



PEABODY AVENUE
Pimlico
London SW1

City of Westminster

An archaeological Standing Building Report

January 2009

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Project Manager	Gordon Malcolm
Authors	Michael Tetreau Andrew Westman
Graphics	Sandra Rowntree

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Mortimer Wheeler House, 46 Eagle Wharf Road, London N1 7ED
tel 020 7410 2200 fax 020 7410 2201
molas@museumoflondon.org.uk
www.museumoflondonarchaeology.org.uk

SUMMARY

Museum of London Archaeology was commissioned by Haworth Tompkins on behalf of the Peabody Trust to record standing buildings at the Pimlico Estate, Peabody Avenue, north of Grosvenor Road, London SW1. Portions of the estate, in a conservation area, were to be redeveloped and an archaeological building survey and subsequent report were required as a condition of the consented scheme. The main area of redevelopment is the southern end of Peabody Avenue, where two tenement blocks of the estate, Block X and Block Z, are to be demolished. The descriptive recording of these blocks constituted the primary aim of this archaeological exercise, with additional observations made as appropriate. On-site investigation took place in October 2008.

Documentary research indicates that construction of the 26 tenement blocks (Blocks A to Z) in Peabody Avenue was started in 1874, with Blocks X and Z probably erected in the mid to late 1870s. In 1875, HA Darbishire, the architect of the Pimlico Estate and of a number of other Peabody Trust estates, presented a paper during the Ordinary General Meeting of the Royal Institute of British Architects, discussing the design of the first 12 blocks at Pimlico. The publication of this paper included a representative ground-floor plan of one of these 12 blocks. Comparison of Darbishire's paper and original plan and of Blocks X and Z as constructed has brought to light differences, indicating that the design of the blocks had evolved from the original concept. It is probable that the construction of the 26 blocks in Peabody Avenue proceeded in two consecutive phases, beginning with the first 12 blocks between 1874 and 1876 and continuing with a further 14 blocks in 1876 or shortly thereafter.

Peabody Avenue was bombed during the Second World War (1939–45), leading to the demolition of Block Y, which originally filled the space between Blocks X and Z. Block Z is now isolated and the site of Block Y has been made into a Memorial Garden. Both Blocks X and Z were also damaged by bombing and have been repaired. At the time of this repair, or later, the interior of the ground floor of Block X was reconfigured to create two studio flats – one on either side of the building – with their own, separate entrances. This entailed the insertion of a door on the eastern elevation north of the main entrance, and another door on the southern elevation near the south-east corner of the structure. Either at the same time or later, a small block was added on the southern side of the building to provide a porch and vestibule for the entrance to the southern studio flat.

Unlike all the other blocks, Block Z has both its end elevations (north and south) exposed, and has no additional entrances inserted into its façade, while Block X has one of the inserted entranceways, with a vestibule and porch, on an exposed end elevation rather than in its façade.

At the time of investigation, Block Z was still in residential use, but Block X had been abandoned except for the southern studio flat (accessible via its porch and vestibule), which served as a site attendants' office.

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Fig 1 The Pimlico Estate (Peabody Trust), Peabody Avenue and Peabody Close

Fig 2 The Pimlico Estate boundary and the areas of proposed development (drawing number 0605/ L(0)000, 'Existing site plan showing items for demolition and removal', revision D, February 2007, copyright of Haworth Tompkins)

*Fig 3 Main area of removals, with plan of ground-floor interiors as supplied by Haworth Tompkins (drawing number 0605/ L(0)001, 'Existing Site Plan', revision B, July 2007, copyright of Haworth Tompkins). **Note:** the plans of Blocks X and Z have errors as explained in this report (see Chapters 2 and 3).*

Fig 4 Detail of the 1869 Ordnance Survey 1:2500 map, London sheet LIV

Fig 5 Detail of the 1894–1896 Ordnance Survey 1:2500 map, London sheet LXXXVIII / Middlesex sheet XXII. I.

Fig 6 Detail of the 1916 Edition (survey revised in 1913) Ordnance Survey 1:2500 map, London sheet IX.1

Fig 7 Architect's representative plan, Peabody Avenue buildings, Pimlico Estate, 1875 (Darbishire 1876)

Fig 8 Looking north-west at the paving where the south end of Peabody Avenue meets Turpentine Lane. Note the scars of a former double-leaf gate (posts on either side and central scar where the two leaves of the gate would meet when closed).

Fig 9 Looking north, up Turpentine Lane, toward Peabody Avenue. Block 3 is the first building on the left and Block Z is the second (beyond Block 3).

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Fig 11 Looking north along Peabody Avenue, with Block X on the left side of the view

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Fig 16 Looking south-east from the north end of the alley behind the western range of the Pimlico Estate. The present City Guardian's office is in the centre of the view, with the northern elevation of Block N above it. The backs (western elevations) of the western range extend southward in the view.

Fig 17 Looking south toward Block 3 from the alley behind the western range of the Pimlico Estate. Block X is the structure on the left in front of the trees.

Fig 18 Looking north toward the alley behind the western range of the Pimlico Estate. Block X is the structure on the left beyond the trees.

Fig 19 Looking north-west toward the small, brick boiler house at the western edge of the estate

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Fig 28 Looking down and westward toward the ground floor vestibule from the halfspace landing on the stairs to the first floor, Block X

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Fig 35 Looking west through the main entrance into Block Z

Fig 36 Drawn plan of 4th floor (top floor) of Block X

Fig 37 Client-supplied elevation drawings of Blocks X and Z (drawing number 0605/L(0)030, 'Existing elevations Blocks X and Z', revision I, December 2007, copyright of Haworth Tompkins). Note: a chimney stack has been left out of the drawings of both Block X and Block Z, specifically, a stack (with long axis aligned north–south) on the western slope of the roof, just below the ridge, in the centre of each building.

1 Introduction

1.1 Site background

The Peabody Trust's Pimlico Estate at Peabody Avenue and Peabody Close, north of Grosvenor Road in the City of Westminster, London SW1, comprises 25 tenement blocks with ancillary structures (Fig 1). This archaeological survey of selected buildings on the estate has been carried out in advance of proposed demolition and redevelopment of portions of the Pimlico Estate (Fig 2). The Ordnance Survey national grid reference of the approximate centre of the main demolition area, near the southern end of Peabody Avenue, is 528820 178070. The Museum of London site code is PBA08.

The southern end of the Pimlico Estate features three tenement blocks arranged within an area called Peabody Close, bounded on the west by railway land, on the south by Grosvenor Road, and on the east by Lupus Street and Turpentine Lane. The Close is accessible through a gate on Lupus Street.

North of Peabody Close, the majority of the estate is bounded on the west by railway land, on the east by Turpentine Lane, and on the north by the Ebury Bridge Centre. The tenement blocks in this area are laid out in two long, north-south ranges flanking Peabody Avenue, which extends north from Turpentine Lane near Peabody Close and which terminates at the northern limit of the estate. Peabody Avenue is accessible from both the north and south via gateways in Turpentine Lane.

The individual tenement blocks of the two long ranges of buildings flanking Peabody Avenue are designated as Blocks A to Z, with the eastern range originally comprising Blocks A (in the north) to M (in the south) and the western range originally comprising Blocks N (in the north) to Z (in the south). Blocks K, L, M, and Y no longer exist and have been replaced by a children's play area, ball court, garages, and Memorial Garden. Proposed development will entail the demolition of two of the present tenement blocks: Block X, in the north-west portion of the main area of demolition, and Block Z, in the south-west portion of the main area of demolition, (Fig 3).

1.2 Planning background

Proposed development (see Fig 2) will entail substantial demolition and redevelopment of the southern quarter of the Peabody Avenue portion of the estate, plus demolition of a section of wall on the north-west side of Lupus Street, where Turpentine Lane rounds the south-east corner of the estate property; removal of two additional maple trees; demolition of a portion of the estate's north-eastern boundary wall on Turpentine Lane; and alterations to a structure presently housing a City Guardians' office (at the northern end of the range of buildings on the west side of Peabody Avenue).

With regard to the southern quarter of the Peabody Avenue portion of the estate (Fig 3), proposed work prior to redevelopment will include demolition of the following: two tenement blocks (Blocks X and Z) on the west side of Peabody Avenue; pram sheds and a small, brick 'boiler house' (so called by Haworth Tompkins) at the western edge of the estate; garages in the south-east corner of the estate (the former site of Blocks L and M); fencing and the gate where Peabody Avenue joins Turpentine Lane; walls, railings and gates bounding Turpentine Lane; all trees; a Memorial Garden with its fencing (the former site of Block Y); a ball court with its fencing (the former site of Blocks K and L); and a children's play area with its fencing (the former site of Block K).

The legislative and planning framework in which the archaeological exercise took place was summarised in a method statement that formed the project design for the survey (MoLAS 2008a).

The investigated buildings are not statutorily listed as buildings of special architectural or historic interest, but they are in Peabody Avenue Conservation Area, as designated by the City of Westminster.

On 10 April 2008, the City of Westminster granted planning consent (08/00199/FULL) and conservation area consent (08/00200/CAC) for the proposed redevelopment of the Pimlico Estate in Peabody Avenue, subject to several conditions. One of these conditions (Condition 30) is as follows (City of Westminster 2008):

- (a) You [i.e. the planning applicant] must apply to us [i.e. the local planning authority] for approval of a written scheme of investigation for a programme of archaeological work, which shall include a programme of historic building recording prior to demolition in accordance with English Heritage guidelines (2006) and comprise of [sic] a Level 1–2 record. This must include details of the suitably qualified person or organisation that will carry out the archaeological work. You must not start work until we have approved what you have sent us.
 - (b) You must then carry out the archaeological work and development according to this approved scheme. You must produce a written report of the investigation and findings, showing that you have carried out the archaeological work and development according to the approved scheme. You must send copies of the written report of the investigation and findings to us, to English Heritage and to the Greater London Sites and Monuments Record...
 - (c) You must not use any part of the new building until we have confirmed that you have carried out the archaeological fieldwork and development according to this approved scheme...
- 'Reason: To avoid damage to any archaeological remains on site as set out in Planning Policy Guidance Note 16, and STRA 29 and DES 11 of our Unitary Development Plan that we adopted in January 2007....'

1.3 Origin and scope of this report

The archaeological work of recording, and the production of this report, were commissioned from the Museum of London Archaeology Service (MoLAS, now Museum of London Archaeology) by Haworth Tompkins, and the work was carried out in accordance with a method statement (MoLAS 2008a).

This report has been prepared within the terms of the relevant standards specified by the Institute of Field Archaeologists (IFA 2001) and corresponds approximately to the form of record and reporting at 'Level 1' and 'Level 2' (ie, a 'descriptive record') in English Heritage specifications, *Understanding Historic Buildings; a guide to good recording practice* (EH 2006). The main focus of this archaeological exercise was to create a descriptive record of the two tenement blocks – Block X and Block Z – for which demolition has been proposed, together with a more general visual record of the main area of demolition at the southern end of Peabody Avenue. This has been augmented where relevant by additional description of other portions of the estate that are situated within areas where redevelopment work is proposed as part of the same redevelopment plan.

This report presents the results of a descriptive survey carried out on the site on 17 October 2008, combined with the available results of brief documentary research. Within the limitations imposed by dealing with historical material and maps, the information in this document is, to the best knowledge of the authors and of Museum of London Archaeology (MOL Archaeology), correct at the time of writing. Further investigation, more information about the nature of the building or more detailed proposals for redevelopment may require changes to all or parts of the document.

1.4 Research aims and method of work

The research aims of this archaeological work were defined in the method statement (MoLAS 2008a), in consultation with English Heritage and in conformity with applicable planning policies and English Heritage guidelines (Archaeological Guidance Paper No. 3, revised June 1998). The proposed archaeological work was limited to the standing buildings and entailed the following four main components:

- Investigating the existing buildings and making an archaeological record of them in their present condition, by means of photography and surveying, accompanied by explanatory notes. This record was to contain and display evidence for the construction, development and function of the buildings.
- Carry out a brief survey of documentary sources for the history and use of the buildings, and extract relevant information to provide a background to them, date their construction and explain their subsequent development.
- Report the results in a suitable form.
- Archive the records.

The overall aim of the programme of work was to secure 'preservation by record' of those aspects of the standing buildings that were of architectural, archaeological and historical interest. The focus of the work was the two tenement blocks for which demolition has been proposed: Block X and Block Z on the west side of Peabody Avenue.

All archaeological recording during the investigation on site was done in accordance with the method statement (MoLAS 2008) and MoLAS *Health and safety policy* (2008b). Archaeological survey of the standing buildings was undertaken in October 2008, with the overall aim of preparing a basic visual record of all areas of proposed redevelopment, augmented by a descriptive record of the two tenement blocks (Blocks X and Z) that are to be demolished. At the time of investigation, the basement of Block X was inaccessible, as was that block's ground floor, with the exception of the stairway to the first floor. Block Z was occupied and fully furnished at the time of investigation and the flats were not entered.

Two roughly-dimensioned, hand-drawn plan sketches were made during the visit to the fourth floor (top floor) of Block X. Based on these sketches made on site, a composite hand-drawn plan has been prepared to better illustrate the arrangement of the interior of a representative upper storey of Block X (Fig 36).

Client-supplied elevation drawings and ground-floor plans of Blocks X and Z are included herein as Figures 3 and 37, and small inaccuracies have been noted (see below, 3.2.1 and 3.2.2).

1.5 Organisation of this report and conventions used

Chapter 2 of this report presents the results of brief documentary research to fulfil the research aims described in Chapter 1.4, above. Chapter 3 presents the results of one archaeological survey, with reference to the photographs and drawings that have been reproduced in this report. The photographs reproduced herein comprise a basic visual record of the areas of proposed demolition and removals (see Figs 9–21) together with additional views of the two tenement blocks (Blocks X and Z) that are to be demolished (see Figs 22–35). Chapter 4 presents concluding remarks and describes the archival deposition of the standing-building record.

In this report, the buildings in Peabody Avenue are referred to by letter, as they are on the ground, and those around Peabody Close have been numbered as Blocks 1, 2, and 3 (see Fig 3). The main area of demolition and removals is, in part, bounded on the south by Block 3.

2 Historical background and development of the standing buildings

2.1 Construction of the estate

The 1869 Ordnance Survey map (see Fig 4) shows a saw mill and 'Thames Bank House' on the site that would soon become the Peabody Estate in Pimlico. Turpentine Lane is also shown, with several long narrow buildings along its west side on what is now the estate property. The Peabody Avenue estates were built in the mid 1870s as philanthropic housing for the working poor.

Urban growth was not a sudden or new phenomenon in the early-to-mid-19th century, but the cholera outbreaks of the 1830s and 1840s forcefully demonstrated that existing housing, infrastructure, public health measures and local building regulations were inadequate; a crisis point had been reached (Dixon and Muthesius 1978, 72; Tarn 1971, 1). The burgeoning urban reform movement of the mid 19th century linked housing and health, believing that overcrowding and unsanitary conditions should be the first goals of progress. The reformers of the period believed that open space, natural light, fresh air and good ventilation, ready supplies of fresh water, and new, water-flushed sewers were required to restore the health of the urban population (Tarn 1971, 2).

Among other attempts to address the problem of housing for the poor, there was the establishment of a philanthropic trust, in 1862, by George Peabody, a wealthy American who had settled in Britain (Dixon and Muthesius 1978, 72). According to Henry Astley Darbishire, the architect hired by the trustees, it was determined that the Peabody fund could do the most good if it was used to finance the construction of new dwellings for those of the working poor who were earning the lowest wages (Darbishire 1876, 47). The Pimlico Estate was one of several Peabody projects designed by Darbishire, who had earlier designed philanthropic housing in Bethnal Green (Columbia Square, 1857–60) for Miss Angela Georgina Burdett-Coutts (later, Baroness Burdett-Coutts) (Curl 2006, 225; Dixon and Muthesius 1978, 256).

In a recent archaeological assessment report by CgMs consulting, Angus Stephenson states that the Peabody trustees 'decided to purchase the land for Peabody Avenue in May 1873 and the purchase was completed in February 1874' (Stephenson 2000, 15). Stephenson (2000, 15) further states that, 'The design was changed several times but the basic scheme remained the same, to have two terraces of four or five storey residential blocks facing each other across a pedestrian precinct.' This summary of the planning for the Pimlico Estate is somewhat at odds with statements made by the architect, H A Darbishire, during the course of construction.

In a paper presented at the Ordinary General Meeting of the Royal Institute of British Architects on 13 December 1875, Darbishire described in detail both the specifics of the Pimlico project and his design rationale, which had been evolving over the course of his involvement in the philanthropic housing movement. Darbishire (1876, 48) himself refers to the dwellings as being constructed in 'Grosvenor Row, Pimlico', but this appears to be an erroneous reference to Grosvenor Road (given the proximity of Peabody Avenue to Grosvenor Road, and the lack of any evidence for Peabody dwellings having been constructed on a Grosvenor Row – a name formerly used for part of what is now Pimlico Road, to the north-west of the estate, near the present border with the Royal Borough of Kensington and Chelsea).

In his paper, Darbishire (1876, 48–9) stated that the project – which he said was almost completed – entailed the construction of 12 blocks, each of which was originally intended to be five storeys tall, but all of which had to be reduced to four storeys to address

'difficulties of a local character'. Rather than to any other considerations of height, these difficulties may have related to the load-bearing capabilities of the local ground and may have been a result of the former use of the Peabody Avenue site for the Chelsea Waterworks (City of Westminster, n.d.). The individual blocks were free-standing but abutting, and are described by Darbishire as having windows only on their long faces. As noted in Chapter 3, below, the northern end blocks of the present Pimlico Estate at Peabody Avenue have been decorated more elaborately than the rest of the blocks of the eastern and western ranges. This probably represents a change in design during the course of construction.

The City of Westminster's General Information Leaflet for the Peabody Avenue conservation area states that work on the Peabody Avenue ranges 'was completed by the late 1870's', and that the three blocks of Peabody Close 'were added as a separate phase of development in the 1880's' (City of Westminster, n.d.). Bradley and Pevsner (2003, 778) give the construction dates of the Peabody Avenue ranges as 1874–76 and state that the Peabody Close blocks were built in 1887.

The 1894 1:2500 Ordnance Survey map (Fig 5) is the first to show the Pimlico Estate after the construction of all of the tenement blocks, but apparently before the construction of ancillary structures such as the small, brick 'boiler house'. It has not been possible to independently confirm Haworth Tompkins' identification of this building as a boiler house; however, there does not appear to be any reason to doubt that this identification is correct. Ancillary structures are shown on the 1916 edition 1:2500 Ordnance Survey map (survey actually revised in 1913, see Fig 6), including a small rectangular structure that is probably the boiler house to the west of Block Z (the southernmost block of the western range) and north of Block 3 (the northernmost block around Peabody Close), at the southern end of a long, narrow structure that is in approximately the same location as the present pram sheds. It is possible that some portion of the present pram shed structure at this location is a remnant of the earlier building, specifically perhaps the southern brick end wall of the southern portion (behind Block Z and the former Block Y) of the shed range (which was not examined in detail during the site visit) (see Fig 18 and Fig 19).

The blocks on either side of Peabody Avenue are identified by letter in alphabetical order from north to south, 'A' to 'M' originally on the east side and 'N' to 'Z' on the west side. The eastern range of the Peabody Avenue buildings is, indeed, four storeys in height, but the western range, with the exception of its outermost northern and southern blocks, is on five storeys. As Darbishire himself makes clear (Darbishire 1876, 48–9), five storeys was the preferred height for Peabody blocks. With regard to the two blocks addressed in more detail by this assessment, Block X is of five storeys and Block Z, the southernmost block of the western range, is on four storeys.

Based on the above discussion, it seems probable that the initial phase of construction entailed the building of 12 of the 13 blocks of the eastern range, perhaps Blocks B to M if one considers the decorative treatment of Block A – which matches that of Block N – to have post-dated Darbishire's December 1875 paper (wherein he does not mention any of the embellishments of Blocks A and N). This initial phase seems to have begun in 1874 and continued at least until December 1875, probably having been completed in 1876.

The second phase of construction seems to have entailed the erection of the 13th block on the east side of Peabody Avenue and all 13 blocks on the west side of Peabody Avenue. As noted, this phase may have been completed by 1876 or may have been undertaken at some time shortly thereafter. It is unclear why it was possible to build in five storeys on the west side of Peabody Avenue, when it had apparently not been possible for the eastern range. It is also uncertain whether the decision to frame the western range with four-storey blocks (Block N to the north and Block Z to the south) was a purely aesthetic consideration or whether this related to expenditure concerns or such 'local difficulties' as affected the eastern range.

Each of the blocks along Peabody Avenue is identified by a large wrought-iron letter placed over the main entrance (see Fig 26, Fig 29 and Fig 35). The style of lettering is

typical of display type-faces of about the 1870s and there is no reason to doubt that these letters are original, and therefore that identifying the blocks by letter was original, too.

A third and very distinct phase of construction was the building of the Peabody Close blocks in the 1880s, followed by a fourth phase of construction of ancillary structures at some time between 1894 and 1913. This fourth phase probably included the construction of the brick boiler house and also entailed the addition of a small structure against the northern elevation of Block N. As shown in Figure 6, this structure is smaller than the present City Guardians' office (Fig 2) and therefore must have been replaced or redeveloped at some time after 1913. Based on similarities of ornament, it seems probable that the boundary wall and gate at the north-eastern corner of the Pimlico Estate are contemporaneous with the first two phases of Peabody Avenue construction.

Darbishire's 1875 paper is a valuable source of information regarding the construction of Peabody Avenue. Figure 7 shows a representative ground-floor plan of the Pimlico buildings, presented, along with the text of Darbishire's 1875 paper, in the 1875–76 *Sessional Papers of the Royal Institute of British Architects* (Darbishire 1876).

Among many other specifics given about the Pimlico buildings, Darbishire stated the following (bearing in mind that he was referring to a five-storey plan simply because that was his originally-proposed and preferred design, although he acknowledged that the buildings in progress in Pimlico at the time were to be only of four storeys):

Each story contains ten living and bed rooms, so that each block contains fifty of these rooms. They are placed together for the purpose of composing dwellings of various sizes, without rendering any structural alteration necessary, and so that any increase or reduction of their accommodation may be effected by simply opening or closing doorways in the division walls. As there are twelve blocks, the whole group of buildings contains 600 rooms capable of this arrangement, and forming 250 dwellings, viz. :—10 dwellings of four rooms, 102 dwellings of three rooms, 116 dwellings of two rooms, and 22 dwellings of one room. All the blocks, with but one exception, are of the dimensions given above; this exceptional block is 3 ft. 6 inches longer than the others, to admit of certain bed rooms being converted into single tenements if required....

(Darbishire 1876, 49)

The end walls of the blocks are entirely plain; that is, they have neither projections nor windows. The back walls have, of course, windows, but they have no projections beyond the general face, and though the front walls have a projection in their centre, it is only sufficient to deprive the elevation of baldness, and is not enough to make any alteration necessary in the position of the scaffolding while the buildings are in progress.

(Darbishire 1876, 52)

The laundry is reached through the sculleries. It ... contains two washing tubs for washing and rinsing the clothes, a ten gallon copper for boiling, and a Bradford wringing machine

(Darbishire 1876, 52)

The dust cellar, which, as we have observed, is the only basemented part of the building, is immediately under the ground-floor laundry. It is only accessible from the outside, so that when it is required to be emptied it may cause no annoyance or inconvenience to the tenants. The dust is conveyed to it from each floor by a flue ... extending from ... above the cellar floor to a hooded ventilator in the roof. An iron hopper is fixed in the centre of the passage leading to the dwellings on each story, which communicates with the flue shaft by means of a lifting flap flush with the paving.

(Darbishire 1876, 52)

Water is supplied to the building by a rising main, which feeds the two cisterns in the roof over the sculleries [ie, one cistern over the sculleries to one side of the central corridor, and another over those on the other side]. ... The cisterns are of

slate, and contain together 700 gallons of water, allowing for 40 gallons for the use of each family, which is sufficient for washing and all other purposes. (Darbishire 1876, 52)

Baths were formerly provided in all the blocks [ie, on other Peabody estates], but ... only two rooms in two separate blocks have been appropriated in the present buildings [ie, the first 12 blocks of the Pimlico estate] for this purpose, and these are situated close to the quarters of the superintendent and the porter, so that they may come under their direct supervision and management. (Darbishire 1876, 52)

Owing to the frequency of defective foundations on the sites which are selected for buildings of this class, and the absence of opportunity to make the necessary excavations available for the purposes of the dwellings, in cases where these have been carried to a great depth, the superstructure above the ground line has been built on arches, turned in three and four half brick rims in cement, between massive piers of concrete, brought up from a solid bed of maiden earth, whose position on plan corresponds with the wall spaces of the work above. By this arrangement a considerable saving is effected in the cost, and the stability of the building remains secure. (Darbishire 1876, 53)

All the walls and partitions between the rooms are brick. (Darbishire 1876, 53)

It should be noted that the 'dust' flues described by Darbishire (1876, 52) were intended to convey only household dust (undoubtedly including floor sweepings) and ashes to the cellar, rather than general rubbish as understood today. There would have been a considerable quantity of such 'dust', given the number of living rooms and the fact that each living room was provided with a fireplace. The arrangement of the rooms and their fireplaces also dictated the arrangement of the chimneys, with an additional, central chimney needed for the furnaces of the coppers in the laundry rooms. From Darbishire's discussion, it appears that there was a laundry room between the sculleries on each floor of the blocks (with the exception of the basement).

With regard to the above-quoted decision to severely limit the number of bath rooms, Darbishire's stated reasons include the desire to economise on construction and maintenance costs (exacerbated by 'the carelessness and extravagance of the tenants'), and the (seemingly contradictory) observation that they were 'seldom used, except in very hot weather, and then, chiefly by young men and boys, who made playthings of the fittings...' (Darbishire 1876, 52). The bath rooms, as well as the sculleries (both sinks and water-closets) and laundry rooms (washing tubs and coppers), were supplied with water from the cisterns in the roof.

Darbishire also stated that the typical return on the Peabody trustees' investments was about five percent only if the investment was calculated based solely on the cost of the buildings. He did not include in his calculation the cost of 'site, surface and main-drainage, boundary fences, and works connected with the adjacent open spaces and play-grounds' (Darbishire 1876, 55).

2.2 Bomb damage and reconstruction

The Pimlico Estate was significantly affected by bombing during the Second World War (1939–45). Several high explosive bombs and two V1 flying bombs caused damage to the estate (Woolven and Saunders 2005, Map 88; Stephenson 2000, 15) and the London County Council's bomb damage maps give an indication of the effects. The original London bomb damage maps were compiled by the London County Council during the war and were based on the 1916 edition of the 1:2500 Ordnance Survey maps (the same series as that shown in Fig 6). Severity of damage is indicated by colour coding, but it

should be remembered that there was very limited guidance given to assessors and so damage assessment may have been inconsistent (Woolven and Saunders 2005, 1). The map also shows the location of V1 flying bomb strikes.

As shown on bomb damage map 88 (Woolven and Saunders 2005), a V1 flying bomb struck Block Y and another V1 struck what is now Lupus Street (formerly part of Westmoreland Terrace) near the junction of Lupus Street and Westmoreland Terrace, east of what was then Block L. According to this map, ten of the tenement blocks suffered significant damage, as follows (based on the colour assigned to each block):

- Block W: seriously damaged, but repairable at cost
- Block X: damaged beyond repair
- Block Y: total destruction
- Block Z: seriously damaged, but repairable at cost
- Block J: seriously damaged, but repairable at cost
- Block K: seriously damaged, but repairable at cost
- Block L: damaged beyond repair
- Block M: damaged beyond repair
- Block 2: at least 'seriously damaged, but repairable at cost' (shown as light red), but the southernmost portion of the building may be dark red, which would mean 'seriously damaged, doubtful if repairable)
- Block 1 (the southernmost block of Peabody Close): western half not significantly damaged, eastern half damaged beyond repair

Subsequently, Block W, Block X and Block Z were repaired and Block Y was demolished and replaced by the Memorial Garden. Block Z was thus distinguished as the only isolated block of the Peabody Avenue ranges, and Block X had a small porch and vestibule added on its now-exposed south side (see Fig 3). Block J was also repaired, while Blocks K, L, and M were demolished and replaced by the children's play area, the ball court, and the garages. Block 2 of Peabody Close was repaired; however, it seems that Block 1 (not examined during the site visit) was either mostly rebuilt or completely replaced. There is a structure in the location of Block 1 on present-day mapping (see Fig 1 and Fig 2), but it is not identified by Bradley and Pevsner (2003, 778) as having been part of the 19th-century Pimlico Estate development, and the City of Westminster's Peabody Avenue conservation area leaflet states that one of the buildings of Peabody Close was destroyed by Second World War bombing.

Presently, the majority of the Peabody Avenue blocks have three entrance doors: a main central door and two flanking doors, all on the Peabody Avenue façade. As shown in Figure 3, the side doors provide entry only to small, two-room studio flats (ie, flats with a combined living and sleeping room plus a separate kitchen room, in addition to the bathroom) on the ground floor. In contrast, neither Block J or Block X has a door in the southernmost portion of their façades (although Block X is erroneously shown as having such a door in Fig 3). In both buildings, the southern portion of the structure now forms the southern end of a range, whereas they formerly abutted blocks that were demolished after the war. In addition, the southern side of Block X – that is, the interior space which, in the majority of Peabody Avenue blocks, would constitute one of the small, studio flats accessible from outside – serves as the site attendants' office, accessible via the small vestibule and porch added onto the structure's south side. Exceptionally, Block Z has only the main, central entrance door (although it is erroneously shown as having three entrances in Fig 3). None of the side doors discussed here are shown on the 1875 plan reproduced as Figure 7.

The doors on either side of the main portals of the Peabody Avenue blocks, and the interior partitions that are behind them (directing access into the studio flats at the sides of the blocks) are probably alterations that were made during the post-war rebuilding or thereafter. The new doors have lintels rather than arches and generally seem to be unrelated to the fenestration and decorative lay-out of the façades. It is, however, noteworthy that Darbshire mentioned one block of the original 12 having been constructed on a slightly longer plan, 'to admit of certain bed rooms being converted into single tenements if required' (Darbshire 1876, 49). It is unclear whether any one of the blocks is, in fact, longer than the others, and it is unknown whether such a block was ever actually fitted out with single tenements during the initial phase of construction. It is possible that, by such tenements, Darbshire means something akin to the studio flats now present on either side of the majority of Peabody Avenue blocks, but he does not mention separate entrances. It would seem more in keeping with Darbshire's style to have converted a window opening into a door rather than to have built the entrances presently found on the blocks, especially given his explicit insistence on square corners in interior spaces (Darbshire 1876, 50; also throughout his writings generally).

The site attendants' office in the southern portion of Block X is laid out as one of the studio flats typically accessed from the eastern façade of the western range (via one of the more-recent doors discussed above). As noted above, there is no such door for this office, but there is the vestibule addition on the southern elevation. Given the configuration of the office, it seems probable that it was originally one of the studio flats, but that it was given the distinction of a southern entrance. The vestibule-and-porch addition may have been put on when the flat was constructed, or it may have been a later development. It is possible that the flat was originally designed for use as superintendent's accommodation.

At the time of the site visit, all of Block X, except for the site attendants' office, had been abandoned. The ground floor windows and the northern door of the block (on the eastern elevation, north of the main entry) had been filled in with cement blocks. The window openings of the upper storeys had been stripped of glazing and sashes, and had been shut up with boards (some of which had subsequently been removed, giving birds easy access to the building). Block Z – like the other tenement blocks of the estate with the exception of Block X – was still in residential use.

3 Description of the standing buildings

A basic description of the Peabody Avenue portion of the Pimlico Estate is presented below (3.1), followed by a more detailed description of Blocks X and Z (below, 3.2).

3.1 Peabody Avenue

The main entrance gates to the Pimlico Estate are at the north end of Turpentine Lane, where they provide access to the north end of Peabody Avenue. The avenue runs south to gates that again open onto Turpentine Lane, just north of Lupus Street, where there is a gate to Peabody Close (see Fig 1 and Fig 8).

Figures 8 to 21 comprise a representative photographic record of the areas of proposed redevelopment around Peabody Avenue (beginning at the southern end), and have been selected from among the photographs listed in Appendix 2. Particularly noteworthy in these areas, in addition to Blocks X and Z, is the brick boiler house behind Block Z, at the western edge of the estate (Fig 19). The structure is probably that shown in approximately the same location on a 1913 Ordnance Survey map (see Fig 6). Given its present appearance, it is possible that it is abandoned or in use only for storage.

Figures 8, 9 and 10 show the southern end of Peabody Avenue at its southern junction with Turpentine Lane. These images, together with Figure 11, show how Peabody Avenue is walled-in, for most of its length, by the tall tenement buildings on either side. The overall impression is of a canyon of brick, stone and paving in which the central row of trees provides a striking element of greenery. The structures lining the avenue are notable for their geometric regularity and rectilinearity. A granite sill at the southern end of the avenue bears the scars of the former double-leaf gate fixings (Fig 8). It is possible that this gate was tied to brick piers similar to those at the north side of the avenue, although no such piers are now present.

Figure 12 provides a view of the garages and fenced-in ball court and play area where Blocks K, L and M formerly stood, in the south-east corner of the estate.

Figures 13, 14 and 15 show the low brick wall at the north-eastern boundary of the estate together with three taller brick piers, two of which form the posts of the estate's northern gate. The piers and the low wall appear to be part of the original estate design, but the wall appears to have been subsequently altered by the removal of the tops of additional piers to the south of the presently existing ones, as shown by the two pier bases on the left side of the view in Figure 13. In addition, the coping of the low wall still encases the cut-off remnants of iron fencing that must once have stood on top of the wall. The brick piers have stone bases and moulded stone caps, and the brick corners of the piers each feature a vertical bead that echoes the decorative brickwork around the arched, main doorway of each Peabody Avenue block. As with the block buildings, the piers feature a decorative arrangement of differently-coloured bricks (ie, different shades of yellow brick).

The presence of gates at both ends of Peabody Avenue highlights issues of control and regulation on Peabody estates. Exemplifying the range of interpretations, there are the contrasting colourings given by the words of Darbishire (1876) and Gareth Stedman Jones (1971), the author of *Outcast London*. Stedman Jones (1971, 186–7) describes the 'paternal vigilance' exercised over the tenants of the Peabody dwellings, noting that 'at 11 p.m. the outside door was locked, and the gas was turned off, ensuring that tenants went to bed at a respectable hour.' Darbishire has specifically discussed the planning of boundary fences, stating that,

These, like the site and the drainage, are subject to great variation. Adjacent properties may supply a good fence in some cases; the shape of the site may enable the dwellings themselves to form a portion of the boundary in others. One

class of neighbourhood will make high walls necessary; in another, an open railing or a wood fence will be sufficient. No uniform rule can be laid down as to what will be suitable, economical or desirable in every case, and as the material of the fences varies, so also will their cost.

(Darbishire 1876, 56)

Thus, it is at present a moot point whether the gates of Peabody Avenue were more to keep away undesirable outsiders or to control undisciplined tenants.

In the background of Figure 15, the present City Guardians' (ie, Westminster street wardens) office can be seen projecting from the northern side of the western range of tenement buildings. The office building is a two-storey, yellow-brick (in stretcher bond) structure, the upper storey of which is formed by a three-sided, flat-topped mansard roof with flat-topped dormers set behind a low, brick parapet. The western elevation, fronting on Peabody Avenue, is divided into three bays. The southern and central bays have, on the ground floor, segmentally-arched windows, with dormer windows above (on the first floor). The northern bay has a segmentally-arched doorway on the ground floor, with no dormer above. As shown in Figure 16, the northern and eastern elevations do not have the same fenestration as the western elevation. Overall, the structure does not match the ornamentation scheme of the tenement blocks, and evidently post-dates the 1913 survey for the 1916 edition of the 1:2500 Ordnance Survey map (see Fig 6). While it is possible that the brick frontage of the building, with its segmental arches, is older than the present northern and western elevations, it is equally possible that it merely appears so – its higher visibility having led to an effort to better harmonise the façade with those of the tenement blocks. The entire City Guardians' office building may, in fact, date to the late 20th century.

An alley runs along the western edge of the Pimlico Estate, parallel to Peabody Avenue, behind the western range of tenement blocks, as shown in Figures 16, 17 and 18. Several ranges of pram sheds have been built against the wall that separates the estate from the railway land to the west, as well as a 'bath house' (so called by Haworth Tompkins) which is outside of the areas of proposed redevelopment (see Fig 2). As with the boiler house, it has not been possible to provide independent verification for Haworth Tompkins' identification of a building as the bath house, but there does not appear to be any reason to doubt that they are correct. The brick boiler house is also adjacent to the western boundary wall, behind Block Z, as shown in Figure 19.

Figures 20 and 21 show the northern elevation of Block 3, which forms the limit of the main area of demolition and removals. Block 3 is representative of the original Peabody Close buildings, which have a footprint similar to that of the Peabody Avenue blocks but are altogether more elaborate, with a central pavilion having an additional storey (rather than simply a projecting central portion on the façade – see below, 3.2), overall different fenestration and many more embellishments (for example, the parapet balustrades).

3.2 Blocks X and Z

Blocks X and Z represent two of the three tenement-block types found among the buildings of the western range of Peabody Avenue, the third type being that of Block T (the central block of the western range). Block X represents the standard building of the western range and is very similar to the standard buildings of the eastern range as well, with an important difference being that the buildings of the eastern range are of four storeys, while all but the outermost buildings (Blocks N and Z) of the western range are of five storeys. Thus, Block Z is one of the two end buildings of the western range and is four storeys tall, whereas Block X is five storeys tall.

The western range of the Peabody Avenue buildings formerly comprised 13 blocks (Blocks N to Z) constructed in one long row with matching elevations on west (back) and east (front). The outermost two blocks (Block N to the north and Block Z to the south) are one storey shorter than the main body of blocks, visually suggesting that the range is a greatly extended version of a classic, symmetrical composition with raised central pavilion (as was

later employed on the individual blocks of Peabody Close). The demolition of Block Y, its replacement by a Memorial Garden, and the reconstruction of Blocks X and Z have altered this composition. The western range, as a continuous row, now terminates with Block X.

3.2.1 Block X

Block X (Figs 22–28) is rectangular in plan with a small, rectangular addition on the south side (at the south-eastern corner, for a porch and vestibule – see Fig 24). The block is oriented north–south along the west side of Peabody Avenue. The central third of the eastern elevation projects slightly in plan. Above ground, the structure is supported on load-bearing brick walls and is on five storeys. There is also basement. The nature of the foundations was not discovered during the site visit, and it is uncertain whether or not the system of brick arches supported on concrete piers, as described by Darbishire (above, 2.1) was, in fact, used for this building. The gable roof is framed on either side by gable up-stands, the northern one shared with the building that abuts Block X to the north (ie, Block W) (see Fig 12). There is a hipped link-dormer roof over the shallowly-projecting, central portion of the eastern elevation.

There are three entrances to Block X: the main one via a shallow, ornamental porch in the centre of the eastern elevation (Fig 22), a second one on the eastern elevation to the north of the central porch (Fig 23), and a third entrance via the porch and add-on vestibule on the south side of the building (Fig 24).

The eastern elevation has 34 windows with flat or segmental arches (depending on which storey): six on the ground floor and seven on each of the upper floors (Fig 22 and Fig 23). The western elevation has 50 windows (ten on each storey) with flat or segmental arches (depending on which storey), except where arches have been replaced by more recent concrete lintels (Fig 25). The southern elevation has nine rectangular window openings (some of which are divided inside the building by partition walls), featuring mid-to-late 20th-century glazing (Fig 24). Almost all of the windows have been blocked in some fashion, as discussed below.

There are five rectangular-plan chimney stacks: two aligned east–west, centrally placed across the roof ridge and set back from the gable ends; two aligned east–west and extending eastward from the roof ridge at points on either side of the central bay of the eastern elevation; and one aligned north–south and centrally placed near the top of the western slope of the roof (see Fig 12).

Access to the upper floors and basement is via an internal stairway in the centre of the eastern half of the building (see Fig 26, Fig 27 and Fig 28).

The building is in yellow brick, decorated for the most part with bands of paler and sometimes projecting yellow bricks. The ornamental central portal features brick rustication, an arched doorway with a wrought-iron letter 'X' on the keystone, and a bracketed cornice (Fig 22 and Fig 26). The porch has been painted blue and white.

The eastern elevation is divided into seven bays, with the central three bays on the forward-projecting central third of the elevation. The two outer thirds of the eastern elevation have two bays each (Fig 22 and Fig 23). As noted above, there is a small, flat-roofed, single-storey, brick block built against the south face of the building (Fig 24). Only the western half of this block is completely enclosed, leaving its eastern half as a porch supported at the south-eastern corner by a square brick column. The door of this addition, at the back of the porch, faces onto Peabody Avenue.

The most striking element of the ground floor of Block X (and of Block Z as described below) is the rusticated brick porch for the main, central entrance (Fig 22 and Fig 26). Over the doorway arch, this rustication imitates large voussoirs surrounding the keystone. Unlike Block 'Z' (and most, if not all, of the other Peabody Avenue blocks), Block X's central porch is not topped by a roundel (to which a lighting fixture would probably have been attached). It seems likely that such a roundel was once present.

The windows of the eastern elevation's ground floor have segmental, rubbed-brick arches; however, all but the southernmost of the windows (that of the site attendants' office) have been sealed with concrete blocks (Fig 22 and Fig 23). The channelling of the brick rustication of the central portal is carried along the ground floor of the eastern elevation not as recessed courses but as courses of much paler yellow brick. The same pale brick is used for the arches of the windows.

A door has been constructed between the two northernmost windows on the ground floor of the eastern elevation (Fig 23). The door, which is not part of the original design, is distinguished by its simple lintel construction and its lack of formal relation to the fenestration of the building.

The western elevation's fenestration is similar to the eastern elevation, but with several differences in the central portion. There is no entrance on the western face of the building and the central third of the western elevation does not project forward (Fig 25). As well, the outside bays of the central third of the western elevation have two narrow windows each instead of one window each, and there are two bays of windows evenly spaced between them instead of a single centre bay (see Fig 25, and also the plans reproduced as Fig 7 and Fig 36).

The decorative bands of paler brick courses are carried around the structure (ie, onto both the southern and western elevations), as shown in Figures 24 and 25. Most of the western elevation's windows are blocked, and several have been rebuilt with concrete lintels (see Fig 25).

The first, second and third floors of the eastern and western elevations have flat arches of pale rubbed brick, while the fourth floors of both elevations have the same segmental arches as the ground floor (Fig 22, Fig 23, and Fig 25). These elevations also have decorative brick cornices below the shallow eaves of the roof. Several string courses of paler brick run across both elevations, some of them projecting outwards. These string courses are continued on the southern elevation, but only as paler brick not as projecting courses. The fenestration of the repaired southern elevation does not match the symmetrical style of the original building; each floor has two rectangular window openings (one larger and one smaller) offset slightly toward the east side of the elevation (Fig 24).

At the time of investigation, Block X was abandoned and was in use as *ad hoc* storage, notably for a large volume of bicycles and bicycle parts. The basement was inaccessible, as was the ground floor (with the exception of the stairwell) (see Fig 27 and Fig 28).

As noted in Chapter 2 of this report, the client-supplied plan of Block X (see Fig 3) is not correct. It appears to have been made with the assumption that Block X was identical to most of the other blocks of the western range, although it has been modified to show the small addition to Block X's southern elevation. Contrary to the plan, Block X does not have an entrance on the eastern elevation south of the main portal, and the brickwork where such an entrance would be does not present evidence that there was ever a door at that location. However, as noted above, the small studio flat that would be accessed by such a door is present, accessible via a door on the southern elevation (from within the vestibule inside the small addition). The door between the flat and the addition on the southern elevation is not shown on the Fig 3 plan.

The upper floors of Block X were accessible via a stairwell in the centre of the western side of the building over the main entrance, and the top floor (fourth floor) was surveyed as being representative of the typical configuration, which was different from that of the ground floor (see Fig 36). At the time of investigation, the fourth floor of Block X was divided into three flats and was asymmetrical in its arrangement around the east-west central axis. It should be noted that Figure 36 shows only two windows to have been blocked. These two were sealed by masonry; however, at the time of investigation, all but one of the remaining windows had been boarded up.

As shown in Figure 36, there is, on the fourth floor, a fireplace (blocked at the time of investigation) near the centre of the building to the west of the stairwell and main corridor.

There is a chimney stack in this position on the roof of the structure; however, this stack is not shown on the client-supplied elevation drawings (see Fig 37).

In fact, the as-built configuration of Block X also contradicts the generic architect's plan of 1875 (see Fig 7), in that there are only ten rather than 11 windows on each storey of the western (back) elevation. The difference is in the central third of the elevation, where two – rather than three – windows have been built. It seems evident, therefore, that the design of Block X (and of Block Z as described below) was, in some aspects, different than the design of the first 12 blocks of the estate (as represented by Darbishire's plan).

Furthermore, Darbishire (1876) describes a basement constructed below only the laundry room (see Fig 7) – that is, in the centre of the back half of the building – and accessible only by an exterior stairway. Block X has no exterior stairway to the basement, but does have what appears to be a door to the basement below the stairs directly inside the main entrance on the front of the structure (Fig 26). It may be that this represents an evolution of Darbishire's plan, but it is also possible that the basement and its access were reconfigured after initial construction.

3.2.2 Block Z

Block Z (Figures 29–35) is rectangular in plan and is aligned north–south along the west side of Peabody Avenue. The central third of the eastern elevation projects slightly in plan (Fig 29). The above-ground structure is supported on load-bearing brick walls and is on four storeys. There is also a basement. As with Block X, it is uncertain whether or not the system of brick arches supported on concrete piers, as described by Darbishire (above, 2.1) was, in fact, used for this building. The roof is hipped, but only on the south side (see Fig 33). At the northern elevation, the roof ends in a gable with up-stand – where the structure would have abutted the former Block Y (Fig 34). There is a hipped link-dormer roof over the shallowly-projecting, central portion of the eastern elevation (see Fig 33).

There is only one entrance to Block Z, through the shallow, ornamental porch in the centre of the eastern elevation (Fig 29 and Fig 35).

The eastern elevation has 34 windows with flat or segmental arches (depending on which storey): six on the ground floor and seven on each of the upper floors (Fig 29). All but one of these openings have sash windows, the exception being an empty window-opening directly above the entrance porch. The western elevation has 40 windows (ten on each storey) with flat or segmental arches (depending on the storey) (Fig 31 and Fig 32). This elevation has a mix of older, multi-pane sash windows and newer windows of different configuration. The southern elevation and northern elevation each have four small, single-pane windows; one placed centrally on each storey (Fig 30 and Fig 34).

There are five rectangular-plan chimney stacks (see Fig 33). Two of the stacks are aligned east–west and are centrally placed across the roof ridge at a set back from the north and south elevations. The southern one of these sits at the top of the south-facing end slope. In the middle of the building, two more east–west-aligned stacks extend eastward from the roof ridge at points on either side of the central bay of eastern elevation. The fifth stack is aligned north–south and is centrally placed near the top of the western slope of the roof.

Access to the upper floors and basement is via an internal stairway in the centre of the eastern half of the building (Fig 35).

The building is in yellow brick, decorated for the most part with bands of paler and sometimes projecting yellow bricks. The ornamental central portal features brick rustication, an arched doorway with a wrought-iron letter 'Z' on the keystone, and a bracketed cornice topped by a scroll-supported roundel (see Fig 29 and Fig 35). This roundel probably once supported a lighting fixture. The porch has been painted white with silver and gold highlights.

Block Z is very similar to Block X, but with important differences due to its former position at the southern end of the western range. It now stands isolated from the main body of the

western range, on the far side of the Memorial Garden that has replaced the demolished Block Y. Block Z's ground floor, first floor, and second floor are essentially the same as those of Block X, but without blocked windows (although some windows have been narrowed). The third floor of Block Z, as the top floor, is essentially the same as the fourth floor of Block X. The repaired south and north elevations of the building are different from those of Block X (which does not have an exposed north elevation, instead being joined on that side to Block W) (see Fig 30 and Fig 34; compare Fig 24).

On Block Z, the decorative string courses of paler brick have their continuations as courses of paler brick on both the south and north elevations, but where string courses project outward on the eastern and western elevations, they also do so on the southern elevation, thus suggesting that this face of the building may be largely original construction (see Fig 30). If the southern elevation of Block Z is largely original, then it cannot have been an exact copy of the northern elevation of Block N (its counterpart on the other side of the western range) (see Fig 16). It seems probable that Block Z was much simpler than Block N, thus indicating that it may have been originally conceived as the back or far side of the estate.

As with Block X, there is a chimney missing on the client-supplied elevation drawings (Fig 37 – the missing chimney stack is the same as that left out of the Block X drawings). Contrary to the client-supplied plan (see Fig 3), there were no side entrances flanking the central porch on the eastern elevation. The interior layout of Block Z's ground floor must therefore be different than that shown on the plan.

The observations made above (3.2.1), regarding the differences between Darbishire's 1875 plan (see Fig 7) and the plan of Block X as it appears to have been constructed also apply to Block Z. This block also has ten rather than 11 windows on each storey of the western (back) elevation, as described above. As well, there is no external stairway to the basement, but there is an internal door just within the ground floor entrance (below the stairway to the first floor).

4 Conclusions, archiving and publication

The archaeological survey of Peabody Avenue, Pimlico, has met the objectives of providing a record of historically and architecturally noteworthy structures within the areas of proposed redevelopment as described in Chapter 1 of this report, through a combination of photography, written and drawn observations, and documentary research. As set out in the method statement (MoLAS 2008a), which formed the written scheme of investigation for this archaeological exercise, a descriptive record has been made of two tenement buildings, Block X and Block Y, Peabody Avenue, for which demolition has been proposed. A more general visual record has been prepared at the same time (as discussed in this report), to address other structures of architectural or historical interest within the main area of proposed demolition works, augmented where appropriate by selective description of elements of the adjacent Peabody Avenue portion of the estate.

In general terms, it is often noted that 19th-century buildings of the Peabody Trust are similar in many respects, having been built to a standardised design. The recording of Blocks X and Z has demonstrated that, on one estate, there could be minor differences between individual tenement blocks in their original design or as a result of alterations over the years. More significantly, it has been demonstrated that differences between individual blocks on an estate have resulted from design changes made over the course of the estate's construction. As well, it has been noted that the standardised design of Peabody buildings evolved during the 19th century such that, while the buildings of Peabody Avenue are fairly typical of Peabody buildings of their time, there are undoubtedly differences that could be identified by comparative study.

The original site records (sketches, notes and digital photographs) and the subsequent composite plan sketch will be deposited in due course in the Museum of London archaeological archive, indexed by the site code PBA08. During the course of the survey, 118 digital photographs were taken and these have been listed in Appendix 2. Six pages of observation sketches and notes were produced on site, as listed in Appendix 3.

Copies of the final report will be given to the client, the City of Westminster (as the local planning authority), the Westminster local studies library, the London Metropolitan Archives, English Heritage, the Greater London Archaeological Advisory Service and the Museum of London.

The standing buildings are of significance for the history of the immediate locality, and form part of the larger Pimlico Estate, which is of significance for the history of the City of Westminster and possibly the London region. Nothing has been found to suggest that the standing buildings are of national importance. Therefore, the academic requirement to publish the results of the investigation will be met by reporting the results in summary form in appropriate professional journals and in the annual round-up of archaeological work published in the *London Archaeologist*. A summary will also be entered in the searchable, on-line OASIS database of archaeological investigations.

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Appendix 1: OASIS data collection form

OASIS ID: molas1-52918

Project details

Project name Peabody Avenue, Pimlico

Short description of the project Museum of London Archaeology recorded standing buildings at the Peabody Trust's Pimlico Estate in Peabody Avenue, Westminster, London SW1 prior to selective redevelopment, mainly around the southern end of Peabody Avenue. Recording work focused on two of the estate's tenement blocks: Block X and Block Z. The descriptive recording of these blocks constituted the primary aim of this archaeological exercise, with additional observations made as appropriate to address the larger area of proposed demolition and redevelopment. On-site investigation took place in October 2008. Brief documentary research indicates that construction of the 26 tenement blocks (Blocks A to Z) in Peabody Avenue began in 1874, with Blocks X and Z probably erected in the mid to late 1870s. Comparison of architect HA Darbishire's 1875 plan for the buildings at Pimlico and of Blocks X and Z as originally constructed has brought to light differences, indicating that the design evolved. It is probable that the construction of the 26 blocks in Peabody Avenue proceeded in two consecutive phases, beginning with the first 12 blocks in 1874 and expanding to 26 in 1876 or shortly thereafter. Peabody Avenue was bombed during the Second World War, severely damaging Blocks X and Z and leading to the demolition of the block between them (Block Y). At the time of this repair, or later, the interior of Block X's ground floor was reconfigured and two exterior entrances were added: one on the eastern elevation and one via an add-on block on the south side of the building.

Project dates Start: 30-09-2008 End: 16-12-2008

Previous/future work Not known / Not known

Any associated project reference codes PBA08 - Sitecode

Type of project Building Recording

Site status Conservation Area

Current Land use Residential 1 - General Residential

Monument type MODEL DWELLING Post Medieval

Methods & techniques 'Annotated Sketch','Photographic Survey'

Prompt Planning condition

Project location

Country	England
Site location	GREATER LONDON CITY OF WESTMINSTER CITY OF WESTMINSTER Peabody Avenue, Pimlico
Postcode	SW1V 4AR
Study area	0.10 Hectares
Site coordinates	TQ 28820 78070 51.4863897065 -0.144445559210 51 29 11 N 000 08 40 W Point

Project creators

Name of Organisation	MoL Archaeology
Project brief originator	Local Planning Authority (with/without advice from County/District Archaeologist)
Project design originator	MoL Archaeology
Project director/manager	Gordon Malcolm
Project supervisor	Andrew Westman
Type of sponsor/funding body	Architect
Name of sponsor/funding body	Haworth Tompkins

Project archives

Physical Archive Exists?	No
Digital Archive recipient	LAARC

Digital Archive ID	PBA08
Digital Contents	'other'
Digital Media available	'Images raster / digital photography'
Paper Archive recipient	LAARC
Paper Archive ID	PBA08
Paper Contents	'other'
Paper Media available	'Drawing'

Project bibliography 1

Publication type	Grey literature (unpublished document/manuscript)
Title	Peabody Avenue, Pimlico
Author(s)/Editor(s)	Tetreau, M.
Author(s)/Editor(s)	Westman, A.
Date	2008
Issuer or publisher	MOL Archaeology
Place of issue or publication	London
Description	A4-size, spiral-bound report

Entered by	Michael Tetreau (mtetreau@museumoflondon.org.uk)
Entered on	15 January 2009

Appendix 2: list of archaeological photographs

Image Number	Location	Description
DSCN5140	Peabody Avenue	Looking west, showing east elevation of Block X
DSCN5141	Peabody Avenue	Looking west, showing main porch (east elevation) of Block X
DSCN5142	Peabody Avenue	Looking north-west, showing south elevation of Block X
DSCN5143	Peabody Avenue	Looking north, showing profile of projecting central portion of façade and also of main entry porch (projecting still further), Block X
DSCN5144	Peabody Avenue	Looking north with Block X on the left
DSCN5145	Peabody Avenue	Looking west, showing blocked, ground-floor window of Block X just south of main entrance porch
DSCN5146	Peabody Avenue	Looking south along east elevation of Block X, showing profile of projecting central portion of façade
DSCN5147	Peabody Avenue, stoop of Block X	Looking north-west, showing detail of lower part of northern abutment of arched porch
DSCN5148	Peabody Avenue	Looking north-west, showing detail of damaged brickwork and air brick near ground on eastern face of Block X, south of porch
DSCN5149	Peabody Avenue	Looking south-west, showing upper storeys of Block X, eastern elevation
DSCN5150	Peabody Avenue	Looking west, showing northern portion of Block X and southern portion of Block W (eastern elevations)
DSCN5151	Block X – ground floor, vestibule area north of stairwell	Looking south, showing corridor running southward from central vestibule area
DSCN5152	Block X – ground floor, vestibule area north of stairwell	Looking north, showing access to northern portion of the interior
DSCN5153	Block X – ground floor, vestibule area north of stairwell	Looking east, showing main entrance
DSCN5154	Block X – halfspace landing between first floor and ground floor	Looking north down stairs, showing vestibule area north of stairwell
DSCN5155	Peabody Avenue	Looking south-west, showing Memorial Garden (former site of Block Y) and northern elevation of Block Z
DSCN5156	Peabody Avenue	Looking west, showing eastern elevation of Block Z
DSCN5157	Turpentine Lane	Looking north-west, showing southern elevation of Block Z
DSCN5158	Pimlico Estate, south of Block Z	Looking north, showing signage on southern elevation of Block Z (signs for 'Peabody Estate' and Peabody Avenue)
DSCN5159	Pimlico Estate, west of Block Z	Looking east, showing western elevation of Block Z
DSCN5160	Pimlico Estate, west of Block Z	Looking north-east, showing western elevation of Block Z
DSCN5161	Pimlico Estate, west of Block Z	Looking north, showing alley along western edge of the estate with pram sheds on the left

Image Number	Location	Description
DSCN5162	Pimlico Estate, west of Block Z	Looking east, showing detail of upper north corner of western elevation of Block Z
DSCN5163	Alley along western edge of Pimlico Estate	Looking north-east, showing western elevation of Block X, with rest of western range in the background
DSCN5164	Alley along western edge of Pimlico Estate	Looking north-east, showing western elevation of Block X
DSCN5165	Alley along western edge of Pimlico Estate	Looking north from behind (west of) Block X, showing alley with ground floor of Block X (western elevation) in foreground
DSCN5166	Alley along western edge of Pimlico Estate	Looking south, showing western elevation of Block X, with Memorial Garden beyond – also Block Z behind Memorial Garden and Block 3 (northern elevation) facing the camera at the end of the alleyway
DSCN5167	Pimlico Estate, west of Block Z	Looking east, showing detail of lower north corner of western elevation of Block Z
DSCN5168	Block X – 4th floor, second room from north on west side of building (presently an abandoned kitchen)	Looking north, showing fireplace in centre of north wall
DSCN5169	Block X – 4th floor, second room from north on west side of building (presently an abandoned kitchen)	Looking north, showing detail of firebox with engraved back: 'BRATT COLBRAN / LONDON / THE HEAPED FIRE'
DSCN5171	Block X – 4th floor, west side of building	Looking west through a 4th floor window, showing view over rail depot roof and beyond
DSCN5172	Block X – 4th floor, second room from north on east side	Looking north-east through window, showing Peabody Avenue, Block J (eastern range), children's' play area (former site of Block K) and view beyond
DSCN5173	Block X – 4th floor, second room from north on east side	Looking north-east through window, showing Peabody Avenue, Block J (eastern range), children's' play area (former site of Block K) and view beyond
DSCN5174	Block X – 4th floor, second room from north on east side	Looking north-east through window, showing Peabody Avenue, Blocks I and J (eastern range), children's' play area (former site of Block K) and view beyond
DSCN5175	Block X – halfspace landing on stairs between 3rd floor and 4th floor	Looking west down the stairway to the 3rd floor, also showing the 4th floor landing
DSCN5176	Block X – halfspace landing on stairs between 3rd floor and 4th floor	Looking west down the stairway to the 3rd floor, also showing the 4th floor landing
DSCN5177	Block X – halfspace landing on stairs between 3rd floor and 4th floor	Looking west down the stairway to the 3rd floor, also showing short flight to the 4th floor landing
DSCN5178	Block X – halfspace landing on stairs between 3rd floor and 4th floor	Looking west down the stairway to the 3rd floor, also showing short flight to the 4th floor landing

Image Number	Location	Description
DSCN5179	Block X – halfspace landing on stairs between 3rd floor and 4th floor	Looking west down the stairway to the 3rd floor
DSCN5180	Block X – halfspace landing on stairs between 3rd floor and 4th floor	Looking west down the stairway to the 3rd floor
DSCN5181	Block X – halfspace landing on stairs between 3rd floor and 4th floor	Looking west down the stairway to the 3rd floor, also showing short flight to the 4th floor landing
DSCN5182	Block W – ground floor, vestibule	Looking south-east, showing probably original stair construction (as opposed to reconstructed stairs of Block X)
DSCN5183	Block W – ground floor, vestibule, north of stairwell	Looking east, showing half-turn stairs up to first floor, with window at halfspace landing
DSCN5184	Block W – ground floor vestibule	Looking south-west, showing detail of probably original stairs (as opposed to reconstructed stairs of Block X)
DSCN5185	Block W – ground floor vestibule	Looking south-west, showing detail of probably original stairs (as opposed to reconstructed stairs of Block X)
DSCN5186	Block W – ground floor vestibule	Looking south-west, showing detail of probably original stairs (as opposed to reconstructed stairs of Block X)
DSCN5187	Block W – ground floor vestibule, just inside entrance	Looking south-west, showing door to basement stairs below stairs to first floor
DSCN5188	Block W – ground floor vestibule, just inside entrance	Looking south-west, showing door to basement stairs below stairs to first floor
DSCN5189	Block W – central (main) entrance from Peabody Avenue	Looking west, showing vestibule with stairwell and with door to basement stairs
DSCN5190	Block W – ground floor, vestibule area	Looking south-west, showing door to flat
DSCN5191	Block W – central (main) entrance from Peabody Avenue	Looking west, showing vestibule with stairwell and with door to basement stairs
DSCN5192	Block W – central (main) entrance from Peabody Avenue	Looking west, showing vestibule with stairwell and with door to basement stairs
DSCN5193	Alley along western edge of Pimlico Estate	Looking south, showing back (western elevations) of western range, pram sheds along western edge of the estate (to right), and Block 3 (northern elevation) in the distance, facing the camera. Also shows railway depot shed to west (to right) and Battersea Power Station in the background.
DSCN5194	Alley along western edge of Pimlico Estate	Looking south, showing back (western elevations) of western range, pram sheds along western edge of the estate (to right), and Block 3 (northern elevation) in the distance, facing the camera. Also shows railway depot shed to west (to right) and Battersea Power Station in the background.

Image Number	Location	Description
DSCN5195	North end of alley along western edge of Pimlico Estate, to north-west of present City Guardians' office	Looking south, showing back (western elevations) of western range, pram sheds along western edge of the estate (to right), and roof of railway depot shed to west (at centre-right), with Battersea Power Station in the background
DSCN5196	Alley along western edge of Pimlico Estate (near northern end)	Looking south-west, showing details of western wall between the estate and the rail land, with pram sheds
DSCN5197	Alley along western edge of Pimlico Estate (near northern end, west of the present City Guardians' office)	Looking south, showing the back (western elevations) of the western range of the estate beyond, with the pram sheds along the estate's western edge (to the right)
DSCN5198	Pimlico Estate, north-west corner	Looking north-west, showing pram sheds and walls
DSCN5199	Pimlico Estate, north-west corner	Looking north-west, showing pram sheds and walls
DSCN5200	Pimlico Estate, north-west corner	Looking south-east, showing the present City Guardian's office (centre-left) and the long, western range of the estate, including the upper portion of the range's northern elevation (Block N)
DSCN5201	Pimlico Estate, north-west corner	Looking south-east, detail of the upper north-west corner of the western range's northern elevation (Block N, south of the present City Guardian's office)
DSCN5202	Pimlico Estate, north-west corner	Looking south-east: detail of the northern edge of the western range's west elevation (Block N, south of the present City Guardian's office)
DSCN5203	Pimlico Estate, north-west corner	Looking south-east over the present City Guardian's office to the upper portion of the western range's northern elevation (Block N)
DSCN5204	Alley along western edge of Pimlico Estate (near northern end)	Looking north-east, showing the western elevation of the northernmost block (Block N) of the western range, with the present City Guardian's office beyond it (the low structure attached to the north side of Block N)
DSCN5205	Alley along western edge of Pimlico Estate	Looking south-west, showing the wall between the estate and the rail land, with depot shed
DSCN5206	Alley along western edge of Pimlico Estate	Looking south, showing the alley between the western range of estate blocks (to left) and the wall between the estate and the rail land (to right)
DSCN5207	Alley along western edge of Pimlico Estate	Looking south, showing the alley between the western range of estate blocks (to left) and the wall between the estate and the rail land (to right), with Block 3 facing the camera in the distance
DSCN5208	Alley along western edge of Pimlico Estate	Looking south, showing the alley between the western range of estate blocks (to left), the wall between the estate and the rail land (to right), and the pram sheds along the estate's western edge, with Block 3 facing the camera in the distance
DSCN5209	Alley along western edge of Pimlico Estate	Looking north up the alley between the western range of estate blocks (to right) and the present bathhouse structure (to left)

Image Number	Location	Description
DSCN5210	Alley along western edge of Pimlico Estate	Looking south down the alley between the western range of estate blocks (to left) and the pram sheds along the estate's western edge (to right), with Block 3 facing the camera in the distance. The north gable of the present boiler house is also visible at right, beyond the pram sheds.
DSCN5211	Alley along western edge of Pimlico Estate	Looking south down the alley between the western range of estate blocks (to left) and the pram sheds along the estate's western edge (to right), with Block 3 facing the camera in the distance. The north gable of the present boiler house is also visible at right, beyond the pram sheds.
DSCN5212	Alley along western edge of Pimlico Estate	Looking south-east, showing the blocked, ground-floor windows on the northern side of Block X's western elevation
DSCN5213	Alley along western edge of Pimlico Estate	Looking south-east, showing western elevation of Block X with Memorial Garden beyond and with Block Z on the far side of the Memorial Garden. Block 3 is also shown, facing the camera in the distance.
DSCN5214	Alley along western edge of Pimlico Estate, west of Block X	Looking east, showing the second-, third-, fourth-, and fifth-most bays of windows (reckoning from the northern side of the western elevation), from ground floor upwards
DSCN5215	Alley along western edge of Pimlico Estate, west of Block X	Looking north-east, showing evidence for the removal of external fitting, probably a pipe, including an iron bracket on the wall, bricks removed from the plinth coping, and a concrete or stone bracket in the ground against the base of the wall. Area shown is just to the south of the sixth window from the northern side of Block X, on the western elevation (bottom of window is within view)
DSCN5216	Alley along western edge of Pimlico Estate, west of Block X	Looking east, showing bottom corner of south end of western elevation
DSCN5217	Alley along western edge of Pimlico Estate, west of Block X	Looking east, showing south-most bay of windows on western elevation, from first floor upwards
DSCN5218	Alley along western edge of Pimlico Estate, west of Block X	Looking south, showing northern elevation of Block 3 (western two thirds), with Block Z at left
DSCN5219	Pimlico Estate, west of Memorial Garden (former site of Block Y)	Looking south-west, showing northern elevation of present boiler house structure beyond pram sheds
DSCN5220	Pimlico Estate, west of Memorial Garden (former site of Block Y)	Looking south-west, showing northern elevation of present boiler house structure
DSCN5221	Pimlico Estate, west of Memorial Garden (former site of Block Y)	Looking south-east, showing western elevation of Block Z (at left) and northern elevation of Block 3 (at right)
DSCN5222	Pimlico Estate, west of Memorial Garden (former site of Block Y)	Looking south-east, showing western elevation of Block Z (at left) and northern elevation of Block 3 (at right)
DSCN5223	Pimlico Estate, west of Block Z	Looking south-east, showing ground floor windows of western elevation, beginning at left with second window from the north side

Image Number	Location	Description
DSCN5224	Pimlico Estate, west of Block Z	Looking east, showing detail of lower north corner of western elevation of Block Z
DSCN5225	Pimlico Estate, north of Block 3	Looking south, showing central portion of northern elevation of Block 3
DSCN5226	Pimlico Estate, north of Block 3	Looking south-east, showing easternmost third of northern elevation of Block 3
DSCN5227	Pimlico Estate, north of Block 3	Looking south-east, showing easternmost third of northern elevation of Block 3
DSCN5228	Pimlico Estate, north of Block 3	Looking north-west, showing present, small, brick, buttressed and gabled, boiler-house structure at western edge of estate behind Block Z (southern and eastern elevations of the structure are visible)
DSCN5229	Pimlico Estate, north of Block 3	Looking north-west, showing present, small, brick, buttressed and gabled, boiler-house structure at western edge of estate behind Block Z (southern and eastern elevations of the structure are visible)
DSCN5230	Lupus Street	Looking north-west over the garages within the area of proposed demolition, showing Block X at left, with western range extending northwards from it. Also showing southern elevation of present eastern range (Block J) at right, beyond ball court (which is also within area of proposed demolition).
DSCN5231	Lupus Street	Looking north-west over the garages within the area of proposed demolition, showing Block X at left, with western range extending northwards from it
DSCN5232	Lupus Street	Looking north-west, showing area of proposed demolition, including the garages and Pimlico Estate Blocks Z (to left) and X (to right)
DSCN5233	Lupus Street	Looking west-north-west over the garages within the area of proposed demolition, showing Block Z in the background
DSCN5234	Turpentine Lane	Looking north, showing Pimlico Estate Block 3 at left and, beyond it, the southern junction of Peabody Avenue. Block Z is also shown beyond Block 3.
DSCN5235	Turpentine Lane	Looking north, showing Pimlico Estate Block 3 at left and, beyond it, the southern junction of Peabody Avenue. The western side of Peabody Avenue is visible with Block Z (just beyond Block 3) and Block X (the next building after Block Z).
DSCN5236	Turpentine Lane	Looking north along Turpentine Lane and Peabody Avenue. Block Z is shown bearing signage (for the 'Peabody Estate' and Peabody Avenue) on its southern elevation. Block X is visible (with the blue porch) beyond Block Z.
DSCN5237	Turpentine Lane	Looking north along Turpentine Lane and Peabody Avenue. Block Z is shown bearing signage (for the 'Peabody Estate' and Peabody Avenue) on its southern elevation. Block X is visible (with the blue porch) beyond Block Z.
DSCN5238	Turpentine Lane	Looking north-west, showing the stone paving where Peabody Avenue opens onto Turpentine Lane (at the southern junction of these two roads)
DSCN5239	Peabody Avenue	Looking west, showing the porch of the central entrance to Block Z (eastern elevation)

Image Number	Location	Description
DSCN5240	Peabody Avenue	Looking west, showing the upper portion of the porch of the central entrance to Block Z (eastern elevation)
DSCN5241	Peabody Avenue	Looking south-west, showing the lower, southern side of Block Z's porch (eastern elevation), with a view into the vestibule including the door to the basement stairs (below the stairs to the first floor)
DSCN5242	Block Z, stoop of central entrance (western elevation)	Looking south-west, showing door to basement stairs below stairs to first floor
DSCN5243	Peabody Avenue	Looking west, showing the arch of the porch (western elevation)
DSCN5244	Peabody Avenue	Looking north, showing foot of tree east of Block Z (between Block Z and garages, within area to be demolished). Proposed demolition includes removal of tree. View shows honeycomb-pattern, iron tree grate.
DSCN5245	Peabody Avenue	Looking north, showing honeycomb-pattern, iron tree grate at foot of tree to east of Block Z (between Block Z and garages, within area to be demolished).
DSCN5246	Peabody Avenue	Looking north, showing honeycomb-pattern, iron tree grate at foot of tree to east of Block Z (between Block Z and garages, within area to be demolished).
DSCN5247	Peabody Avenue	Looking north, showing honeycomb-pattern, iron tree grate at foot of tree to east of Block Z (between Block Z and garages, within area to be demolished).
DSCN5248	Peabody Avenue	Looking north, showing honeycomb-pattern, iron tree grate at foot of tree to east of Block Z (between Block Z and garages, within area to be demolished).
DSCN5249	Turpentine Lane	Looking south-west, showing eastern boundary wall of Pimlico Estate along west side of Turpentine Lane, with long, east range of Pimlico Estate blocks in background
DSCN5250	Northern end of Turpentine Lane	Looking south-west, showing eastern boundary wall of Pimlico Estate along west side of Turpentine Lane, with long, east range of Pimlico Estate blocks in background
DSCN5251	Northern end of Turpentine Lane	Looking south-west, showing eastern boundary wall of Pimlico Estate along west side of Turpentine Lane, with long, east range of Pimlico Estate blocks in background
DSCN5252	Northern end of Turpentine Lane	Looking east, showing northernmost portion of eastern boundary wall of Pimlico Estate, including southern half of estate's northern gate
DSCN5253	Sutherland Street	Looking east, showing north end of Turpentine Lane with northernmost portion of eastern boundary wall of Pimlico Estate, including southern half of estate's northern gate
DSCN5254	Sutherland Street	Looking east, showing the entrance gate to the Pimlico Estate at the northern end of Turpentine Lane
DSCN5255	Turpentine Lane	Looking north-west, showing the northern pier of the Pimlico Estate's entrance gate at the northern end of Turpentine Lane

Image Number	Location	Description
DSCN5260	Western abutment of Ebury Bridge	Looking south-west across the railway land between Victoria Station (to the north) and Grosvenor Bridge (to the south). The roofs of the western range of the Pimlico Estate are visible beyond the railway lands and depot shed at centre-left.
DSCN5261	Western abutment of Ebury Bridge	Looking south-west across the railway land between Victoria Station (to the north) and Grosvenor Bridge (to the south). The roofs and western elevation of the western range of the Pimlico Estate are visible beyond the railway lands and depot shed at centre-left. The northern elevation of Block 3 is also visible, at centre.
DSCN5262	Western abutment of Ebury Bridge	Looking south-west across the railway land between Victoria Station (to the north) and Grosvenor Bridge (to the south). The roofs and western elevation of the western range of the Pimlico Estate are visible beyond the railway lands and depot shed at centre-left. The northern elevation of Block 3 is also visible, at centre.

Appendix 3: list of working drawings made on site

Drawing Number	Description
1	Roughly dimensioned sketch plan of north portion (to north of central landing), 4th floor (ie, top floor), Block X – 17 December 2008
2	Roughly dimensioned sketch plan of central and southern portion, 4th floor (ie, top floor), Block X – 17 December 2008
3	Porch profiles: southern elevation and cross-sectional profile of main entrance porch, Block X
4	Miscellaneous notes and sketches: exterior observations, elevation sketch of representative first-floor window, analytical elevation sketch of main entrance porch of Block X
5	Miscellaneous observation notes and sketches, including comparative observations from other buildings on the estate (Block W, for example)
6	Miscellaneous observation notes regarding Blocks Z and X

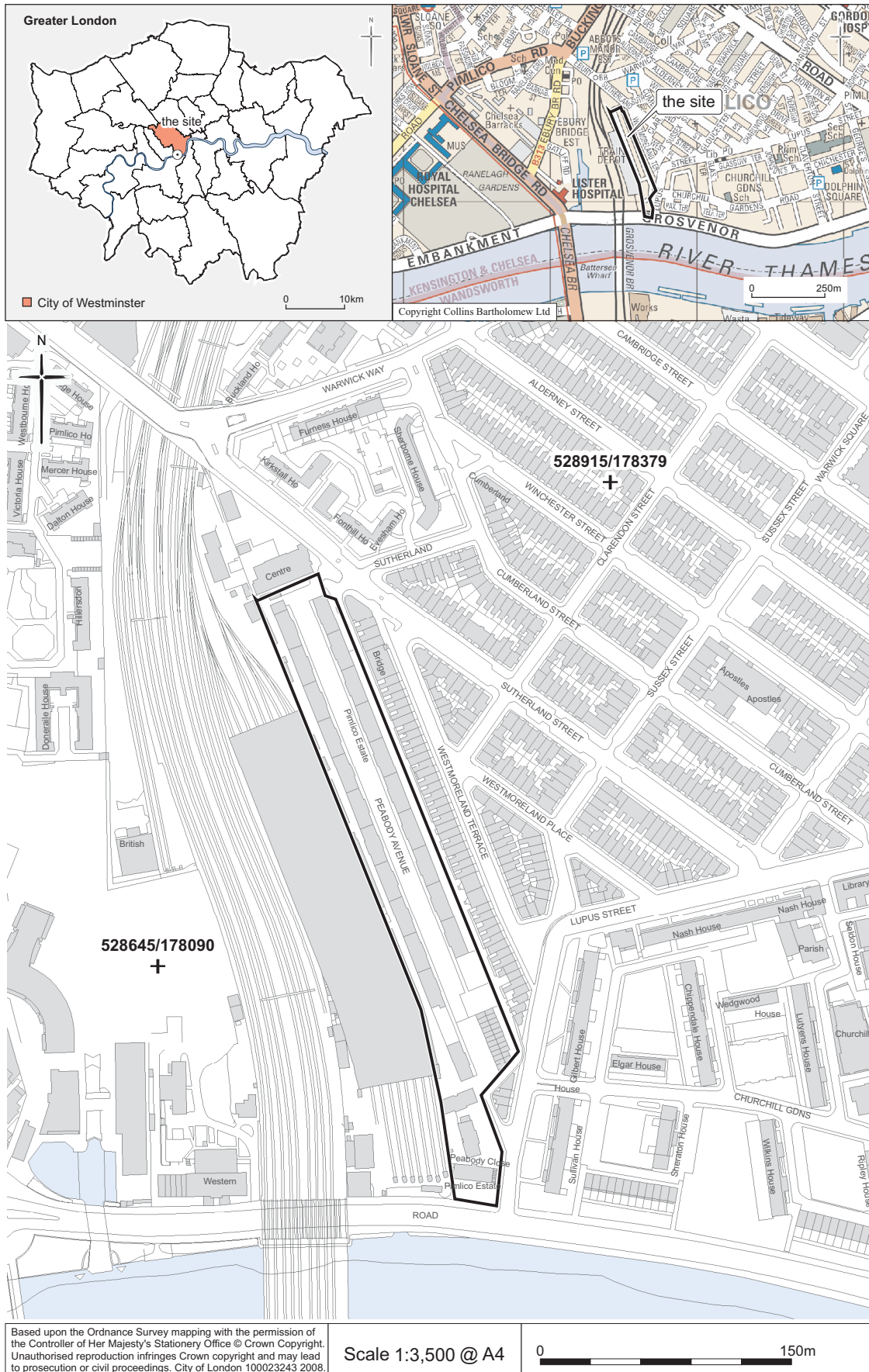


Fig 1 The Pimlico Estate (Peabody Trust), Peabody Avenue and Peabody Close

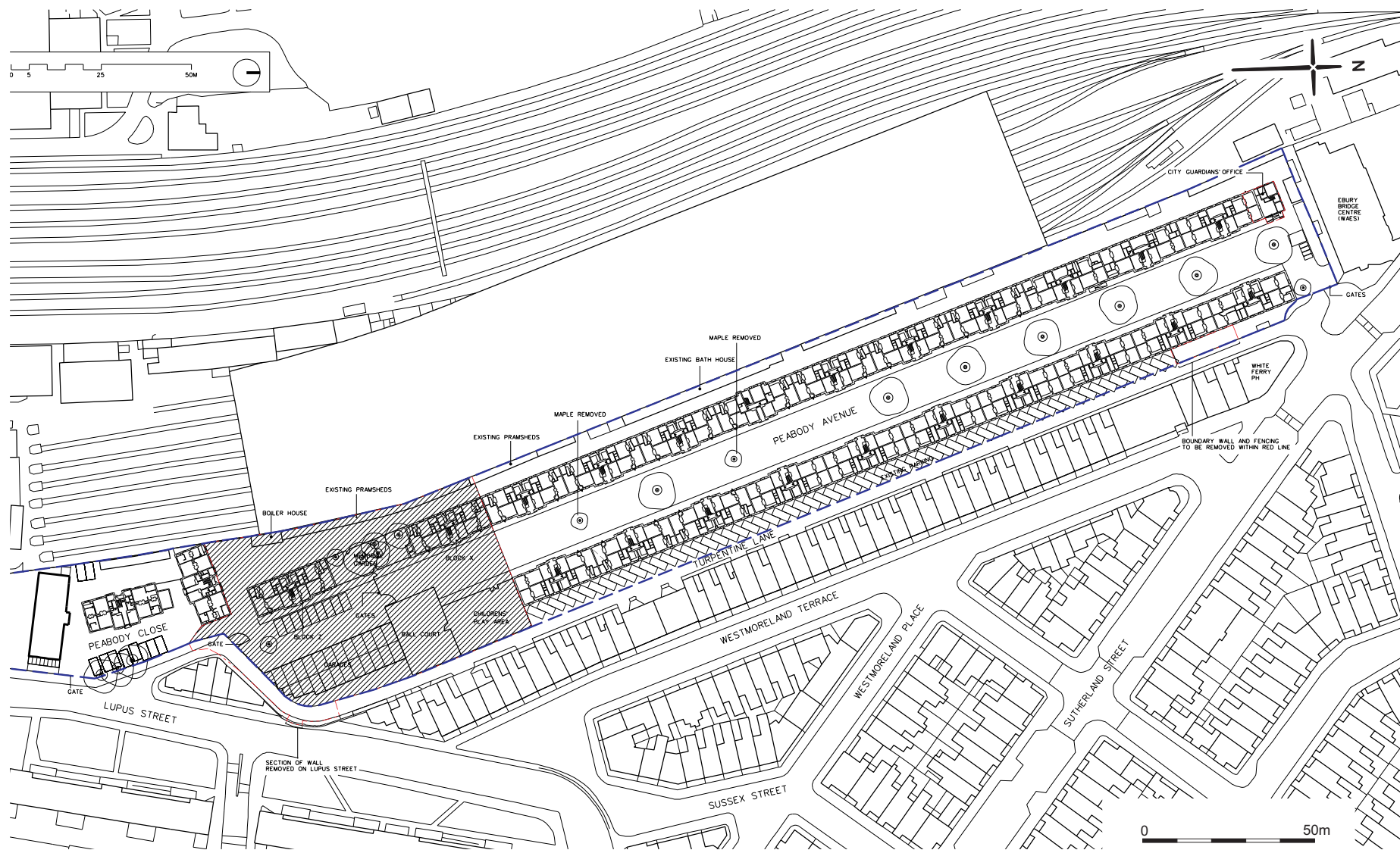


Fig 2 The Pimlico Estate boundary and the areas of proposed development (drawing number 0605/L(0)000, 'Existing site plan showing items for demolition and removal', revision D, February 2007, copyright of Haworth Tompkins)

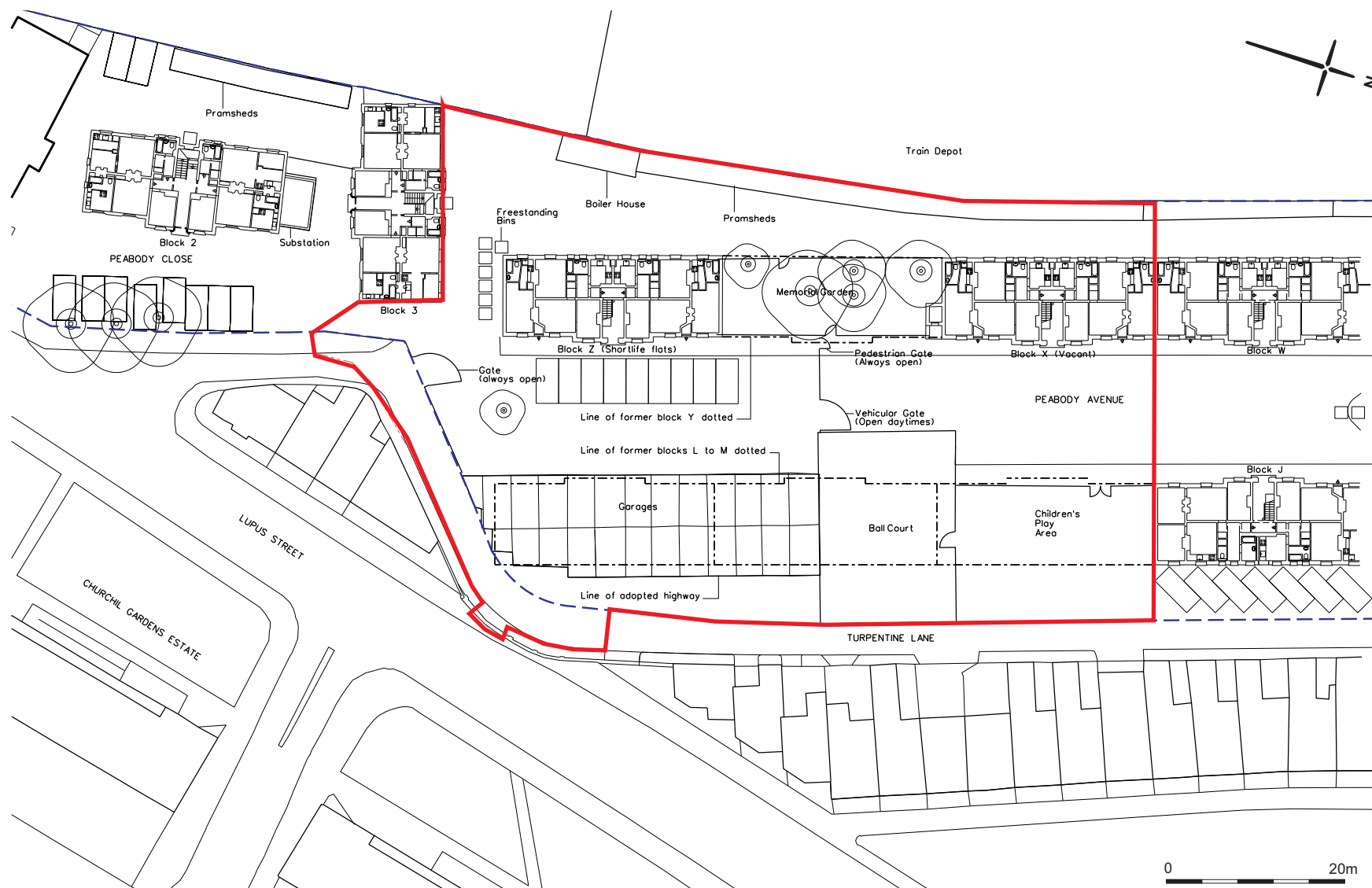


Fig 3 Main area of removals, with plan of ground-floor interiors as supplied by Haworth Tompkins (drawing number 0605/L(0)001, 'Existing Site Plan', revision B, July 2007, copyright of Haworth Tompkins). Note: the plans of Blocks X and Z have errors as explained in this report (see Sections 2 and 3)

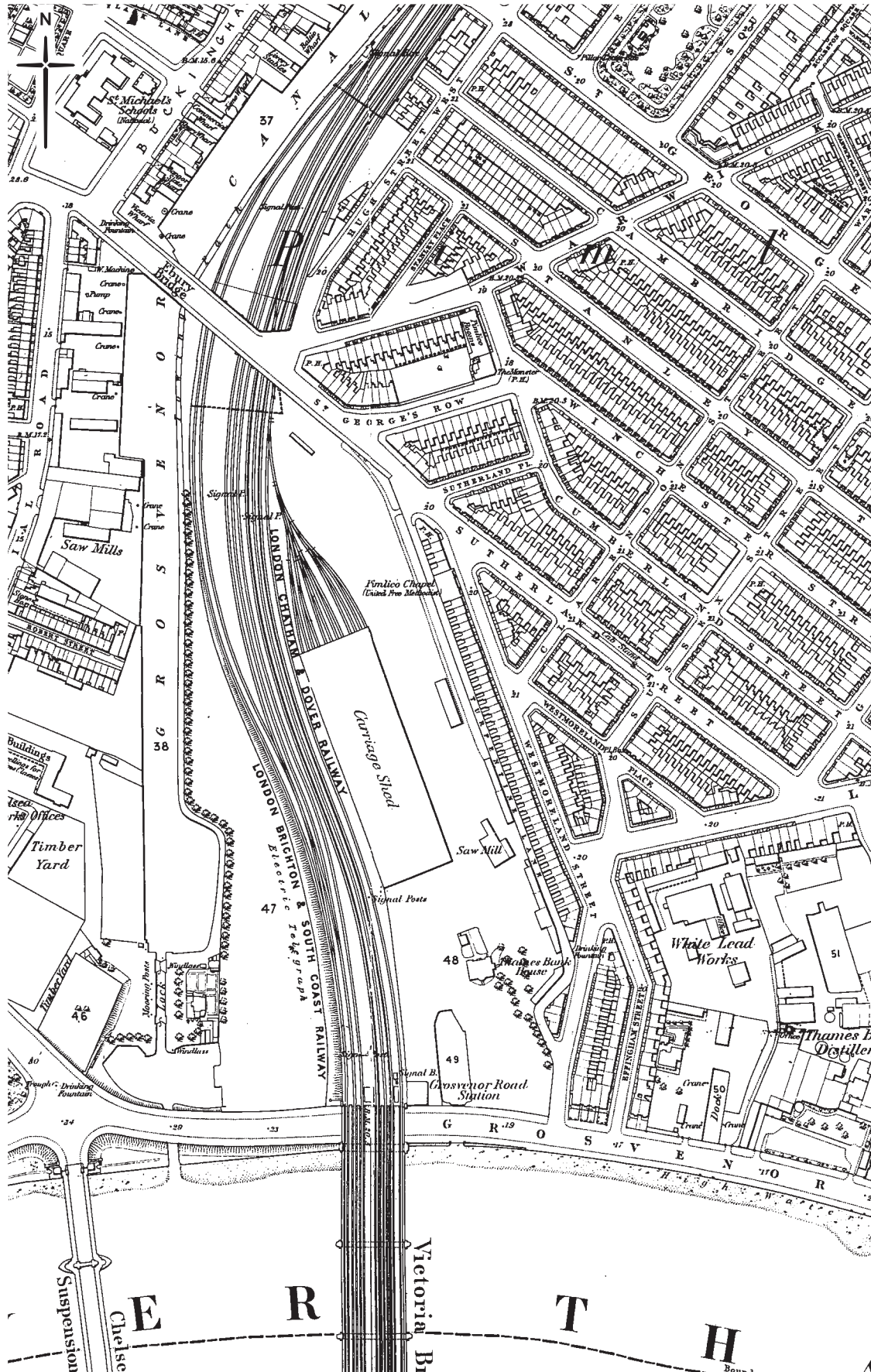


Fig 4 Detail of the 1869 Ordnance Survey 1:2500 map, London sheet LIV

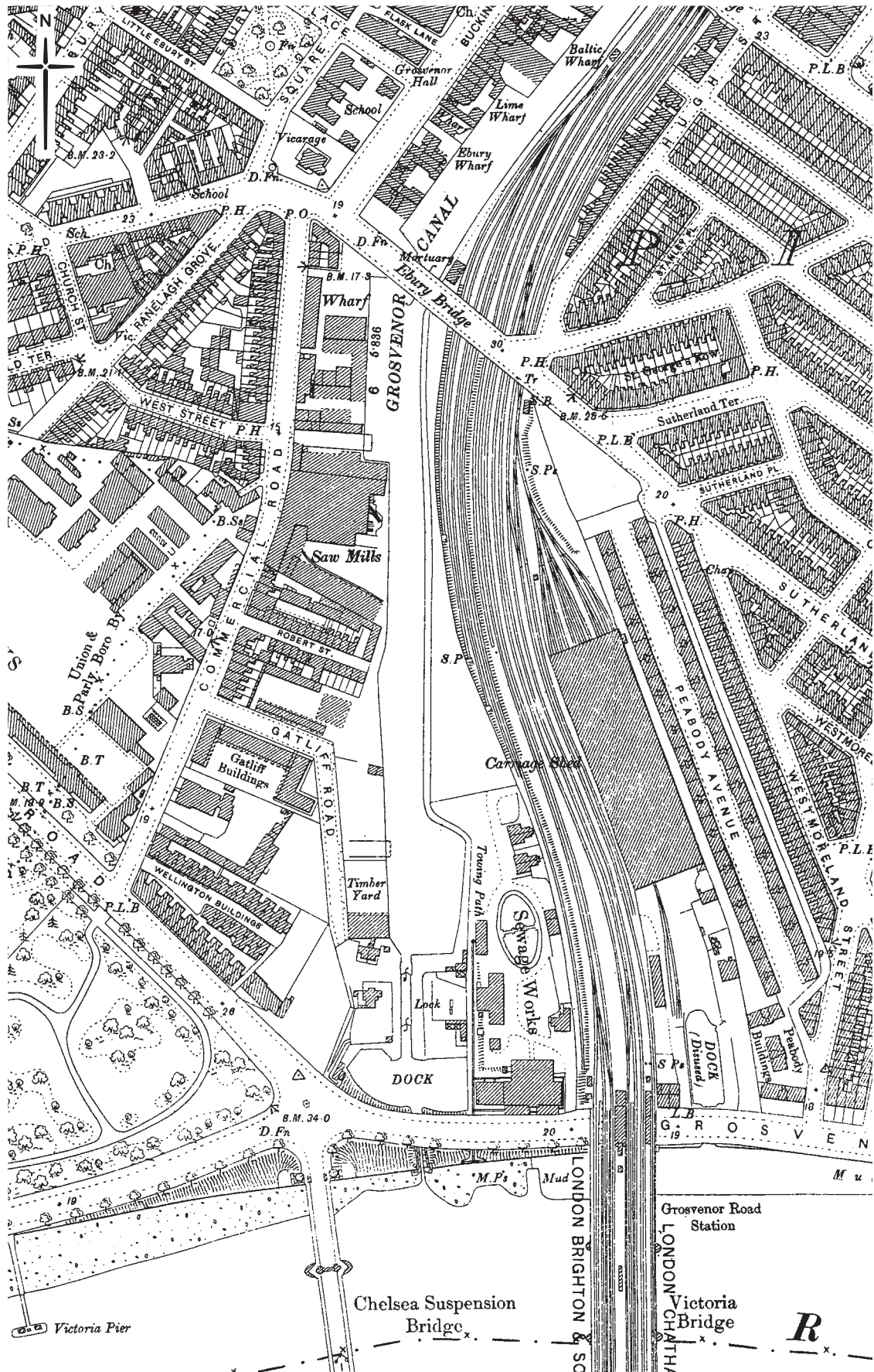


Fig 5 Detail of the 1894-1896 Ordnance Survey 1:2500 map, London sheet LXXXVIII/Middlesex sheet XXII.1

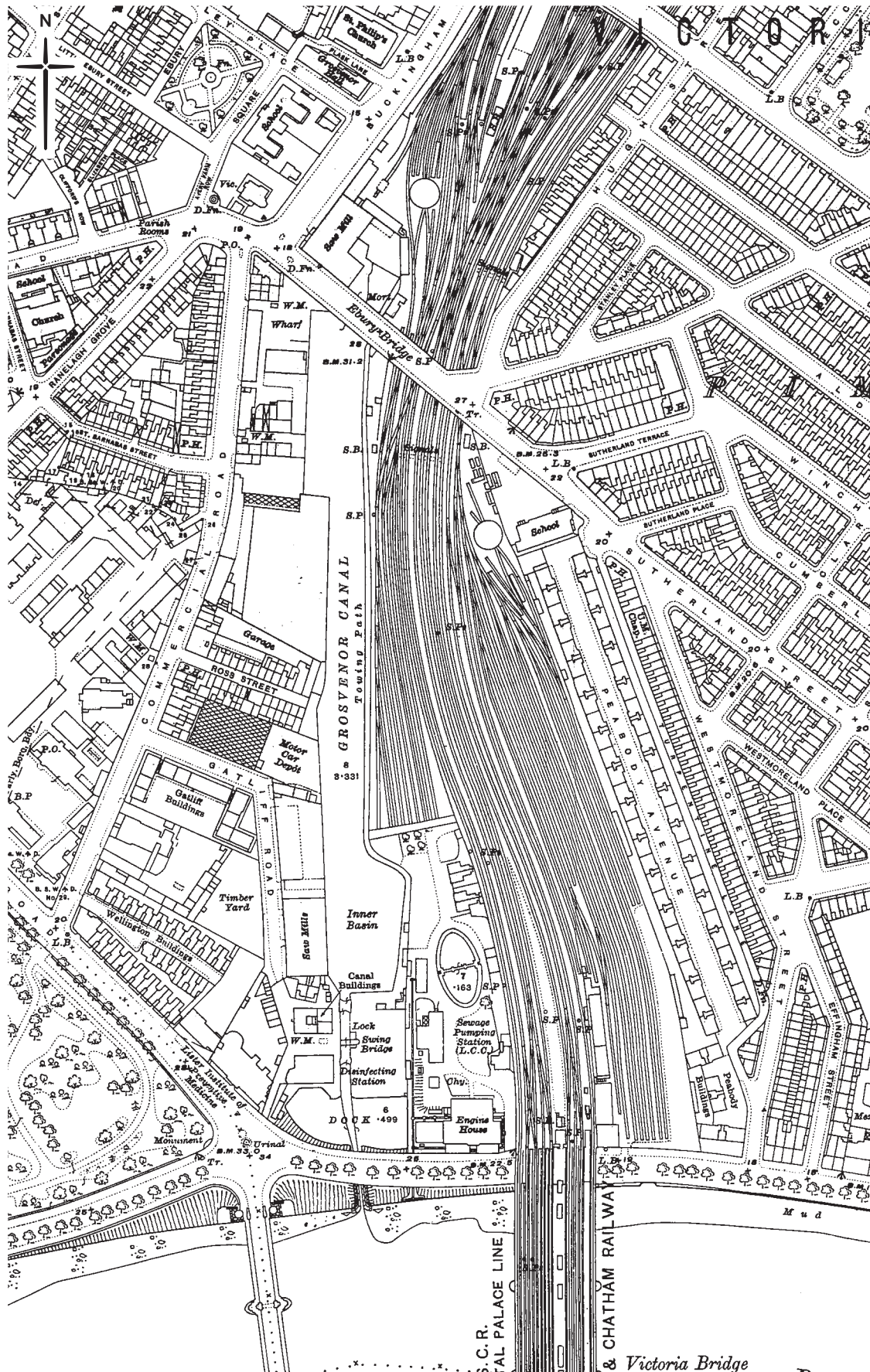
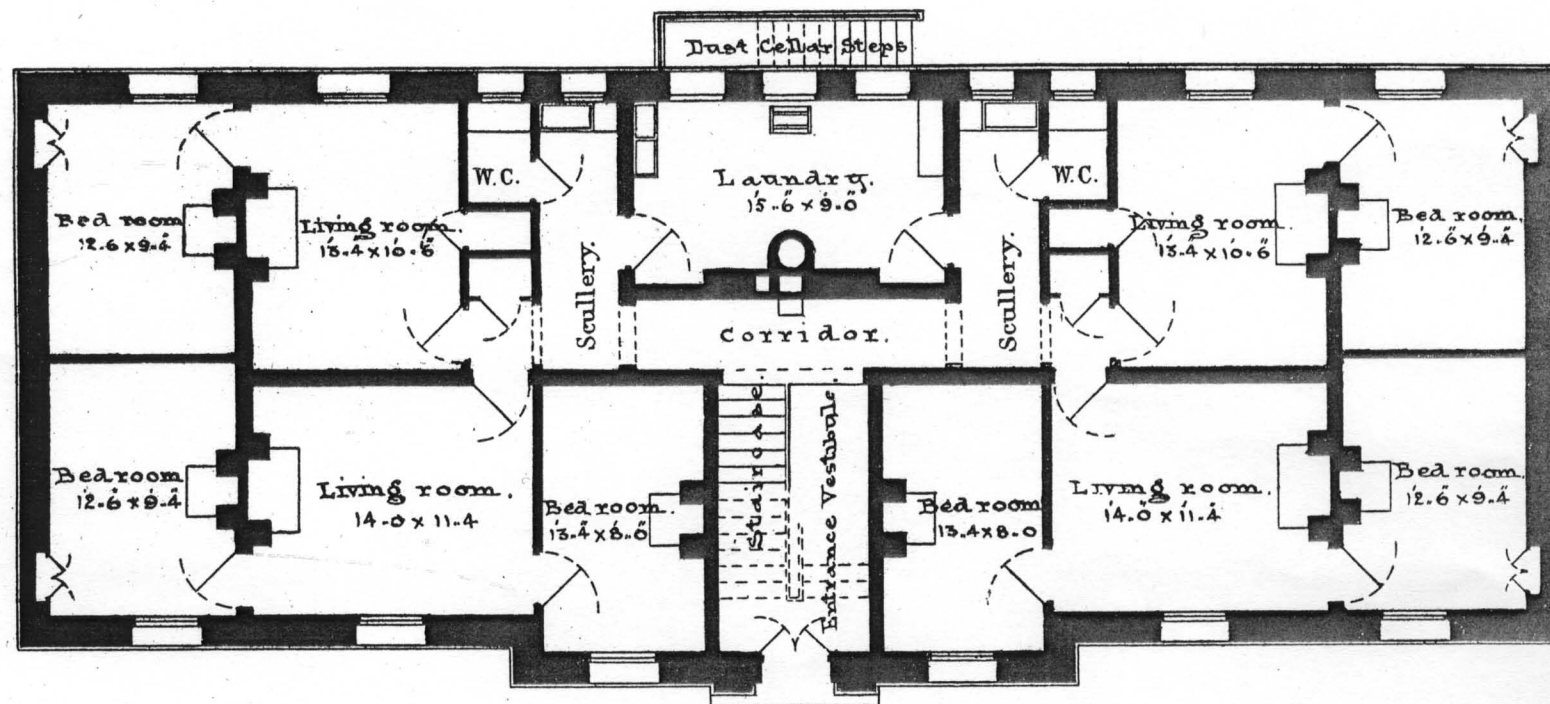


Fig 6 Detail of the 1916 Edition (survey revised in 1913) Ordnance Survey 1:2500 map, London sheet IX.1

PEABODY MODEL DWELLINGS, ERECTED AT PIMLICO.



GROUND PLAN.

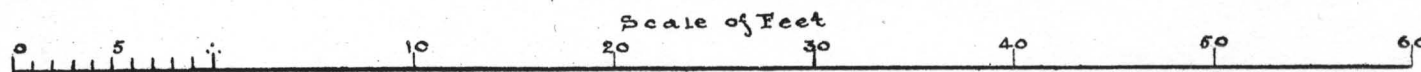


Fig 7 Architect's representative plan, Peabody Avenue buildings, Pimlico estate, 1875 (Darbishire 1876)



Fig 8 Looking north-west at the paving where the south end of Peabody Avenue meets Turpentine Lane. Note the scars of a former double-leaf gate (posts on either side and central scar where the two leaves of the gate would meet when closed).



Fig 9 Looking north, up Turpentine Lane, toward Peabody Avenue. Block 3 is the first building on the left and Block Z is the second (beyond Block 3).



Fig 10 Looking north from Turpentine Lane toward the southern junction of Peabody Avenue. Block Z is on the left (with signs for the 'Peabody Estate' and Peabody Avenue). In the distance, Peabody Avenue runs northerly between the long ranges of the estate



Fig 11 Looking north along Peabody Avenue, with Block X on the left side of the view



Fig 12 Looking north-west toward the Pimlico Estate from Lupus Street. Block X is the leftmost tenement in the view



Fig 13 Looking south-west across Turpentine Lane, just to the south of the Pimlico Estate's northern gate, with the long eastern range of the estate in the background. The brick wall of the estate runs along the far side of Turpentine Lane in this view



Fig 14 Looking south-west toward the northern extent of Turpentine Lane, with the northern gate of the Pimlico Estate on the right



Fig 15 Looking west toward the northern gate of the Pimlico Estate in Turpentine Lane, with the present two-storey City Guardians' office building in the background (on the far side of Peabody Avenue)



Fig 16 Looking south-east from the north end of the alley behind the western range of the Pimlico Estate. The present City Guardian's office is in the centre of the view, with the northern elevation of Block N above it. The backs (western elevations) of the western range extend southward in the view.



Fig 17 Looking south toward Block 3 from the alley behind the western range of the Pimlico Estate. Block X is the structure on the left in front of the trees.



Fig 18 Looking north toward the alley behind the western range of the Pimlico Estate. Block X is the structure on the right beyond the trees.



Fig 19 Looking north-west toward the small, brick boiler house at the western edge of the estate



Fig 20 Looking south toward the northern elevation of Block 3



Fig 21 Looking south-east toward the eastern side of Block 3, northern elevation



Fig 22 Looking west toward the eastern elevation of Block X



Fig 23 Looking west toward the north half of the eastern elevation of Block X and also the south half of the eastern elevation of Block W (with cleaned brickwork)



Fig 24 Looking north-west, showing the southern elevation of Block X



Fig 25 Looking north-east, showing the western elevation of Block X



Fig 26 Looking west through the main entrance into Block X



Fig 27 Looking north into the northern ground floor area of Block X from the main vestibule. This area was not accessible during the survey



Fig 28 Looking down and westward toward the ground floor vestibule from the halfspace landing on the stairs to the first floor, Block X



Fig 29 Looking west, showing the eastern elevation of Block Z



Fig 30 Looking north-west, showing the southern elevation of Block Z



Fig 31 Looking east, showing the western elevation of Block Z



Fig 32 Looking north-east, showing the western elevation of Block Z



Fig 33 Looking west-north-west from Lupus Street, showing the upper storeys, roof and chimney stacks of Block Z



Fig 34 Looking south toward the northern elevation of Block Z



Fig 35 Looking west through the main entrance into Block Z

PEABODY PLACE ~ BLOCK X ~ TOP FLOOR

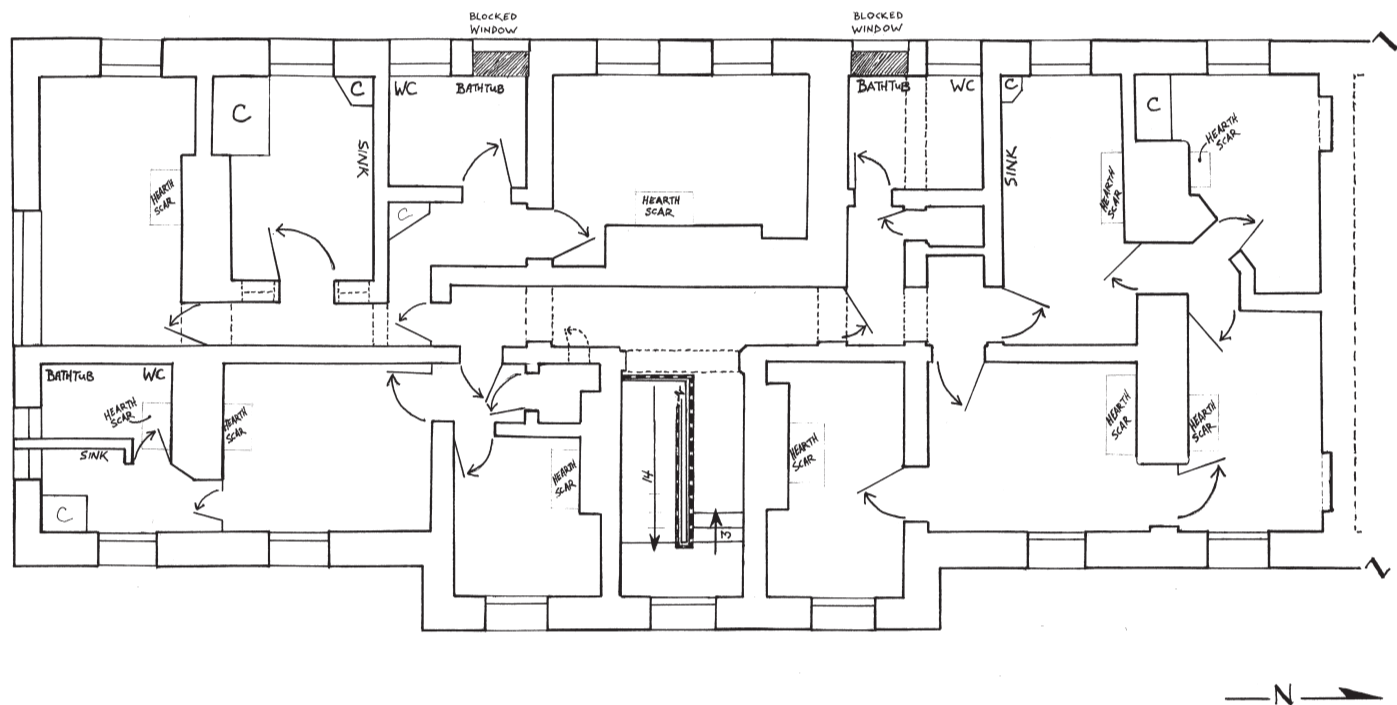
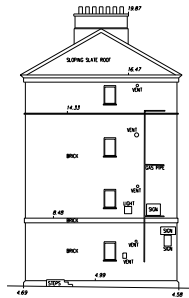


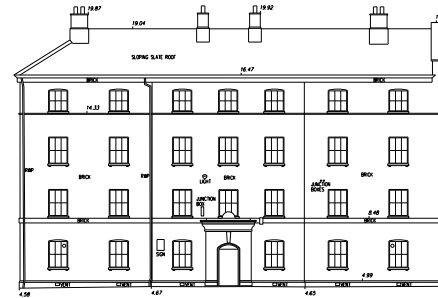
Fig 36 Drawn plan of 4th floor (top floor) of Block X



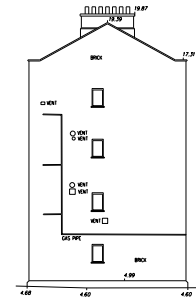
BLOCK Z
WEST ELEVATION



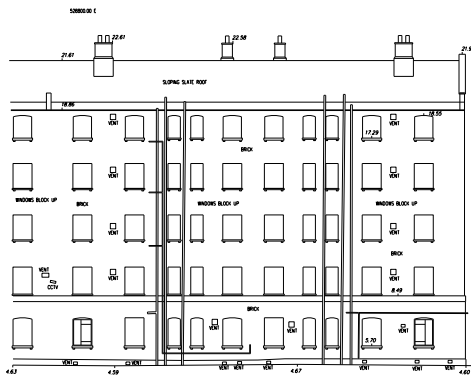
BLOCK Z
SOUTH ELEVATION



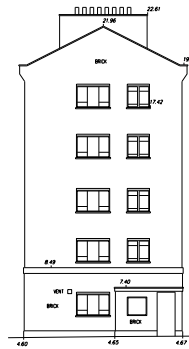
BLOCK Z
EAST ELEVATION



BLOCK Z
NORTH ELEVATION



BLOCK X
WEST ELEVATION



BLOCK X
SOUTH ELEVATION



BLOCK X
EAST ELEVATION



Fig 37 Client-supplied elevation drawings of Blocks X and Z (drawing number 0605/L(0)030, 'Existing elevations Blocks X and Z', revision I, December 2007, copyright of Haworth Tompkins). Note: a chimney stack has been left out of the drawings of both Block X and Block Z, specifically, a stack (with long axis aligned north-south) on the western slope of the roof, just below the ridge, in the centre of each building