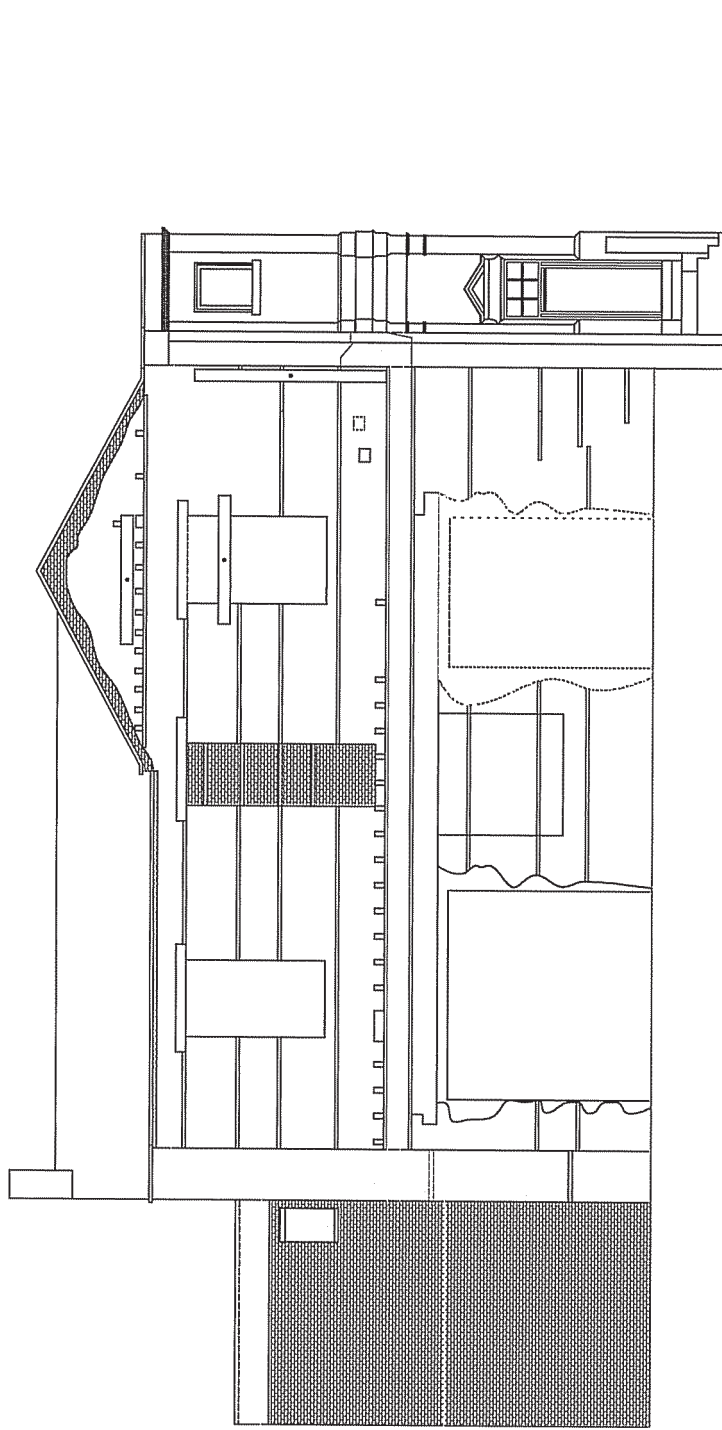
EXISTING DRAWINGS OF

12-14 VILLIERS ST

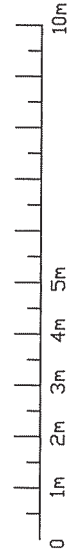
SUNDERLAND

TYNEWEAR

SR1 1HA



SOUTH ELEVATION



Notes:



BRICK TYPE 1



STONE TYPE 1



BRICK TYPE 2



STONE TYPE 2



BRICK TYPE 3



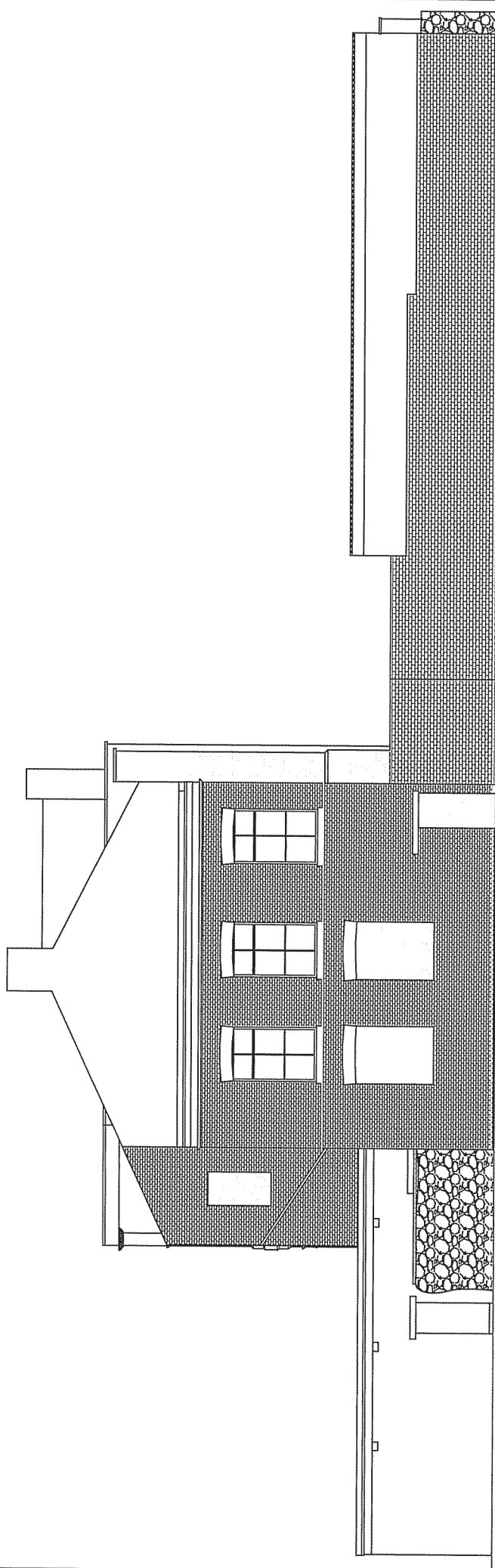
STONE TYPE 3

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ANY DISCREPANCIES MUST BE REPORTED.
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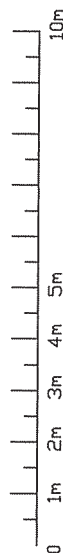
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Date: 12.09.06
Scale: 1:100
Sheet Size: A3
Dwg No: 6 of 11

Title: SOUTH ELEVATION
Project: EXISTING DRAWINGS OF 12-14 VILLIERS ST SUNDERLAND TYNEWEAR SR1 1HA



WEST ELEVATION



Notes:



BRICK TYPE 1



STONE TYPE 1



BRICK TYPE 2



STONE TYPE 2



BRICK TYPE 3



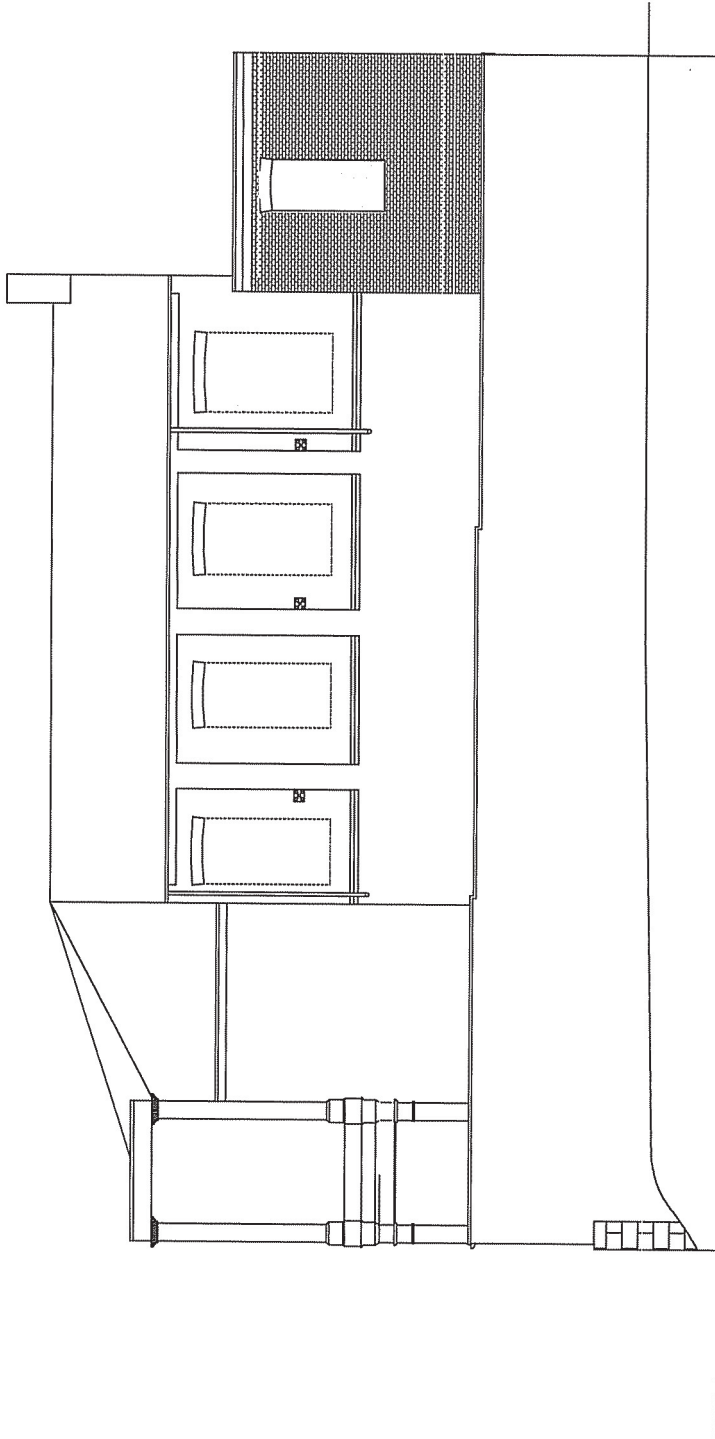
STONE TYPE 3

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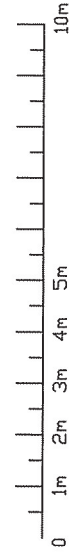
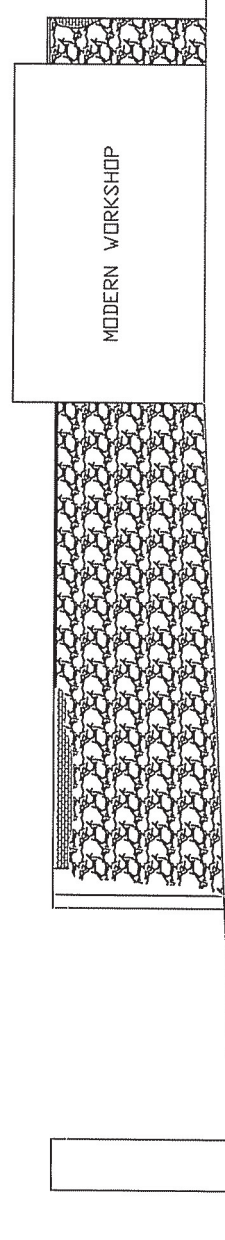
Ian Farmer Associates
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Date: 12.09.06
Scale: 1:100
Sheet Size: A3
Dwg No: 7 of 11

Title: WEST ELEVATION
Project:
EXISTING DRAWINGS OF
12-14 VILLIERS ST
SUNDERLAND
TYNE/WEAR
SR1 1HA



NORTH ELEVATION



NORTH ELEVATION OF SOUTH BOUNDARY WALL

Notes:



BRICK TYPE 1



STONE TYPE 1



BRICK TYPE 2



STONE TYPE 2



BRICK TYPE 3



STONE TYPE 3

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALE.
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Date: 12.08.06

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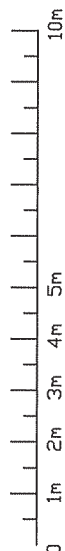
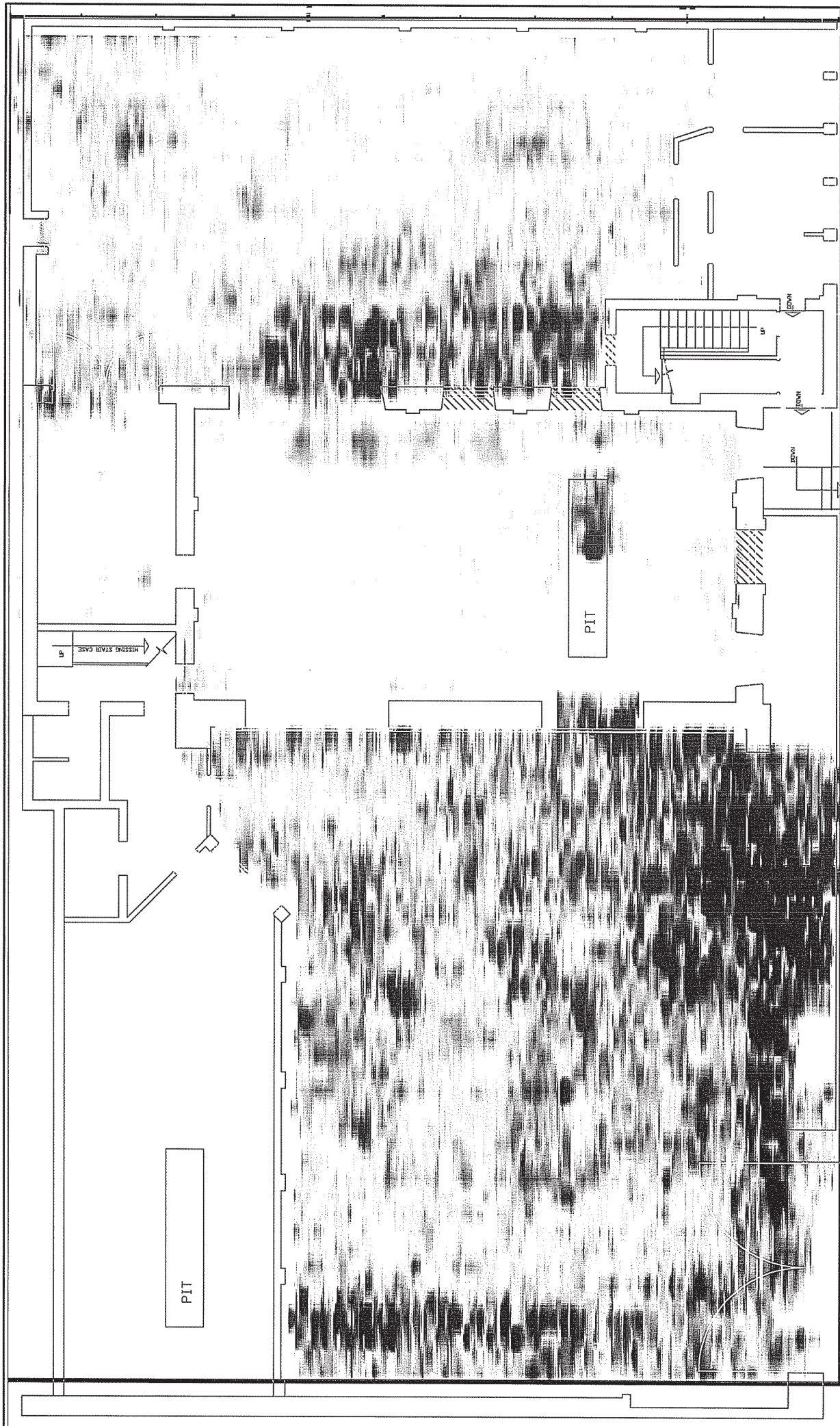
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EXISTING DRAWINGS OF

12-14 VILLIERS ST

SUNDERLAND

TYNE/WEAR

SR1 1HA



Notes:

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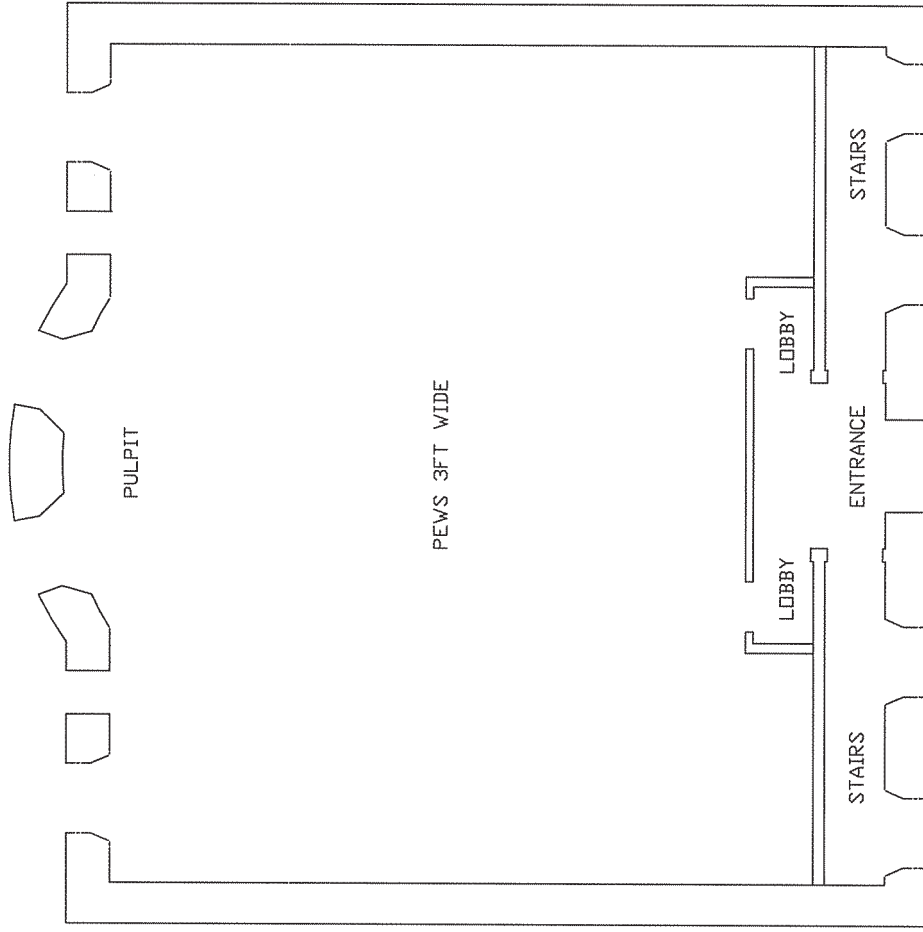
EXISTING GROUND FLOOR PLAN

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALE.
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Date: 12.09.06
Scale: 1:100
Sheet Size: A3
Dwg No: 9 of 11

Title: GPS AT 20ms OVERLAY OVER
Project: GROUND FLOOR
Project: EXISTING DRAWINGS OF
12-14 VILLIERS ST
SUNDERLAND
TYNE/WEAR
SR1 1HA



Notes:



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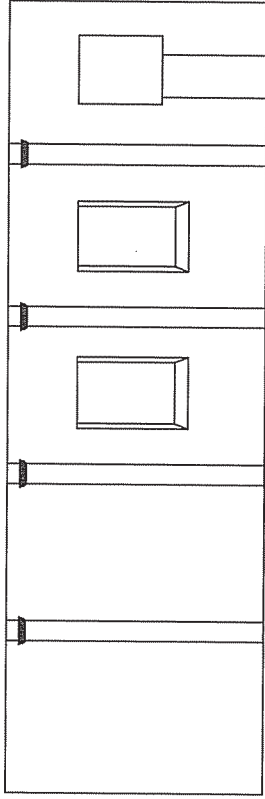


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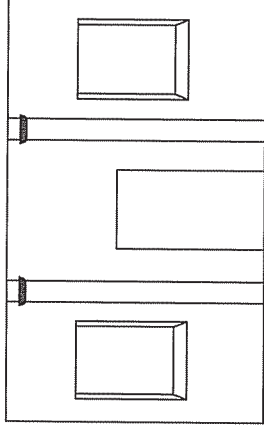
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Tel: 0191 462 6500
E-Mail: revcustip@ianfarmerassociates.co.uk

Date: 12.09.06
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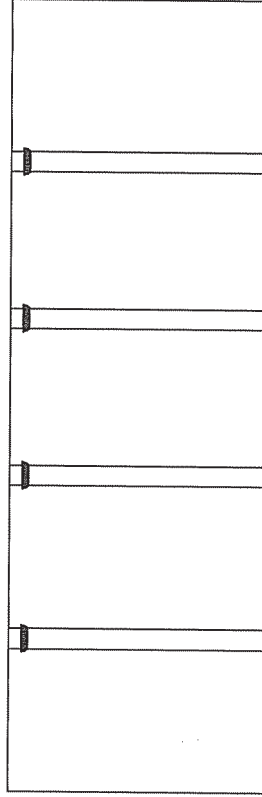
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EXISTING DRAWINGS OF
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SUNDERLAND
TYNE/WEAR
SR1 1HA



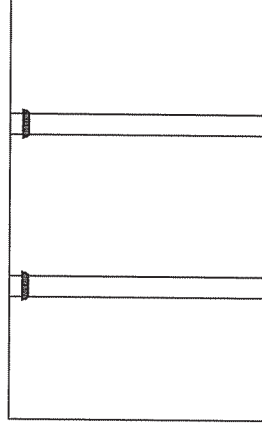
NORTH INTERNAL ELEVATION



EAST INTERNAL ELEVATION



SOUTH INTERNAL ELEVATION



WEST INTERNAL ELEVATION

Notes:

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Date: 12.05.06
Scale: 1:100
Sheet Size: A3
Dwg No: 11 of 11

Title: INTERNAL ELEVATIONS
Project:
EXISTING DRAWINGS OF
12-14 VILLIERS ST
SUNDERLAND
TYNE/WEAR
SR1 1HA

APPENDIX 3

OASIS