

20 FORE STREET NORTHAM DEVON

Results of a Desk Based Appraisal
& Historic Building Assessment



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**20 Fore Street
Northam
Devon**

**Results of a Desk Based Appraisal and
Historic Building Assessment**

For

Mr. R. Littlejohns and Mrs. F. Harding
(the Clients)

By



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Summary

South West Archaeology Ltd. was commissioned to conduct a desk-based appraisal and historic building assessment of 20 Fore Street, Northam, Devon. This work was undertaken in advance of the excavation of a series of evaluation trenches, which would be located on the basis of the results of this report.

The desk-based assessment suggests that Fore Street and the buildings along it are of likely medieval origin, but those building(s) formerly located at the present number 20 had been demolished by the late 19th century, and were subsequently replaced by various 20th century structures. The historic building appraisal confirmed the largely 20th century date for the buildings on the site, and many of the internal boundaries. The southern boundary to the site, and the southern boundary to Areas 4 and 5 are of earlier origins, and may respect or incorporate the fabric of 17th century or earlier boundaries.

There is potential for some archaeological test-pitting within almost all of the six areas which comprise the site, but it is considered that Area 1 and to a lesser extent Area 2 have the highest archaeological potential. There is the possibility of the remains of the earlier buildings which occupied the site along the front of the plot (Areas 5 and 6), but the concrete floors and modern buildings may have truncated any such remains.

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1.0 Introduction

Location: 20 Fore Street
Parish: Northam
County: Devon

1.1 Project Background

South West Archaeology Ltd. (SWARCH) was commissioned by David Dark of Seldons Estate Agents (the Agent) on behalf of Mr. R. Littlejohns and Mrs F. Harding (the Clients) to conduct a desk-based appraisal and historic building assessment of 20 Fore Street, Northam, Devon (Figure 1). This work was undertaken in order to understand the date, form, function and development of the building from its origins, with the aim informing the impact of the proposed development of three dwellings to the rear of the building on the historic elements of the site.

1.2 Topographical and Geological Background

20 Fore Street is located approximately half way along Fore Street on the eastern side of the road, towards the south of the centre of the town. It is situated within Northam's Conservation Area on one of the historic roads which runs through the centre of the town. The town sits on the east facing slopes of the valley which drops down on the western side to the River Torridge. It sits less than c.2km south-west of Appledore and c.2.5km north-west of the centre of Bideford at approximately 60m (AOD).

Fore Street straddles a number of differing geological formations. Towards the north end of the street is the Ashburton Mudstone Member and Crackington Formation, the central part of the street overlies the sandstone and sedimentary bedrock of the Bideford Formation while to the south of the street is the Mudstone and siltstone of the Bideford Formation (BGS 2013). This is all overlain by the well drained fine loamy soils of the Neath Association (SSEW 1983).

1.3 Historical Background

Fore Street has a number of historic houses situated along both sides of it. For example Northam House and Number 27 are of 18th or early 19th century date while 18, 19, and 26 are of 17th century date or older (all of which are Listed). As well as this, the Parish Church, which is in part 15th century, but of earlier origins, is situated towards the northern end of Fore Street on the Square. 20 Fore Street and the outbuildings to the rear therefore sit within the historic hub of the village.

1.4 Archaeological Background

There has been little archaeological work carried out within Northam, except during works in the church (e.g. Laing-Trengove 2013; Passmore 2009) and in the wider parish (e.g. Bray 2010; Anon 2000). There are few features of interest noted on the Devon Historic Environment Record (HER) within the immediate vicinity of 20 Fore Street. The earliest features of note recorded on the HER, other than Listed buildings and the potential Castle site, are three possible Prehistoric round barrows approximately 700m to the north of the site (MDV4458), while approximately 500m to the east there is evidence of a post medieval windmill (MDV18208).

1.5 Methodology

The building survey was undertaken by Emily Wapshott in October 2014 in accordance with English Heritage (2006) and IfA (2008) guidelines on the recording of standing buildings and structures. The survey was based on an internal and external site inspection.

The desk-based appraisal was compiled by Victoria Hosegood in accordance with IfA (2008) guidelines.



Figure 1: Location map, the site is indicated.

2.0 Results of a Desk-based Appraisal

2.1 Historical Summary

Northam has a long documented history. There are ancient records dating to the 10th and 11th centuries recording the battle with 'Hubba the Dane'. It is said that Hubba landed in Appledore Bay and made his way to Kenwith where he laid siege to the castle. The tradition states that in a skirmish during his retreat Hubba and a number of his men were killed in a spot now called Bloody Corner, where a plaque now commemorates the event, but there is no solid evidence to corroborate this account.

There are a number of features which do suggest the presence of a Castle at the top end of the village; the name 'Castle Street' and the layout of some of the main streets within the village, for example Fore Street, Cross Street and North Street. The place name also suggests an early origin of the town. Both elements are Old English; *norð* meaning north or northern and *hām* meaning a settlement (village, manor, estate or homestead). Northam is listed as a manor in the Domesday Book when it was held by The Church of Saint-Etienne, Caen, from the King. There is record of the manor of Northam later being given by William the Conqueror to the Church of St. Stephens, in Caen, and confirmed in 1252, to the priory of Frampton, in Dorset, which was a cell to St. Stephens. The above summary is based on Lysons (1822); Hoskins (1978); Gover *et al* (1931); Thorn and Thorn (1985).

2.2 Cartographic History

2.2.1 Early cartographic sources

The earliest cartographic source available for this assessment is Donn's Map of 1765 (Figure 2). As is the case for many maps of this age, it is more illustrative than informative and the scale is inaccurate. It does however give an indication of the extent of Northam at this time; the church is present and a main road (Fore Street) with buildings either side of it is also present.



Figure 2: Extract from Donn's map of 1765.

The Ordnance Survey (OS) first series OS map of 1809 (Figure 3) provides much the same information as Donn's Map. It is clear that the town has developed considerably in the time between these two maps. The roads through the centre of the town follow the same approximate routes as the modern roads, and many of them appear to have buildings located on both sides. Fore Street is clearly visible on this map, as is the development on the eastern side of the road. Unfortunately it is difficult to establish whether the site assessed is present as the map is not detailed enough to distinguish between individual buildings.



Figure 3: Extract from the 1809 First Series OS Map, the approximate location of the building is indicated.

2.2.2 Northam Tithe Map 1839

The Northam tithe map of 1839 (Figure 4) is the first detailed and informative source available for this study. Again Fore Street is clearly visible on this map and some detail about the houses which run along it is available. The tithe map apportionment table which was drawn up at the same time as the map provides information about the ownership of the land and buildings visible on the map. The buildings along the east side of Fore Street are counted as one unit (739) named *Houses and Courts* and owned by William Fursedon and others. The plots to the rear of the buildings along Fore Street are individually numbered and are owned and occupied by a variety of families (see Table 1). On the close up of the buildings which are situated along the eastern side of Fore Street (Figure 4) 20 Fore Street appears to be part of a long stretch of buildings running along the northern side of Castle Street, Fore Street and the southern side of Cross Street. The buildings in the 'terrace' on this map are all of a uniform size and shape suggesting that they are of a similar form (and date?). This uniformity may therefore be indicative of two things; that the buildings were drawn in such a fashion for ease and speed or they are all part of an earlier (17th century) development, the remains of which survive in only a few places today. The former is the more likely of these two scenarios as many of the other streets on this map are depicted in the same manner and the apportionment

table has also left out information about ownership of individual buildings, likely for speed and ease. Despite the possible inaccuracies in the detail of this map it does tell us that the site assessed was occupied by a building.



Figure 4: Detailed extract from the 1839 Northam Tithe map.

No.	Land Owner	Occupier	Field Name
410	Thomas Shutt	Himself	Garden
411	Thomas Shutt	Himself	Garden
412	John Mugford	John Lock	Garden
413	Thomas Lock	Himself	Garden
413a	Henry Dunn	Mary Lock	Court
414	Arthur Day	Edward Lewis	Garden
415	Arthur Day	Edward Lewis	Garden
415a	John Sanders	William Sanders	Court
739	William Fursdon and others	William Fursdon and others	Houses and courts

Table 1: Extracts from the tithe apportionment table of 1838.

2.2.3 First and Second Edition Ordnance Survey map

The First Edition OS map (Figure 5) is the first map available in this study to show the detail of the buildings along Fore Street. The space that is today occupied by number 20, opposite the School, is shown as an open enclosure suggesting that an earlier building may have been demolished. The same is true of the second edition OS map of 1906 (Figure 6) although here the site is bounded suggesting that it is a courtyard or garden to one of the houses on either side of it. This all suggests that the building present today is later than this mapping. An early photograph of Fore Street dating to 1906 supports this, showing a high garden/yard wall fronting the plot (Figure 7), which is likely the boundary depicted on the second edition OS map.

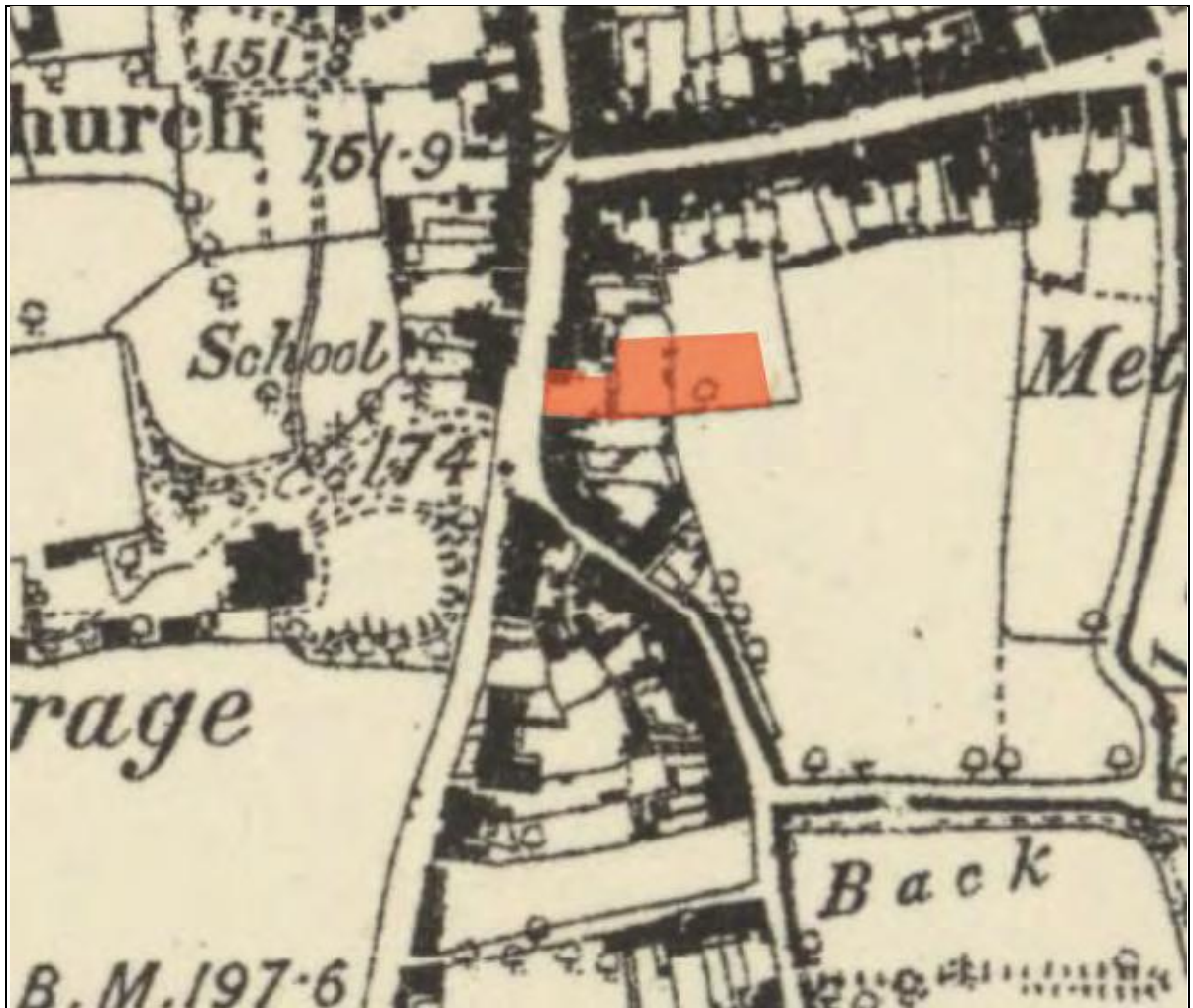


Figure 5: Detailed Extract from 1st Edition OS map of 1887, location of site is indicated.

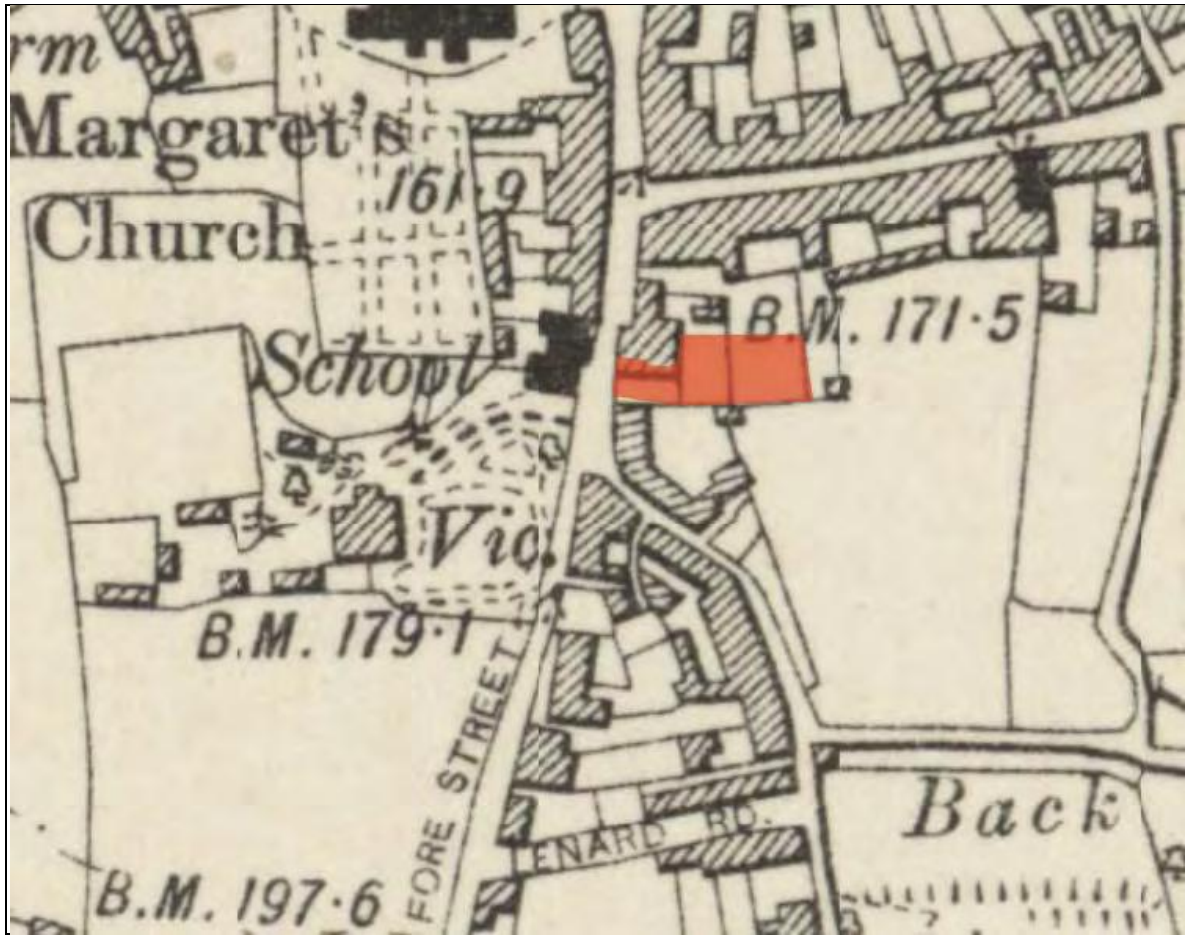


Figure 6: Detailed extract from the 2nd edition OS map of 1906, the location of site is indicated.



Figure 7: Photograph of Fore Street, 1906, the location of 20 Fore Street is indicated.

2.2.4 Later Mapping

The next available source is the 1938 Ordnance Survey map (Figure 8), here again the detail of the houses which run along Fore Street can be viewed. The site of 20 Fore Street, which in the previous maps was left unoccupied, here looks to have been filled. This suggests that at some point between 1906 and 1938 the current building was constructed.



Figure 8: Detailed extract from the 1938 Ordnance Survey Map.

3.0 Historic Building Assessment

3.1 Introduction

This assessment is designed to provide a general overview of the historic development and surviving features within the extant structures, as well as an outline of their general significance.

The site was visited in October 2014 by Emily Wapshott; access kindly provided by the owner Mr Robert Littlejohns. The site is being considered for a potential future planning application and this report represents an initial pre-planning evaluation of the archaeological potential and appraisal of the standing building remains.

The site is a complex multi-space urban plot within the ancient settlement of Northam, accessed via Fore Street and lying between Fore Street, Castle Street and Burrough Road. The different spaces within the plot are of markedly different character and have been described separately. A building occupies the western edge of the site alongside Fore Street.

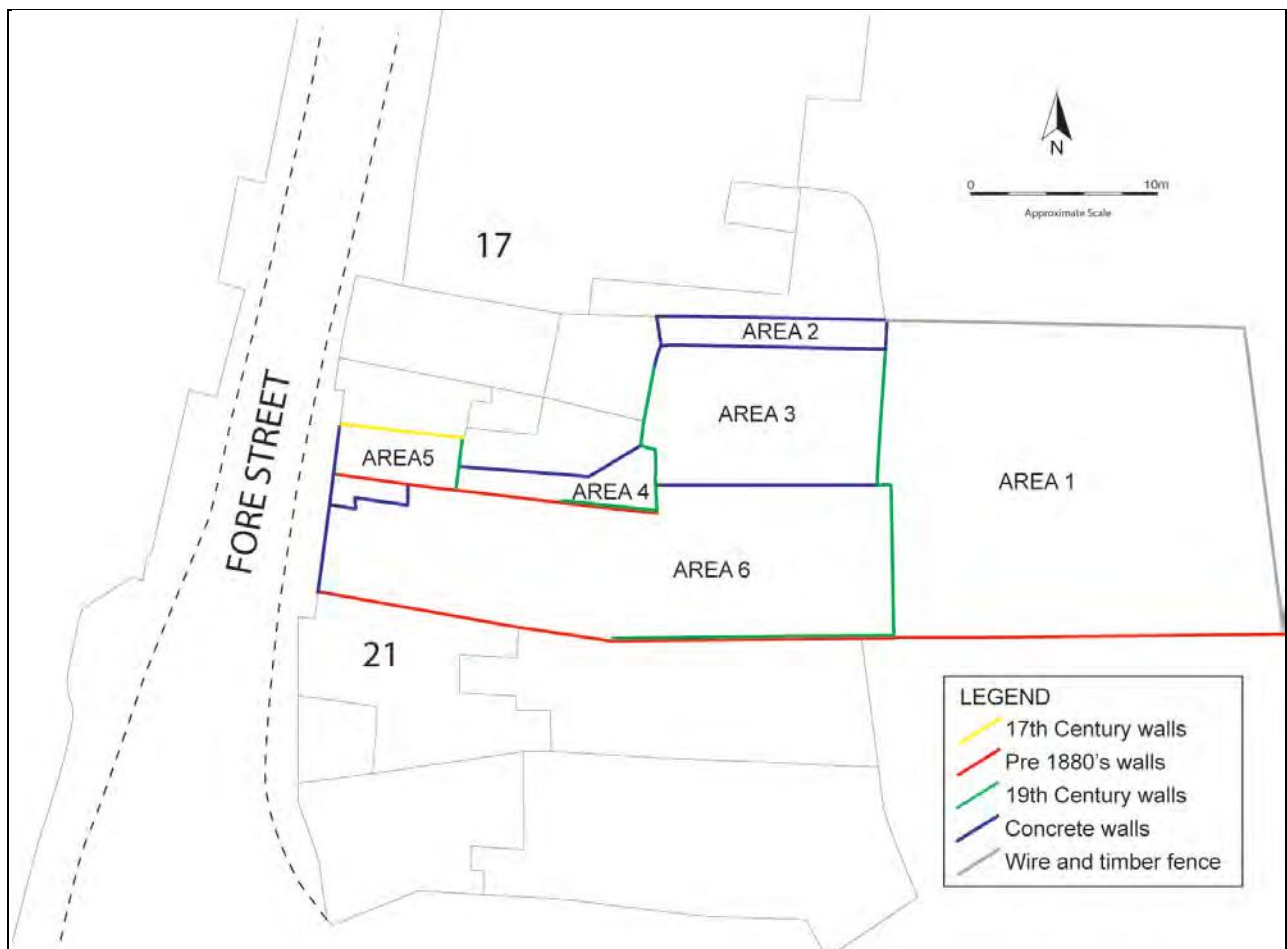


Figure 9: Site plan showing the extent and components which form the site.

3.1.1 Area 1

Area 1 is to the east of the site, bounded to the south and east by a small group of modern bungalows within grass lawns, a development for 'supportive-living', called Griggs Close. The space is part of a larger, walled, former garden plot.

This space is bounded by timber and wire fences to the east and north and by stone walls to the west and south. It has been used as a garden, now overgrown due to abandonment. There are a group of mature apple trees, arranged in a circular fashion, to the centre of the plot, enclosed within a concrete slab path. Other mature trees and shrubs cluster along the boundaries. No above-ground archaeological features of any particular note were noticed during this initial inspection, however the site is overgrown.

The wall to the south was noted as having fine quality stonework surviving within its structure (see Figure 10); this is of roughly coursed, tightly packed local slatestone, of flat slabs, with some small, blockier stones, with a thick lime re-pointing, an earth/soil bond. The upper part of the wall exhibits looser packed rubble stonework, which constitutes repairs to the wall. The wall stands to *approx.* 1.5m for much of its length within Area 1. To the western end, the south wall appears partly truncated or disturbed by the walls of Area 6 and to the east the south wall continues, enclosing the next garden plot (in separate ownership).



Figure 10: View along the south wall of Area 1; viewed from the west-north-west.

The stone wall to the west is largely obscured by ivy and other overgrowth but can be seen in part to be of rubble construction, roughly coursed, with the use of some larger blocks of local slatestone, in a lime mortar. The wall has been, where visible, patched extensively with cement and capped

with a cement semi-circular coping. This wall has a small opening forced within it to the north-west, framed in timber, providing access between Area 1 and Area 2.

3.1.2 Area 2

This space lies to the north-north-west of the site, behind the back-plot of Nos.18 & 19 Fore Street; it abuts Area 1 on its north-west corner and Area 3 to the south. A door opening in the south concrete block wall provides access to Area 3. Steps lead up to Area 1, the ground level of which is set approximately 1m higher than the current top of the rubble within Area 2.

The space is bounded by 20th century concrete block walls to the north, south and west, the western stone wall of Area 1 forms the eastern boundary. The area has been used to dump demolition waste, garden waste and is overgrown, the current ground surface completely obscured (see Figure 11). No above-ground archaeological features were viewed with these ground conditions and no standing building remains were viewed.



Figure 11: The overgrown Area 2, looking to the doorway leading to Area 1; viewed from the south-west.

3.1.3 Area 3

This space lies to the centre of the complex, between Area 2 to the north and Area 6 to the south, to the west of Area 1 and east of Area 4. This space lies behind Nos. 18 & 19 Fore Street. This area was once covered by a temporary roof and was used in some capacity as part of the coal yard/store which occupied Area 6 (R. Littlejohns *pers. comms.*). Area 3 is bounded by concrete block walls to

the north and south. The eastern boundary is formed by the west wall of Area 1, which is abutted at its base, by a rendered battered buttress, which runs the whole length of the wall.

To the west, between Areas 3 and 4 stands a stone wall. This stone wall dog-legs and stands to approximately 2.5-3m in height, varying along its length (see Figure 12). The wall has been built around and over several bedrock outcrops, of mudstone/slatestone. The wall is partially obscured by ivy. The stonework is of roughly coursed rubble slatestone, with dressed block quoins to both the inner and outer returns/corners. The wall is bonded with lime mortars, but has been extensively repointed in cement and patched with concrete blocks. A doorway linking Area 3 and Area 4 has been forced into this stone wall. The reveals of this forced opening have been rebuilt in a bright orange-red brick, in cement mortar, with a timber frame and narrow timber lintel, with additional concrete slab lintels. No door survives (Figure 12). The wall has a concrete block former outside toilet built up against it to the north end and is abutted by the concrete walls which form the north and south boundaries of Area 3.



Figure 12: Shot of Area 3; viewed from the east.

The ground surface in Area 3 is *approx* 1.5m lower than in Area 1. The space is covered by sections of poured concrete, cracked and broken in places and the edges of this concrete appear to have failed, being overgrown with weeds. This concrete appears to have been loosely laid directly over topsoil. No above ground archaeological features were viewed within this space.

3.1.4 Area 4

Area 4 lies between Area 5 to the west, Area 6 to the south and Area 3 to the east; all of which share party walls with the space. The space is used to gain access to Areas 1, 2 and 3 and is accessed via a door in the east wall of Area 5. The space is bounded to the east, south and west with stone walls, to the north with a modern concrete block wall and part timber fence (see Figure 13).



Figure 13: View of Area 4, from the doorway between Area 4 and Area 3, showing the boundary plot wall; viewed from the east-north-east.

The stone wall described in Area 3, forms the eastern boundary of this space. This wall within Area 4 has a marked batter to the base which has been rendered in cement. South of the doorway to Area 3, the wall can again be seen to be built up and over a bedrock outcrop. The stone wall returns at a 90 degree angle to the west, where it is (potentially) abutted by another section of stone wall, of looser rubble construction. This area is partly obscured by ivy.

This next section of wall, lying to the south-east corner of Area 4, rises to a former gable-end and contains a narrow window opening with timber frame and glass pane, under the slope of a former single pitch roofline. To the base of this wall is a wider projecting structure, which is also of rubble stone, currently capped with a number of concrete slabs. This whole section of wall abuts an earlier wall which runs back from Fore Street and has been truncated at this point.

A tall stone wall forms the south boundary of Area 4 and continues through Area 5 to Fore Street. This wall is of roughly coursed, tightly packed, rubble stone, of a mixture of the local slatestone and mudstone. The stonework is somewhat similar in style to that seen in the south wall of Area 1. The wall exhibits many phases of lime pointing. Inclusions in the various lime mixes are of crushed and broken shell, grit and small pebbles and these lime mixes are of a yellowish-grey or pinkish tinge,

possibly mixed with local soils or clays. A cleaner whitish-grey lime re-pointing also includes flecks of coal. One of the many small voids within the wall was examined and the bond of the wall was seen to be a light greyish-brown silty soil, mixed with some lime. Some large pebbles are included in the stonework, as well as fragments of brick, of pale pinkish-orange coloured terracotta. The wall has previously been whitewashed, evidence of which survives in part.

This wall is now partially obscured by a large metal fire escape which rises to the first floor, serving the flat built across the tops of Areas 5 & 6, alongside Fore Street. The wall has been patched with brick, cement block and concrete at first floor level due to the construction of the flat. A large circular end of a beam can be seen to have been forced into the wall from the south side, projecting slightly, with cement patching around the hole.

The ground surface of this space is covered in various sections by poured concrete. This is broken and cracked, being breached by weeds. A raised earth flower bed, combined with stones, possibly an attempt at a rockery, has been built up against the stone walls in the south-east corner and obscures any details to the base/ground level. Several manhole covers serve drainage systems and services in this area.

3.1.5 Area 5

This space is a room contained within the ground floor of the northernmost segment of the building, adjacent to Fore Street, with a pair of double doors in an arched opening, giving access to the street. The space abuts Area 4 to the east and Area 6 to the south. The space was used as a second garage and store, associated with the coal yard/store in Area 6.

The wall to the west, alongside the street is of painted concrete blocks. To the north is a stone party wall shared with the adjacent property, which is a Grade II Listed, 17th century building. This is whitewashed and has been treated with a thin coat of a cement render scored to look like brickwork. To the east is another stone rubble wall, which abuts that to the north and that to the south, with straight joins between. This wall contains the doorway to Area 4, with timber frame and plank door, painted green, with iron door furniture (see Figure 14). To the south is a roughly coursed slatestone wall, heavily whitewashed. This wall is the continuation from Area 4 of the southern boundary wall and the southern face of this wall can also be seen in Area 6.

The ceiling of the room is of modern plywood and boarding, this is supported on a narrow modern timber to the west and on part of a historic boat mast to the east (R. Littlejohns *pers. comm.* whose father or grandfather undertook the conversion). These timbers have been forced into both the north and south stone walls of the space. The floor of this room is of poured concrete.



Figure 14: Area 5, from the double doorway; from the west.

3.1.6 Area 6

Area 6 is the largest within the complex and occupies the majority of the southern boundary of the site. It runs between Fore Street to the west and Area 1 to the east, with Areas 3, 4 & 5, sharing party walls to the north. This area was historically used as a coal yard/store in the late 19th/20th century. The street frontage was also a garage, housing the fuel tanks for the coal lorries. The space is accessed via a large double door in a wide flat arched opening. The whole space is roofed with a

timber and metal framed structure, covered in fibre, clear plastic and metal sheeting. Several beams within this structure are cut down sections of recycled boat mast (R. Littlejohns *pers. comm.*).

The space is bounded by a concrete block wall to the west, painted cream and black; to the south is a stone wall of various phases of construction. To the east is a concrete block buttress built up against the base of the stone party wall with Area 1. To the north, at the east end, are the concrete block party walls with Area 3, to the centre the stone party walls with Area 4 and to the west, the stone party wall with Area 5, then a section of projecting concrete block wall forming the space for the staircase which gives access to the flat above.

The stone wall to the north, at the western end, is as seen in Areas 4 & 5. To the centre of the north wall, where Area 6 has a party wall with the south-east corner of Area 4, are features of note; various abutting phases of stone wall (see Figure 15). These walls probably represent the remains of a small building, now demolished; and may have been built up against a boundary wall, parallel to the road, thereby dividing the plot. Ragged joins have been capped and repaired in dark red modern brick, significant areas have been rendered and the whole has been buttressed to its base by concrete blocks, to support a ceiling beam. There is potential for the stone wall to have continued across the space, to the south wall. It is not clear if the interior of the building would have been within Area 4 or Area 6.



Figure 15: The various phases of stone work visible in the north wall of Area 6, party walls with Area 4; viewed from the south-east.

The long southern boundary is composed of various styles of stonework from varying periods. To the west, evidence can be seen within the wall of a slight batter to the base. The stonework is of fine quality, roughly coursed, tightly packed slatestone stonework, similar to that seen in Area 1, but in worse condition. This has been built over by other roughly coursed stonework and then looser

rubble stonework, the whole whitewashed and heavily repointed in cement. This wall runs back from the street at a slightly oblique angle, abutted by pillars of rubble stone and concrete blocks, supporting the roof structure. To the centre of the southern boundary, the stonework becomes disturbed. The wall drops back at a more pronounced angle, a projecting buttress running along its base. Here the wall appears to have formerly had a return, projecting jagged dressed stones stick out of the wall. This wall line would seemingly line up with the wall seen in Areas 3 & 4.

The better quality stonework appears to then run behind an even larger buttress along the base of the wall, which stands *approx.* 1.5m high. This is constructed of loose, blocky rubble stone in greyish-white lime mortar, heavily repointed in cement. This widely projecting buttress addresses a step back in the wall which drops to the south and also a significant drop in levels from No.21 Fore Street, whose garden back plot is 2.5-3m higher than the ground surface level within Area 6. This large buttress structure obscures the lower part of the wall, however, the wall can be seen to line up with that to the south of Area 1. The upper section of the wall looks to have been rebuilt in looser rubble stone. The wall has a number of forced openings within it, forming windows; the reveals of these are rebuilt in dark red brick, in cement mortar, with timber frames to the casement windows. When looking along this wall it can be seen that it continues its oblique angle from the street, the buttress redressing this within the space, creating a regular rectangular space, within what is something of a wedge-shaped plot.

The floor of the space is covered by sections of poured concrete of varying levels of quality and condition. To the west alongside the street is the blocked underground fuel tank and fuel pump lines.

3.1.7 The Flat

The flat built over Area 5 and the western part of Area 6 is of concrete block, painted, with timber cladding to the first floor (Figure 16). The roof is of slate, with modern plastic guttering. The windows and single front door are of UPVC double glazing type, with a conservatory to the east side. The interior of the flat has a plasterboard or chipboard floor and the walls are all plasterboard partitions. No historical structural evidence was observed.



Figure 16: View of the rear of the 20th century flat built over Areas 5 & 6; viewed from the north-east.

4.0 Potential Locations for Trenches

Following on from the site inspection it is clear that there is potential for the insertion of a small number of evaluation trenches and or test-pits within the bounds of the site to assess the archaeological potential (see Figure 10). The majority, if not all, of these test pits and trenches would have to be hand-excavated. The locations and merits of these excavations are discussed briefly by area below.

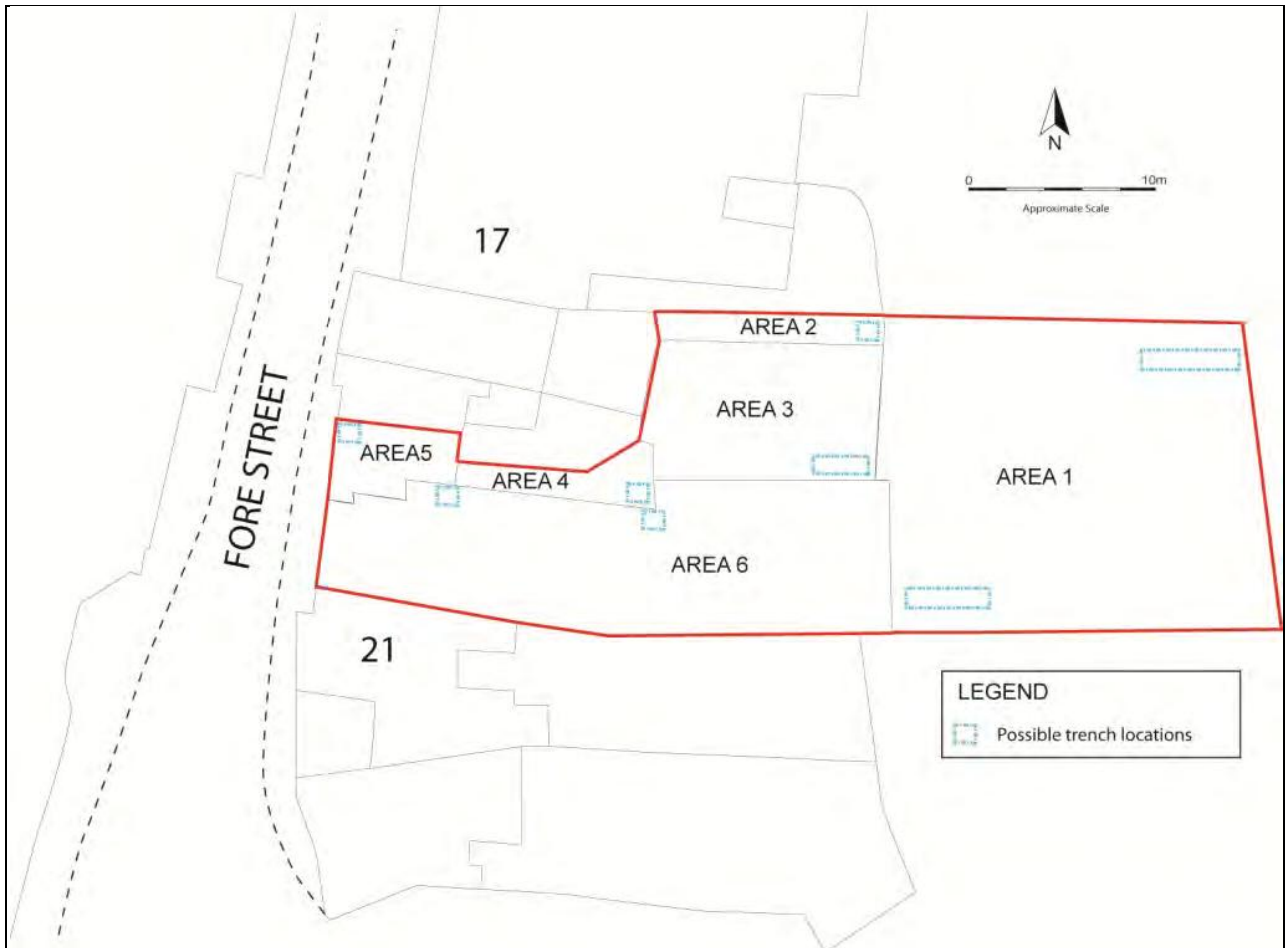


Figure 17: Plan showing the approximate locations in which evaluation trenches could be excavated.

4.1.1 Area 1

Area 1 is likely to have suffered a less severe degree of truncation than any of the other areas within the proposal site, and therefore has the greatest potential for surviving archaeological features and deposits. The large number of trees, primarily apple trees, in the Area makes it very difficult to fully assess at this stage. Two trenches could be set in the south-west and north-east corners of Area 1, as these areas are slightly more open, although still overgrown, but without the more substantial trees causing obstructions. Both trenches may well be able to answer questions about any surviving deeper archaeological deposits in the upper garden plots, looking at the earlier historic uses of this area.

4.1.2 Area 2

Area 2 also has some potential for surviving archaeological deposits, but is c.1m lower than Area 1. The ground surface was completely obscured by rubble and undergrowth, so a single small test pit (e.g. 1m x 1m) is recommended, probably near the stone wall (between Areas 1 & 2) to the east end of the space. It should be noted that the historic mapping suggests that this space was occupied by a building in the 20th century (see Figure 8), and may have a concrete floor.

4.1.3 Area 3

Area 3 is approximately c.1.5m lower than Area 1 to its east, and the stone boundary wall to the west can be seen to be built onto natural rock outcrops, suggesting that the area may have been severely truncated. A single longer trench or a couple of test-pits could ascertain the degree of truncation, with survival probably better towards the east.

4.1.4 Area 4

A small test pit (e.g. 1m x 1m) could be placed in the south-east corner of the space, adjacent to the various phases of stone wall which are of complex character and require clarification. This trench can target the buildings built along the wall between Areas 3 & 4 in the 19th century. Earlier deposits may also be found and material from domestic waste.

An additional small test pit (e.g. 1m x 1m) could be positioned under the metal fire escape against the boundary plot wall, to the western end of the space, but not in such a way as to block the access door; this could answer questions about the rebuilding/truncation of this wall and the survival of any earlier building footprint.

4.1.5 Area 5

Area 5 is probably of limited archaeological potential having been subject to 20th century work. However, a single test pit (e.g. 1m x 2m) could be positioned against or adjacent to the north wall of this space, to the western side, to target any potential surviving historic street frontage remains from an earlier building, as well as looking for evidence of walls confirming the apparent truncation of the adjacent Listed Building.

4.1.6 Area 6

Area 6 is felt to be of very low archaeological potential, particularly in the western part of the plot. It should also be considered that this space is currently used for paying parking spaces for residents and any trenches would have to allow examination of the potential surviving deposits without interrupting this function, the entrance/exit route running along the south wall.

It may be possible to insert two small test pits (e.g. 1m x 1m) along the northern boundary wall, along the line of the exterior walls of the adjacent buildings, to attempt to target any surviving evidence of the building recorded on the tithe map. Another test pit, further east could be positioned to respect the truncated wall which projects from the party wall between Areas 4 & 6. This would target the demolished wall which formerly divided the back plots at this point.

5.0 Conclusions

The desk-based assessment suggests that Fore Street and the building along it are of likely medieval origin, but those building(s) formerly located at the present number 20 had been demolished by (at least) the late 19th century, and were subsequently replaced by various 20th century structures.

The historic building appraisal confirmed the largely 20th century date for the present buildings on the site, and for many of the internal boundaries and structures. The southern boundary to the site, and the southern boundary to Areas 4 and 5 are of earlier origins, and may respect or incorporate the fabric of 17th century or earlier boundaries. The western boundary to Area 1 is also of pre-1840 origin, but was seen to abut the southern boundary. The western boundary to Area 3 is probably contemporary with this pre-1840 wall, and again abuts one of the earlier walls (the southern boundary to Area 4). The east boundary to Area 5 is of a pre-1887 origin, but clearly post dates the 17th Century building to the north, and the southern wall to Area 5.

There is potential for some archaeological test-pitting within almost all of the six areas which comprise the site, but it is considered that Area 1 and to a lesser extent Area 2 have the highest archaeological potential. There is the possibility of remains of the earlier buildings which occupied the site along the front of the plot (Areas 5 and 6), but the concrete floors and modern buildings may have truncated any such vestiges.

6.0 Bibliography & References

Published Sources:

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- Passmore A.J.** 2009: *Archaeological recording in the Tower of the Church of St Margaret, Northam, Devon*. Exeter Archaeology Report No 09/04. [assessment & evaluation reports]. OASIS ID: exeterar1-54540
- Thorn, C. and Thorn, F. (eds.)** 1985: *Domesday Book: Devon*. Chichester.

Unpublished Sources:

Devon Heritage Centre
Northam Tithe Map and Apportionment

Appendix 1

PROJECT DESIGN FOR DESK-BASED ASSESSMENT AND HISTORIC BUILDING APPRAISAL AT 20 FORE STREET, NORTHAM.

Location: 20 Fore Street
Parish: Northam
County: Devon
NGR: SS 44492 2899
Planning Application no: Pre-Application
Proposal: Three dwellings to rear
HET ref: ARCH/DM/TO.21702
OASIS Record ID: Southwes1-191562
Date: 2nd October 2014

1.0 INTRODUCTION

1.1 This document forms a Written Scheme of Investigation (WSI) which has been produced by South West Archaeology (SWARCH) at the request of David Dark of Seldons Estate Agents (the Agent) on behalf of Mr R. Littlejohns and Mrs F. Harding (the Clients). It sets out the methodology for a desk-based assessment and historic building appraisal to be undertaken at the above development and for related off site analysis and reporting. The PD and the schedule of work it proposes were drawn up in accordance with a brief (28/05/14) issued by Ann Marie Dick of the Devon County Historic Environment Team (DCHET). This PD covers the **first stage** of a staged process of works. The evaluation trenching required by the brief, and any further mitigation works, will be covered by separate PDs.

1.2 In accordance with paragraph 128 of the *National Planning Policy Framework* (2012), and then the Torridge Local Plan Policy (ENV4 (paragraph 6.42)) on heritage assets, which state that:

NPPF (2012: 128)

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a

minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.

TLPP (ENV4 (paragraph 6.42))

Development will be permissible provided that:

(a) nationally important archaeological remains and their settings are not affected adversely; and
(b) archaeological remains of local importance are preserved in situ with appropriate restoration or enhancement; and
/or

(c) where physical preservation cannot be achieved and the case for the development outweighs the case for preservation, appropriate arrangements are made for the examination, recording, and reporting of the remains prior to and during development.

(2) Where archaeological potential is suspected, a planning condition will be imposed to require that adequate provision shall be made for assessment, recording, and reporting of archaeological remains discovered during development, and for their physical preservation where appropriate.

2.0 ARCHAEOLOGICAL BACKGROUND

The proposal site lies within the Northam Conservation Area, and within the historic core of Northam, which is recorded as a manor in 1086. The building adjoining to the north, which is Grade II Listed, is described in the List entry as 17th Century or earlier, and shows evidence of possible Medieval origins.

The site lies between the 15th century parish church to the north-west, and Castle Street to the south. Although no castle site is currently known in Northam this street name may be of significance.

The 1838 Tithes Map depicts the roadside buildings in a stylised manner, but shows a number of plots extending back to the east from Fore Street. It is likely that one or more of these are associated with 20 Fore Street. The 1880s Ordnance Survey map shows a number of small outbuildings within the site, and it is possible that evidence of Medieval and later occupation may survive within the proposal site as buried archaeological deposits, and that the boundary wall may retain evidence of former associated structures.

3.0 AIMS

3.1 The principal objectives of the work will be to:

3.1.1 Undertake a desk-based appraisal of the site;

3.1.2 To conduct a historic building appraisal prior to the commencement of the works;

3.1.3 To analyse and report on the results of the project as appropriate.

4.0 METHOD

4.1 Desk-based Appraisal:

The programme of work shall include a desk-based *appraisal* of the site to place the development area into its historic and archaeological context. This will include examination of cartographic sources; *Ordnance Survey maps and the Tithe Map(s) and Apportionments* to provide an analysis of map regression of the buildings concerned. Locally held documents will also be consulted where available and the Devon Historic Environment Record will be consulted. This information will be presented as part of the final report along with the results of the fieldwork.

4.2 Historic building appraisal:

An appraisal shall be made of the outbuildings and boundary wall. This work shall conform to an appropriate level of recording as set in *Understanding Historic Buildings: A guide to good recording practice* - English Heritage 2006 (available on-line at <https://www.english-heritage.org.uk/publications/understanding-historic-buildings/>). Previously prepared architect's plans will be used as the basis of any historic building fabric recording, provided they are of adequate scale and accuracy.

4.2.1 An illustrated, scaled, phased plan and appropriate elevations of the extant buildings will be produced, identifying any original and later elements of the building, as well as any fixtures, fitting or features of special architectural interest, to set the building in its local, regional and national context.

4.2.2 A written description of the structures will be made. This will include a description of the historic building fabric, fenestration, fixtures and fittings – or absence of – and will include a description of completeness as well as areas subject to modern disturbance, repair or rebuild. A discussion of the significance of the structures as heritage assets as well as the potential impact of the proposed development will be included.

4.2.3 A photographic record of the historic buildings will be prepared. This will include internal and external photographs of the buildings concerned, including each room and each external elevation, illustrating the principal architectural features and any findings, in detail and in context. The photographic record will also include working shots to illustrate more generally the nature of the archaeological operation mounted. All photographs of archaeological detail will feature an appropriately-sized scale. The drawn and written record will be on an appropriately archivable medium.

5.0 REPORTING

5.1 The type of report produced will be agreed with the HET in view of the results. If a full report is produced it will include the following elements:

5.1.1 A report number, date and the OASIS record number;

5.1.2 A copy of this PD;

5.1.3 A summary of the project's background;

5.1.4 A description and illustration of the buildings location;

5.1.5 A methodology of the works undertaken;

5.1.6 Plans and reports of all documentary and other research undertaken;

5.1.7 A summary of the project's results;

5.1.8 An interpretation of the results in the appropriate context;

5.1.9 A summary of the contents of the project archive and its location (including summary catalogues of finds and samples);

5.1.10 A site location plan at an appropriate scale on an Ordnance Survey, or equivalent, base-map;

5.1.11 A plan showing the layout of the building subject to this programme of work in relation to identifiable landscape features and other buildings;

5.1.12 The results of the historic building recording that shall include a written description and analysis of the historic fabric of the building, appropriately;

5.1.13 Photographs showing the general site layout and exposed significant features of historic or architectural significance that are referred to in the text. All photographs will contain appropriate scales, the size of which will be noted in the illustration's caption;

5.1.14 A consideration of evidence within its wider context;

5.1.15 Any specialist assessment or analysis reports that were undertaken;

5.2 DCHET will receive the report within three months of completion of fieldwork, dependant on the provision of specialist reports, radiocarbon dating results etc, the production of which may exceed this period. If a substantial delay is anticipated then an interim report will be produced and a revised submission date for the final report agreed with the HET.

5.3 Should the development proceed in a staged manner, with each stage requiring archaeological fieldwork, and where a period of more than three months between each stage is anticipated or occurs, then SWARCH will prepare an interim illustrated summary report at the end of each stage. The report will set out the results of that phase of archaeological works, including the results of any specialist assessment or analysis undertaken. The report will be produced within three months of completion of each phase of fieldwork. At the completion of the final stage of the fieldwork an overarching report setting out the results of all stages of work will be prepared. HET would normally expect to receive the report within three months of completion of fieldwork - dependent upon the provision of specialist reports, radiocarbon dating results etc the production of which may exceed this period. If a substantial delay is anticipated then the HET will be informed of this, an interim report will be produced within three months of the completion of the final stage of fieldwork, and a revised date for the production of the full report agreed between the HET and SWARCH.

5.4 A copy of the report detailing the results of these investigations will be submitted to the OASIS (*Online Access to the Index of Archaeological Investigations*) database under reference Southwes1-191562 within 3 months of completion of fieldwork.

6.0 MONITORING

6.1.1 SWARCH shall agree monitoring arrangements with the HET and give two weeks' notice, unless a shorter period is agreed, of commencement of the fieldwork. Details will be agreed of any monitoring points where decisions on options within the programme are to be made.

6.1.2 Monitoring will continue until the deposition of the site archive and finds, and the satisfactory completion of an OASIS report - see 8.0 below.

6.1.3 SWARCH will notify the HET upon completion of the fieldwork stage of these works.

7.0 ARCHIVE

7.1 On completion of the project an ordered and integrated site archive will be prepared in accordance with the Management of Research Projects in the Historic Environment (MoRPHE)(<http://www.english-heritage.org.uk/publications/morphe-project-managers-guide/>).

The digital element of the archive will be transferred to the Archaeology Data Service (ADS) for long-term curation. A reference number will be obtained from the Museum of Barnstaple and North Devon (MBND), with regard deposition of the material (finds) element of any archive created by these works.

7.2 The archive will consist of two elements, the digital archive and the material archive.

7.2.1 The digital archive, including digital copies of all relevant written and drawn records and photographs, will be deposited with the Archaeology Data Service (ADS) and in compliance with their standards and requirements.

7.2.2 The material archive, comprising the retained artefacts/samples and the hardcopy paper record (if requested) will be cleaned (or otherwise treated), ordered, recorded, packed and boxed in accordance with the deposition standards of the MBND, and in a timely fashion.

7.2.3 If the MBND wishes to retain the hardcopy paper archive, it will be deposited with the rest of the material archive under the same accession number. Should the MBND decline the hardcopy paper archive, that archive will be offered to other appropriate museum bodies or the HET. If a suitable third party cannot be found, the hardcopy paper archive will be retained by SWARCH for 3 years and then destroyed.

7.3 SWARCH will, on behalf of the MBND obtain a written agreement from the landowner to transfer title to all items in the material archive to the receiving museum.

7.4 If ownership of all or any of the finds is to remain with the landowner, provision and agreement must be made for the time-limited retention of the material and its full analysis and recording, by appropriate specialists.

7.5 SWARCH will notify the HET upon the completion of:

i) deposition of the digital archive with the ADS, and

ii) deposition of the material (finds) archive with the museum.

7.6 The condition placed upon this development will not be regarded as discharged until the report has been produced and submitted to the HET and the LPA, the site archive deposited and the OASIS form completed.

7.7 There will not be a requirement to prepare an archive for fieldwork projects that do not expose deposits of archaeological interest and yield little or no artefactual material. The results of these projects will be held by the HER in the form of the report submitted by SWARCH and the creation of an OASIS entry and uploading of the report. This process would be agreed with the HET and completed prior to the condition being discharged.

7.8 The archive will be completed within 3 months of the completion of the final report.

8.0 CONFLICT WITH OTHER CONDITIONS AND STATUTORY PROTECTED SPECIES

Even where groundworks are being undertaken under the direct control and supervision of SWARCH personnel, it remains the responsibility of the Client - in consultation with SWARCH, the applicant or agent - to ensure that the required archaeological works do not conflict with any other conditions that have been imposed upon the consent granted and should also consider any biodiversity issues as covered by the NERC Act 2006. In particular, such conflicts may arise where archaeological investigations/excavations have the potential to have an impact upon protected species and/or natural habitats e.g. SSSIs, National Nature Reserves, Special Protection Areas, Special Areas of Conservation, Ramsar sites, County Wildlife Sites etc.

9.0 PERSONNEL & MONITORING

9.1 The project will be managed by Dr. Samuel Walls; the archaeological monitoring and building recording will be undertaken by SWARCH personnel with appropriate expertise and experience. Where necessary, appropriate specialist advice will be sought (see list of consultant specialists in Appendix 1 below).

Natalie Boyd

South West Archaeology

The Old Dairy, Hacche Lane Business Park, Pathfield Business Park, South Molton, Devon EX36 3LH Telephone: 01769 573555
email:mail@swarch.net

Appendix 1 – List of specialists

Building recording

Richard Parker 11 Toronto Road, St James, Exeter. EX4 6LE. Tel: 07763 248241

Conservation

Alison Hopper Bishop the Royal Albert Memorial Museum Conservation service a.hopperbishop@exeter.gov.uk
Richard and Helena Jaeschke 2 Bydown Cottages, Swimbridge, Barnstaple EX32 0QD mrshjaeschke@email.msn.com
Tel: 01271 830891

Curatorial

Thomas Cadbury Curator of Antiquities Royal Albert Memorial Museum, Bradninch Offices, Bradninch Place, Gandy Street, Exeter EX4 3LS Tel: 01392 665356

Bone

Human Professor Chris Knusel University of Exeter Tel: 01392 722491 c.j.knusel@ex.ac.uk
Animal Wendy Howard Department of Archaeology, Laver Building, University of Exeter, North Park Road, Exeter EX4 4QE
w.j.howard@exeter.ac.uk Tel: 01392 269330

Lithics

Martin Tingle Higher Brownston, Brownston, Modbury, Devon, PL21 OSQ martin@mtingle.freeseve.co.uk

Palaeoenvironmental/Organic

Wood identification Dana Challinor Tel: 01869 810150 dana.challinor@tiscali.co.uk
Plant macro-fossils Julie Jones juliedjones@blueyonder.co.uk
Pollen analysis Ralph Fyfe Room 211, 8 Kirkby Place, Drake Circus, Plymouth, Devon, PL4 8AA

Pottery

Prehistoric Henrietta Quinnell 39D Polsloe Road, Exeter EX1 2DN Tel: 01392 433214
Roman Alex Croom, Keeper of Archaeology Tyne & Wear Archives & Museums, Arbeia Roman Fort and Museum, Street, South Shields, Tyne and Wear NE332BB Tel: (0191) 454 4093 alex.croom@twmuseums.org.uk
Baring John Allen, 22, Rivermead Road Exeter EX2 4RL Tel: 01392 256154 john.p.allan@btinternet.com
Medieval
Post Medieval Graham Langman Exeter, EX1 2UF Tel: 01392 215900 email: su1429@eclipse.co.uk

Appendix 2 Brief

Location: 20 Fore Street, Northam

Parish: Northam

District: Torrridge

County: Devon

NGR: SS44922899

Proposal: Three dwellings to rear

Historic Environment Team ref: ARCH/DM/TO.21702

1. INTRODUCTION AND ARCHAEOLOGICAL BACKGROUND

- 1.1 This brief has been prepared by the Devon County Council Historic Environment Team (HET) with regard to the archaeological works to be undertaken in support of a planning application for the development of the above site. This brief has been produced specifically for the above scheme and may require alteration if this scheme is revised or amended in any material way. This document is not transferable to any other scheme or planning application.
- 1.2 This work is being undertaken in accordance with paragraph 128 of the National Planning Policy Framework (2012), and the Torrridge Local Plan Policy (ENV4 (paragraph 6.42)) on heritage assets.
- 1.3 The principal objective of the programme shall be to assess and evaluate the survival of below-ground archaeological deposits across the proposed development site and appraise the nature and quality of any surviving significant structural elements in the outbuildings and boundary wall. The results will allow the nature, extent, and date of any surviving archaeological deposits within the application area to be understood and an appropriate planning decision made by the Local Planning Authority (LPA).
- 1.4 The proposal site lies within the Northam Conservation Area, and within the historic core of Northam, which is recorded as a manor in 1086. The building adjoining to the north, which is Grade II Listed, is described in the List entry as 17th century or earlier, and shows evidence of possible medieval origins.
The site lies between the 15th century parish church to the north-west, and Castle Street to the south. Although no castle site is currently known in Northam this street name may be of significance.
The 1838 Tithe Map depicts the roadside buildings in a stylised manner, but shows a number of plots extending back to the east from Fore Street. It is likely that one or more of these are associated with 20 Fore Street. The 1880s Ordnance Survey map shows a number of small outbuildings within the site, and it is possible that evidence of medieval and later occupation may survive within the proposal site as buried archaeological deposits, and that the boundary wall may retain evidence of former associated structures.
- 1.5 This Brief covers the application area as defined on the attached plan. [NB: the applicant/agent should provide a site layout plan.]

2. PROJECT DESIGN

- 2.1 This document sets out the scope of the works required to enable the extent, character and significance of any surviving archaeological deposits within the application area to be understood and will form the basis of the Project Design to be prepared by the archaeological consultant. The Project Design will set out the detail and extent of the archaeological works to be undertaken. This will Devon County Council Historic Environment Team: Brief for Archaeological Evaluation Undertaken in Support of a Planning Application include pre-fieldwork elements (desk-based research), fieldwork, post-excavation specialist analysis and the production of an appropriately detailed and illustrated report.
- 2.2 The Project Design must be submitted by the applicant or on their behalf by their agent or archaeological consultant and approved by the HET prior to any archaeological works commencing.

3. PROGRAMME OF ARCHAEOLOGICAL WORKS

The archaeological works will include the following elements. However, where it can be demonstrated that there are areas within the area under consideration that will be unaffected by the development of the site or where development will have no below-ground impact, these areas may be excluded from the evaluative archaeological excavations.

3.1 Desk-based assessment

The programme of work shall include an element of desk-based research to place the development site into its historic and archaeological context. This work will consist of map regression based on the Ordnance Survey maps and the Tithe Map(s) and Apportionments. An examination will also be made of records and aerial photographs held by the HER. In addition, it will involve the examination of other known relevant cartographic, documentary and photographic sources held by the Devon Heritage Centre (former Devon Record Office and West Country Studies Library) and the County Historic Environment Team. The reporting requirements for the desk-based work will be confirmed in consultation with the HET.

This desk-based work will be undertaken in advance of any fieldwork commencing.

The results of the assessment should be discussed with the HET and based on this consultation may determine the positioning of the evaluative excavations.

3.2 Building appraisal

An examination will be made of the outbuildings and boundary wall in order to produce an illustrated, scaled, phased plan and appropriate elevations of the extant buildings and identify the original and later elements of the building, as

well as any fixtures, fitting or features of special architectural interest. This will set the building in its local, regional and national context – as applicable.

A written description of the structures will be made. This must include a description of the historic building fabric, fenestration, fixtures and fitting - or absence of - and should include a description of completeness as well as areas subject to modern disturbance, repair or re-build.

The report should also include a discussion of the significance of the structures as heritage assets as well as the potential impact of the proposed development.

3.3 Evaluation of the site

A series of trenches and/or test pits will be excavated across the proposed development area, including areas currently within the outbuildings. The location of these excavations will be determined in consideration of the results of the desk-based assessment, the below-ground impact of the proposed development and the site topography. These excavations should adequately investigate the areas that will be affected by the proposed development.

If a large number of trenches are to be excavated then these should be undertaken in a staged manner to prevent over-weathering of the exposed trench faces before they can be cleaned by hand by the site archaeologist(s) and facilitate hand-cleaning of freshly exposed surfaces. The detail of the staging of the excavation of the investigative trenches should be set out in the Project Design.

3.3.1 The Project Design must include a plan showing areas affected by the proposed development and the location of proposed evaluative trenches.

3.3.2 Details of the strategy for positioning trenches must be agreed with the HET. Trenches should be excavated by a 360° tracked or JCB-type machine - fitted with a toothless grading bucket - to the surface of archaeological deposits or in situ natural ground - whichever is highest in the stratigraphic sequence. Exposed archaeological features and deposits will be cleaned and excavated by hand and fully recorded by context as per the Institute for Archaeologists' Standard and Guidance Devon County Council Historic Environment Team: Brief for Archaeological Evaluation Undertaken in Support of a Planning Application for Archaeological Field Evaluation (1994 - revised 2008). All features shall be recorded in plan and section at scales of 1:10, 1:20 or 1:50. All scale drawings shall be undertaken at a scale appropriate to the complexity of the deposit/feature and to allow accurate depiction and interpretation.

3.3.3 All archaeological features will be investigated and as a minimum:

- i) small discrete features will be fully excavated;
- ii) larger discrete features will be half-sectioned (50% excavated); and
- iii) long linear features will be sample excavated along their length - with investigative excavations distributed along the exposed length of any such feature and to investigate terminals, junctions and relationships with other features.
- iv) one long face of each trench will be cleaned by hand to allow the site stratigraphy to be understood and for the identification of archaeological features.

Should the above % excavation not yield sufficient information to allow the form, function and date of archaeological features/deposits to be determined full excavation of such features/deposits will be required. Additional excavation may also be required for the taking of palaeoenvironmental samples and recovery of artefacts.

Any variation of the above will be undertaken in agreement with the HET.

3.3.4 The full depth of archaeological deposits must be assessed. This need not require excavation to natural deposits if it is clear that complex and deep stratigraphy will be encountered.

3.3.5 Should deposits be exposed that contain palaeoenvironmental or datable elements appropriate sampling and post-excavation analysis strategies will be initiated. The project will be organised so that specialist consultants who might be required to conserve or report on finds or advise or report on other aspects of the investigation (e.g. palaeoenvironmental analysis) can be called upon and undertake assessment and analysis of such deposits - if required. On-site sampling and post-excavation assessment and analysis will be undertaken in accordance with English Heritage's guidance in *Environmental Archaeology: a guide to the theory and practice of methods, from sampling and recovery to post-excavation 2002*.

3.3.6 An adequate photographic record of the excavation will be prepared. This will include photographs illustrating the principal features and finds discovered, in detail and in context. The photographic record will also include working shots to illustrate more generally the nature of the archaeological operation mounted. All photographs of archaeological detail will feature an appropriately-sized scale. Laser or inkjet prints of digital images, while acceptable for inclusion in the report, are not an acceptable medium for archives. Digital images taken during the course of the fieldwork will form part of the digital archive to be submitted and curated by the ADS – see archive section below. The drawn and written record must be on an appropriately archivable medium.

3.3.7 Human remains must initially be left in-situ, covered and protected. Removal can only take place under appropriate Ministry of Justice and environmental health regulations. Such removal must be in compliance with the relevant primary legislation.

3.3.8 Should any finds identified as treasure or potential treasure, including precious metals, groups of coins or prehistoric metalwork, be exposed, these will be removed to a safe place and reported to the local coroner according to the procedures relating to the Treasure Act 1996 Code of Practice (2nd Revision). Where removal cannot be effected on the same working day as the discovery suitable security measures will be taken to protect the finds from theft.

3.3.9 The results of the desk-based work and a copy of the agreed Project Design must be made available to the site director/supervisor to enable the adequate interpretation of exposed features/deposits during fieldwork and that the agreed programme of works is understood and undertaken.

4. MONITORING

- 4.1 The archaeological consultant shall agree monitoring arrangements with the County Historic Environment Team and give two weeks' notice, unless a shorter period is agreed with the HET, of commencement of the fieldwork. Details will be agreed of any monitoring points where decisions on options within the programme are to be made.
- 4.2 Monitoring will continue until the deposition of the site archive and finds, and the satisfactory completion of an OASIS report - see 5.5 below.
- 4.3 The archaeological contractor undertaking the fieldwork will notify the HET upon completion of the fieldwork stage of these works.

5. REPORTING

- 5.1 Upon completion of the fieldwork and required post-excavation analysis an illustrated report will be prepared. The report will collate the written, graphic, visible and recorded information outlined in section 3 above.

The report will include:

- (i) a summary of the project's background;
- (ii) description and illustration of the site location;
- (iii) a methodology of the works undertaken;
- (iv) include plans and reports of all documentary and other research undertaken;
- (v) a description of the project's results;
- (vi) an interpretation of the results in the appropriate context;
- (vii) a summary of the contents of the project archive and its location (including summary catalogues of finds and samples);
- (viii) a site location plan at an appropriate scale on an Ordnance Survey, or equivalent, base-map;
- (ix) a plan showing the location of the trenches and exposed archaeological features and deposits in relation to the site boundaries;
- (x) plans of each trench, or part of trench, in which archaeological features are recognised along with adequate OD spot height information. These should be at an appropriate scale to allow the nature of the features exposed to be shown and understood. Plans must show the orientation of trenches in relation to north. Section drawing locations will be shown on these plans. Archaeologically sterile areas need not be illustrated unless this can provide information on the development of the site stratigraphy or show palaeoenvironmental deposits that have influenced the site stratigraphy;
- (xi) section drawings of trenches and features, with OD heights, at scales appropriate to the stratigraphic detail to be shown and must show the orientation of the drawing in relation to north/south/east/west. Archaeologically sterile trenches need not be illustrated unless they can provide information on the development of the site stratigraphy or show palaeoenvironmental deposits that have influenced the site stratigraphy;
- (xii) site matrices where appropriate;
- (xiii) photographs showing the general site layout and exposed significant features and deposits that are referred to in the text. All photographs should contain appropriate scales, the size of which will be noted in the illustration's caption;
- (xiv) a consideration of evidence within its wider context;
- (xv) a summary table and descriptive text showing the features, classes and numbers of artefacts recovered and soil profiles with interpretation;
- (xvi) specialist assessment or analysis reports were undertaken;
- (xvii) an evaluation of the methodology employed and the results obtained (i.e. a confidence rating).

It is recommended that a draft report is submitted to the HET for comment prior to its formal submission to the Local Planning Authority.

- 5.2 The timetable for the production of the report must be set out in the Project Design. The HET would normally expect to receive the report within three months of completion of fieldwork - dependent upon the provision of specialist reports, radiocarbon dating results etc the production of which may exceed this period. If a substantial delay is anticipated then the HET must be informed of this and a revised date for the production of the full report agreed between the HET and the Devon County Council Historic Environment Team: Brief for Archaeological Evaluation Undertaken in Support of a Planning Application archaeological contractor. If a substantial delay is anticipated then an interim report will be produced within three months of the completion of the fieldwork.
- 5.3 Should the development proceed in a staged manner, with each stage requiring archaeological fieldwork, and where a period of more than three months between each stage is anticipated or occurs, then the archaeological contractor shall prepare an interim illustrated summary report at the end of each stage. The report will set out the results of that phase of archaeological works, including the results of any specialist assessment or analysis undertaken. The report will be produced within three months of completion of each phase of fieldwork. At the completion of the final stage of the fieldwork an overarching report setting out the results of all stages of work will be prepared. HET would normally expect to receive the report within three months of completion of fieldwork - dependent upon the provision of specialist reports, radiocarbon dating results etc the production of which may exceed this period. If a substantial delay is anticipated then the HET must be informed of this, an interim report will be produced within three months of the completion of the final stage of fieldwork, and a revised date for the production of the full report agreed between the HET and the archaeological contractor.
- 5.4 On completion of the final report, in addition to copies required by the Client, a digital copy of the report shall be supplied to the HET - in a format to be agreed in advance with the HET - on the understanding that the report may in future be made available to researchers via a web-based version of the Historic Environment Record.

5.5 The archaeological consultant shall complete an online OASIS (Online Access to the Index of archaeological investigation) form in respect of the archaeological work. This will include a digital version of the report. The report to the Historic Environment Record will also include the OASIS ID number.

6 PUBLICATION

Where the exposure of archaeological, artefactual or palaeoenvironmental remains is limited or of little significance reporting will follow on directly from the field work - see section 5 above.

Should particularly significant archaeological or palaeoenvironmental remains, finds and/or deposits be encountered, then these, because of their importance, are likely to merit wider publication in line with government planning guidance (paragraph 141 of the National Planning Policy Framework (2012)). If such remains are encountered, the publication requirements – including any further analysis that may be necessary – will be confirmed with the HET.

6.1 Post Excavation Assessment, Analysis and Project Designs for further work

Where excavations reveal archaeological, artefactual or palaeoenvironmental deposits that have potential for yielding important information about the site or its environs, through specialist assessment and analysis, this assessment work will be undertaken and reported on in a separate formal Post-Excavation Assessment and Project Design. This document may also fulfil the role of an interim report if a substantial publication delay is expected.

This document will be produced by the archaeological contractor within three months of completion of the fieldwork - specialist input allowing - and agreed with the HET. It will include:

- A summary of the project and its background
- A plan showing the location of the site and plans of the site showing the location of archaeological features, artefactual or palaeoenvironmental deposits exposed
- Research aims and objectives
- Method statements setting out how these aims and objectives are to be achieved
- Details of the tasks to be undertaken
- The results of any specialist assessment work undertaken as part of the production of the formal Assessment and Project Design
- Proposed project team
- Overall timetable for undertaking the tasks as well as setting out monitoring points with the HET
- Details of the journal in which the material is to be published

7. FURTHER WORK

In the light of the results of the archaeological evaluation it will be possible allow the Local Planning Authority to make an informed and reasonable planning decision, which may include the recommendation for refusal of consent if the impact of the proposed development upon the archaeological resource was unacceptable. In all other cases, the results will allow the scope and requirement of any further work needed as mitigation for the impact of the proposed development on the archaeological resource to be determined. This further work may take the form of additional pre-application investigations to refine the initial results or a programme of archaeological work undertaken through an archaeological condition applied on any consent granted.

Should the site be demonstrated to be archaeologically sterile then there would be no requirement for further archaeological works.

8. PERSONNEL

8.1 The work shall be carried out by a recognised archaeological consultant, agreed with the DCHET. Staff must be suitably qualified and experienced for their project roles. All work should be carried out under the control of a specified Member of the Institute for Archaeologists (MIFA), or by a specified person of equivalent standing and expertise. The Project Design will contain details of key project staff and specialists who may contribute during the course of the works - excavation and post-excavation.

8.2 Health and Safety matters, including site security, are matters for the consultant. However, adherence to all relevant regulations will be required.

8.3 The work shall be carried out in accordance with IfA Standard and Guidance for Archaeological Field Evaluation (1994), as amended (2008).

9. CONFLICT WITH STATUTORILY PROTECTED SITES

It is the archaeological contractor's responsibility - in consultation with the applicant or agent - to ensure that the undertaking of the required archaeological works does not conflict with any statutorily protected sites and should also consider any biodiversity issues as covered by the NERC Act 2006. In particular, such conflicts may arise where archaeological investigations/excavations have the potential to have an impact upon protected species and/or natural habitats e.g. SSSIs, National Nature Reserves, Special Protection Areas, Special Areas of Conservation, Ramsar sites, County Wildlife Sites etc.

10. DEPOSITION OF ARCHIVE AND FINDS

10.1 Completion of the project is dependent on the compilation of an ordered and integrated project archive by the archaeological contractor in accordance with this this Brief and with Management of Research Projects in the Historic Environment (MoRPHE) (<http://www.english-heritage.org.uk/publications/morphe-project-managers-guide/>). The archive must also be transferred for long-term curation to a recognised, accredited or trusted repository. An archive is defined as "all records and materials recovered during an archaeological project and identified for long term

preservation, including artefacts, ecofacts and other environmental remains, waste products, scientific samples and also written and visual documentation in paper, film and digital form” (ARCHES forthcoming).

10.1.1 The archive will consist of two elements, the artefactual¹ and digital - the latter comprising all born-digital data and digital copies made of the primary site records and images.

10.1.2 The Project Design must set out a timetable for the deposition of the site archive. The HET would normally expect this to be completed within six months of completion of the fieldwork element of the project.

10.2 Deposition of the archive

10.2.1 As part of the production of the Written Scheme of Investigation or Project Design the archaeological consultant shall contact the relevant collecting museum to obtain a reference number with regard to potential future deposition of any material archive generated by the archaeological works. The museum’s reference number will be quoted in the Written Scheme of Investigation and within the final report or the short entry to the Historic Environment Record.

10.2.2 The collecting museums in Devon (Royal Albert Memorial Museum Exeter, Museum of Barnstaple & North Devon and Plymouth City Museum & Art Gallery) require that the digital archive (consisting of born-digital and digital copies of relevant written and drawn data produced during fieldwork) must be transferred into the care of a Trusted Digital Repository instead of with the museum (see ‘Deposition of the digital archive’ – below) and generally not with the museum.

10.2.3 The archaeological contractor will therefore need to make appropriate digital copies of all hardcopy elements of the site record – see section 10.4 below.

10.2.4 There is no requirement for the archaeological contractor to prepare an archive for fieldwork projects that do not expose deposits of archaeological interest and yield little or no artefactual material. The results of the fieldwork will be held by the HER in the form of the report submitted by the archaeological contractor and the creation of an OASIS entry and uploading of the report.

10.3 The Material (Finds) Archive

10.3.1 Items in the material archive must be cleaned (or otherwise treated) ordered, recorded, packed and boxed in accordance with the deposition standards of the relevant museum. It is advised that early consultation with the museum will facilitate transfer of the material archive.

10.3.2 Archaeological finds resulting from the investigation (which are the property of the landowner), should be deposited with the appropriate museum - in a manner to be agreed with the museum - and within a timetable to be agreed with the HET. The composition of the archive shall conform to the collecting museum’s accession guidelines for depositing archaeological material. The acceptance of an archive by the museum will be in accordance with the museum’s accession/collection policies and early consultation with the relevant collecting museum is advised.

10.3.3 The archaeological contractor must, on behalf of the museum, obtain a written agreement from the landowner to transfer title to all items in the material archive to the receiving museum. It is preferable for this agreement to be made at the earliest possible stage following assessment after data-collection. It is not advisable to wait until the archive has been compiled before obtaining transfer of title.

10.3.4 If ownership of all or any of the finds is to remain with the landowner, provision and agreement must be made for the time-limited retention of the material and its full analysis and recording, by appropriate specialists.

10.4 Deposition of the digital archive

The digital archive will consist of:

- (i) all born-digital data (images, survey data, digital correspondence, site data collected digitally etc.) and
- (ii) digital copies made of all other relevant written and drawn data produced and/or collected during fieldwork - i.e. the primary record comprising context records and indices, sample sheets and indices, finds records and indices, site drawings - earthwork surveys, sections and plans, as well as relevant sketches or notes that aid the interpretation and understanding of the site and its recording, any relevant information undertaken as part of the post-excavation assessment or analysis, etc.

10.4.1 Digital archive must be deposited with a Trusted Digital Repository and thus made publicly accessible, in accordance with the National Planning Policy Framework (2011). It is understood that the only suitable repository for digital archaeological archive is the Archaeology Data Service (ADS) – contact details are given at the end of this brief. Digital archive must be compiled in accordance with the standards and requirements of the ADS, which may be accessed through the ADS website: <http://archaeologydataservice.ac.uk/advice/guidelinesForDepositors>

Guidance on selection for the archive is also provided: <http://archaeologydataservice.ac.uk/advice/selectionGuidance>

10.4.2 It is expected that a licence to copyright for documentary material, in both physical and digital forms, will be given to the receiving repository. This must be stated within the Project Design, which should also identify the recipients of each element of the documentary archive.

10.5 Disposal of the primary hardcopy records

10.5.1 The collecting museum may wish to retain the hardcopy archive to accompany the artefactual material. (For example: where the programme of archaeological works involves the investigation and analysis of regionally/nationally significant archaeological and/or artefactual deposits). In all cases the archaeological contractor must first offer the primary paper record archive to the museum prior to its disposal.

10.5.2 Once the digital archive has been transferred to the appropriate Trusted Digital Repository (usually the ADS), and the museum has confirmed that this has occurred satisfactorily and that they do not require the hardcopy archive, the archaeological contractor may retain, disperse or dispose of the primary hardcopy items as they see fit. Items may be

retained for curation by the contractor, developer or applicant, or offered to a third party organisation for public use or as a teaching resource. The WSI should state how primary hardcopy items will be treated.

10.5.3 Where the collecting museum does not require the hardcopy element disposal may mean physical destruction of the primary record. The WSI should state the proposed disposal method to be employed.

10.5.4 The archaeological contractor must notify the HET upon the completion of:

- i) deposition of the digital archive with the ADS, and
- ii) deposition of the material (finds) archive with the museum.

11. CONTACT NAME AND ADDRESS

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28th May 2014

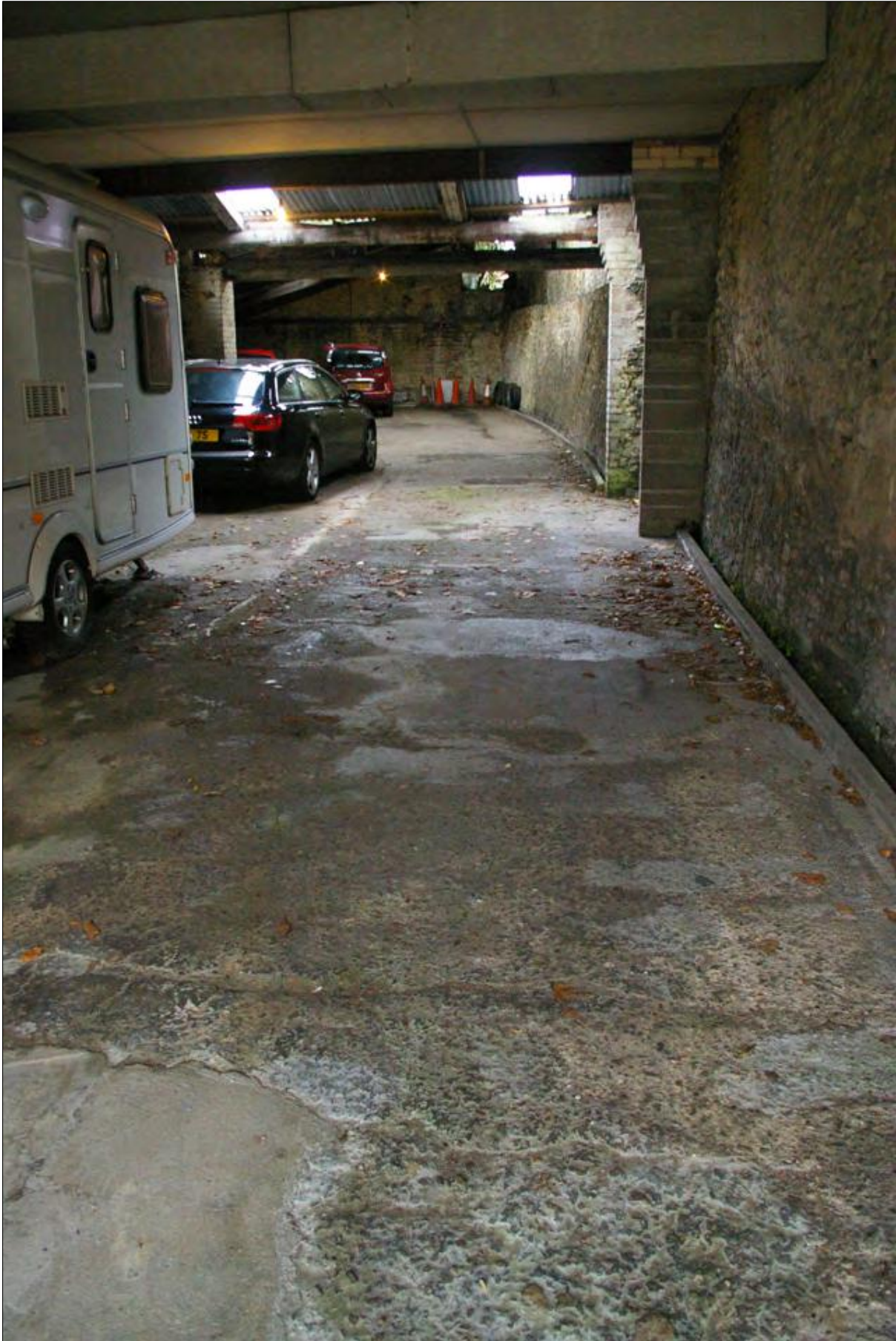
Appendix 3
Historic Building Assessment: Supporting photos



The concrete block walls which support the stairs to the 20th century first floor structure; from the south-west.



The concrete floor of Area 6, to the western end, showing the position of the underground fuel tank; from the west.



The rest of the concreted floor of Area 6; from the west.



The south wall in Area 6; from the west, north-west.



The western end of the south wall in Area 6, showing disturbance and several phases of possible rebuilding; from the north-west.



The middle section of the south wall in Area 6; from the north-north-west.



One of the brick pillars supporting the roof in Area 6, with a cut down boat mast used as a supporting beam; from the north-west.



The eastern end of the south wall in Area 6, showing the large buttress to the base; from the north-west.



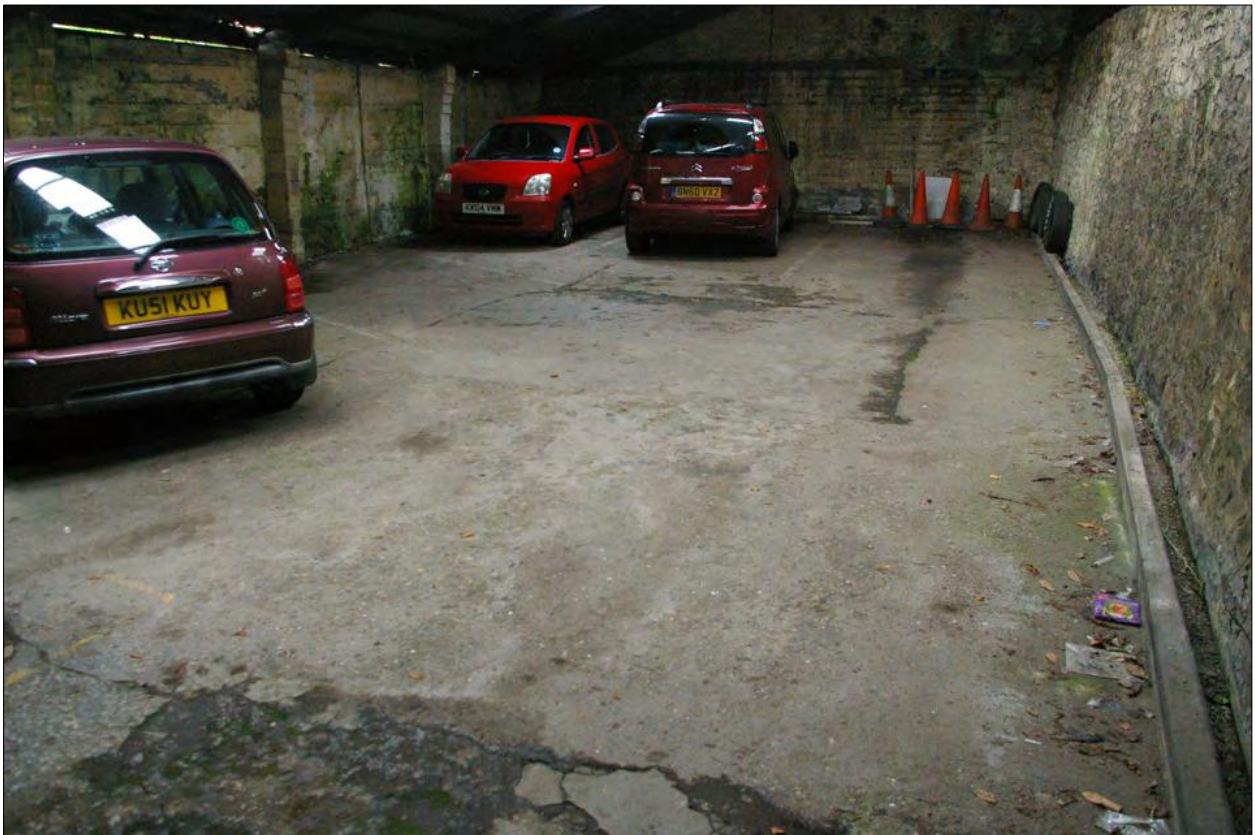
The timber roof structure covering Area 6 to the east; from the north-east.



The east wall of Area 6, the party wall with Area 1, of stone but buttressed to the base in concrete blocks; from the west-south-west.



The concrete block wall to the north-east of Area 6; from the south-west.



The concrete floor to the eastern part of Area 6; from the south-west.



The double doors serving Area 5; from the south-west.



The modern boarded ceiling of Area 5 and the large former boat's mast beam; from the west, south-west.



View of the south wall of Area 5, the party wall with Area 6, a former boundary plot wall; from the west-north-west.



Area 5 provides access to Area 4, then Areas 1, 2 and 3. The boundary plot wall continues through into Area 5; from the west-north-west.



The rear of No.20 and Nos.18-19 Fore Street, showing the east wall of Area 5 and how it abuts the earlier building to the north; from the east.



The former gable end of a building and other phases of stonework, seen to the south-east corner of Area 4; from the west-north-west.



The stone wall between Areas 3 & 4, from Area 4; from the west-south-west.



The stone wall between Areas 3 & 4, from Area 3; from the east-north-east.



Area 3, from the doorway between Areas 3 & 4; from the west.



The concrete block party wall between Areas 3 & 6; from the north-east.



View back from Area 2 over Areas 3, 4, 5 & 6, from the north-east.



Area 1, the garden plot, with apple trees; from the north-west.



View along the overgrown fenced north boundary of the plot; from the west.



View of the ivy clad wall to the west of Area 1, with door to Area 2; from the east-south-east.



View along the west wall of Area 1, clad in ivy; from the south-east.



View of the south-west corner of Area 1, where the south wall meets the structure built over Area 6; from the north-east.



View of the central section of the south wall of Area 1; from the north-north-east.



Detailed view of the various phases of stonework within the south-east corner of Area 4; from the north.



Detailed view of the south-west corner of Area 4, where the east wall of Area 5 meets the boundary plot wall; from the north-east.



Detailed view of the exposed stonework in the east wall of Area 5, the west wall of Area 4; from the east.



The rendered and buttressed stone areas in the south-east corner of Area 4; from the north-east.



The window in the former end gable of a building, seen in the south-east corner of Area 4; from the north-north-west.



The doorway to Area 3, in the stone wall between Areas 3 & 4, showing the wall built on a rock outcrop; from the west.



The forced opening the stone wall between Areas 3 & 4, from Area 4, showing the brickwork, concrete block patching and concrete slab lintels; from the south-west.



The wall between Areas 3 & 4, the stone quoin, from within Area 4; from the south, south-west.



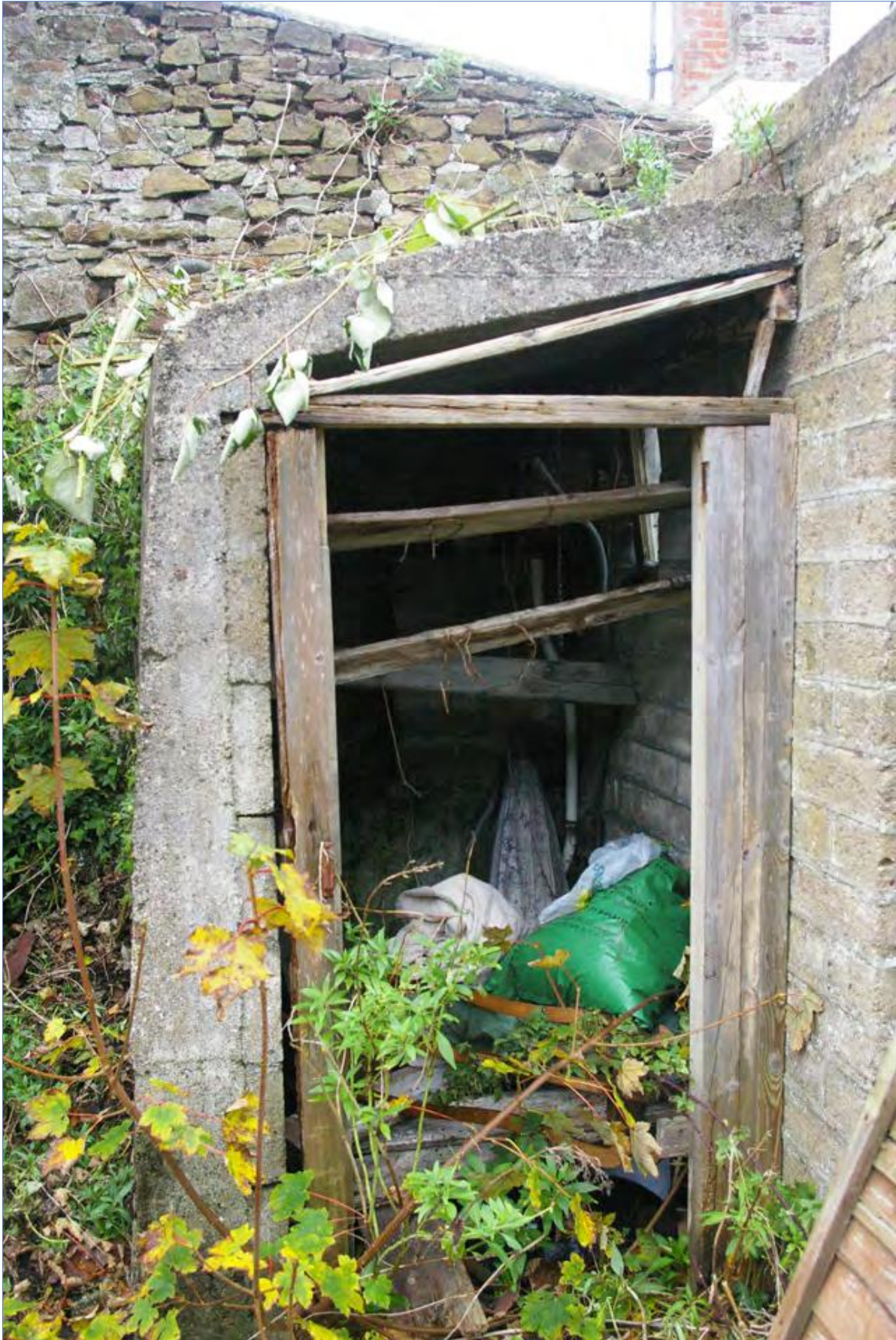
The lower part of the stone wall between Areas 3 & 4, rendered to the base, within Area 4; from the south.



The wall between Areas 3 & 4, the stone quoin, from within Area 3; from the east.



The rock outcrop the wall between Areas 3 & 4 is built over, within Area 3; from the east.



The concrete block outside toilet built within Area 3; from the east.



More detailed view of the rubble and overgrowth in Area 2; from the south, south-west.



View over the complex to the medieval Church tower; from the south-east.



View of the north wall in Area 5, the shared part wall with the adjoining Listed Building; from the south-east.



The double arched entrance into Area 6, from Fore Street; from the west-north-west.



Detailed view of the south wall in Area 6, running up to the street; from the north-east.



Detailed view of the adjoining Listed Building, of Grade II status; from the south-west.



Detailed view of the party wall, of various phases of stonework between Areas 6 & 4; from the south.



View showing the south wall of Area 1 and its rough alignment with the south wall of Area 6; from the north-west.



View of the north wall of Area 6, to the western end, behind a parked caravan, the party wall with Area 5; from the east-south-east.



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