

AREA TO THE REAR OF 46 MARKET STREET APPLEDORE DEVON

Results of an
Archaeological Desk-Based Assessment
and
Historic Building Recording



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SWARCH Ordnance Survey Licence number 100044808

1.0 Introduction

Location: 46 Market Street
Parish: Appledore
District: Torridge
County: Devon
NGR: SS46533058
Oasis No. southwes 1-40487

1.1 Background

South West Archaeology (SWARCH) were asked by Clive Jones Architects on behalf of Ms Pat Goodall (the client) to conduct a historic building survey, desk-based research and archaeological monitoring and recording on works in advance of and during the proposed development of an area to the rear of 46 Market Street, Appledore. The archaeological work to date was carried out in accordance with a Written Scheme of Investigation (Appendix 2) produced to fulfil a brief (Appendix 1) from Devon County Historic Environment Service (DCHES).

Number 46 Market Street fronts onto the east side of the street close to its junction with Meeting Street. Market Street is a narrow thoroughfare running north-south parallel to Appledore Quay, Number 46 lying at a point where the street-line dog-legs and becomes very narrow. The existing building comprises a low, two-storey single pile with a north-south axis and with an east-west two-storey extension on the east side. To the east of the building is a flag-stoned yard with a garage on the north side and access to the Quay through a gate set into the wall at the east end of the yard. On the south side the yard is bounded by the three-storey high wall of the neighbouring property, which appears to be of late 19th or early 20th century date. Within Market Street, a two-storey building adjoins Number 46 on the north side, while to the south a walled yard separates it from its two-storey neighbour. In this context Number 46 with its low roof-line stands out as a building of earlier date. The building is one of a group which is Grade II listed and is within the Appledore Conservation Area.

1.2 Summary

Some of the earliest development in Appledore took place in and around Market Street. Number 46 represents part of an earlier probable three-cell cross-passage house (subsequently sub-divided), the eastern part of the curtilage of which was taken for the construction of the Quay in 1845. The extension now to the rear of number 46 was added in the mid 19th century after which the original building was subdivided. No evidence for earlier occupation was found during this assessment.

1.3 Methodology

The desk-based study was prepared by Terry Green and involved inspection of records held by DCHES, as well as cartographic and other materials held at North Devon Record Office and at the West Country Studies Library. The study was undertaken with reference to IFA guidelines on the preparation of archaeological assessments.

The building survey was undertaken by Colin Humphreys in accordance with IFA and English Heritage guidelines. The site was visited on 24th July, 2008.

Archaeological monitoring of geotechnical pits was undertaken by Martin Gillard with reference to IFA guidelines on 13th November 2008.

2.0 Results of the Desk-Based Study

2.1 A Brief History of Appledore

Historically situated within the parish and manor of Northam, Appledore is first recorded under this name in 1335 (Gover, Mawer and Stenton 1931, 103), but appears to correspond to a settlement named 'Tawmouth' in the Anglo-Saxon Chronicle for the year 1068. It may be that the fishery mentioned under the manor of Northam in Domesday Book was located here, making Appledore or Tawmouth a fishing 'cellar' of the manor, as implied by Fox (2001, 89). About 1540 Leland described Appledore as 'a good village' and in the early 17th century Westcott was able to say that it stood 'equal with divers market towns' with 'fair buildings and (a) multiplicity of inhabitants and houses ... with many good mariners' (Hoskins 1992, 445).

Numerous buildings in Appledore date from the late 16th to early 19th centuries. The settlement had grown up at the point where ships could first lie up having crossed Bideford Bar at the mouth of the Taw-Torridge estuary. It thus became a significant maritime settlement with a tradition of fishing and ship-building, the latter trade first carried out on the foreshore, but more recently in a number of shipyards. 19th century developments included the building of a new parish church in place of the former chapel of St Anne (1838) and the construction of the Quay (1845) over what had formerly been the foreshore.

2.2 Market Street and the Quay

Market Street was the main trading street of Appledore with a market at one end, and thus was at the heart of the settlement's early development. Before the construction of the quay the properties along the street had gardens and yards to the east running towards the river. These were shielded from the water by sea-walls and between them were openings leading to private jetties and slipways. Two early paintings help to fill out the picture. Plate 1 is an extract from a 1798 painting by Thomas Girton showing the Appledore shoreline from Instow. The detail is not clear, but the arrow indicates buildings at the location here in question. Much clearer is a painting of 1819, also depicting a view of Appledore from Instow (Plate 2). This watercolour by G. Shepherd clearly shows the houses along Market Street with their walled gardens and yards along the edge of the strand (This arrangement is still to be seen in Irsha Street.) In 1845 the highly respected merchant Thomas Chanter persuaded the owners of properties in Market Street to make common cause and join all their gardens together, extending them outwards to form one quay. The new cobbled quay was opened in September 1845 and became known as Market Quay (Carter 2000, 52). The quay was further extended in 1939-40.

2.3 Cartographic History

The earliest detailed plan of Appledore is found on the Northam tithe map of c.1840 (Fig. 2). This depicts a single block at the junction of Meeting Street and Market Street bounded to the south by what is now Vernon Street. The block bears a single (illegible) number and is therefore in a single ownership. The block appears to correspond to the group of houses depicted to the left of the bottom end of Meeting Street in the 1819 painting. The tithe map record seems to show buildings round a central open area which does not, on the face of it, correspond to the painting; however, it is possible that the apparent building(s) on the east side of the block was/were single storey and not visible to the painter. The map pre-dates by c.5 years the construction of the quay, so that the relationship of the buildings and their curtilage to the shoreline can be reasonably well judged.

The Ordnance Survey First Edition 1:2500 map of 1889 (Fig. 3) provides more detail, showing boundaries within the single block depicted in c.1840. The location of Number 46 Market Street can be identified, since it lies at the narrowest point of Market Street, where the opposite property to the west invades the street line. It can be seen therefore that at this date it was part of a larger property with a long frontage on Market Street and extending eastwards to adjoin the Quay. The boundary between this property and that to the north divides an open area which must correspond in part to that shown in c.1840. By this date the part to the south of the boundary had been partly built over, this mid-19th century work including the now extant eastward extension of Number 46. In the centre of this enlarged single building the map records a small open area.

Between 1889 and 1905 further change occurred. The Ordnance Survey Second Edition map of 1905 indicates further subdivision. In the intervening 16 years the part of the property fronting onto Market Street had been divided into three, the most northerly subdivision corresponding to what is now the Market Street end of Number 46. The eastward extension was now also divided from a newly created property to the south corresponding to what is now known as *Missioner's Cottage*.

At some date during the 20th century the northern boundary of (the yard of) Number 46 was adjusted to accommodate the now extant garage. Otherwise the lay-out remains as it was in 1905.

3.0 Results of the Building Survey

3.1 Documentary Evidence

It can be seen in the painting of 1819 (Plate 2) that at that date there were, at the junction of Meeting Street and the foreshore, two long buildings with a north-south axis (the more northerly having either a neighbour or an extension on its north-east). The evidence of the tithe map is that the buildings on the west side of the block at the junction of Market Street and Meeting Street had a north-south axis. The western side of the large property (comprising what is now Number 46 and its southern neighbour) recorded on the OS map of 1889 (Fig. 3) similarly has a north-south axis, suggesting the survival at this date of (one of) the long building(s) shown in 1819 – though it is hard to tell exactly which, assuming that the painter's record was accurate. This was subsequently internally divided into three, as shown in 1905. The central division has since been removed and replaced by a courtyard, while the third (southern) division appears to have been extended westwards to meet the building line of Market Street to the south. Number 46 would thus appear to be the remainder of this early building. Consideration of certain internal details – wall thickness, the presence of what appears to be the remainder of a flagged through-passage, a roughly re-constructed gable end visible in the loft – suggests that the Market Street end of Number 46 is the remnant of a post-medieval dwelling quite possibly of the three-cell cross-passage type. The mid-19th century extension was built over a hitherto open yard which may originally have extended to the edge of the foreshore.

3.2 Description of the Building

3.2.1 General Description (see Plates 3-6, Appendix 4 & CD)

The element of the building that is the subject of this report consists of a two storey extension to the rear (east) of 46 Market Street, probably constructed in the mid-19th century, consisting of a ground floor kitchen and bathroom and a first floor bedroom. The external walls are smooth rendered probably of stone construction with a slate roof hipped to the rear of the building. The lower part of the north elevation has a doorway to the west (adjacent to the rear of 46 Market Street) with a plain four panelled door and a modern two light window with the upper part louvered to the east. This window is likely to be a replacement for an earlier sash window as seen on the upper part of the east elevation. A further small window to the east would appear modern and acts as a vent for the bathroom. The upper part of this elevation has no openings. The east elevation has a modern small window in the lower part and an 8x8 light hornless sash window central in the upper part. Attached to the south of this elevation is a small single storey brick privy with a slate roof, the former external doorway of which has now been blocked and converted to a window. This room is now accessed from inside the building.

3.2.2 Interior

All features on the ground floor are modern. The only feature on the first floor that may be from the primary build is the plain four panel door giving access to the bedroom from the main range, however this has been reset and may be from elsewhere.

3.2.3 Roof Structure

The roof structure is hipped to the east with plain pine rafters nailed to a pine ridge plank and is a modern replacement.

3.2.4 The Yard (Plate 6)

The yard to the rear of 46 Market Street is paved variously with a rectangular sandstone paving, beach pebble and angular sandstone cobbles. Much of the surface has been disturbed by the laying of modern drainage.

4.0 Results of the Archaeological Monitoring

Two 1m square pits were hand-dug under archaeological observation (see Fig. 5)

4.1 Pit (1)

Located in the garage against the boundary of the site, 5.2m from the north east corner. The revealed stratigraphy consisted of a 50mm deep layer of modern concrete, over 250mm of loose grey-brown silt-sand with common stone <200mm and modern brick. This overlay a depth of 200mm of cobbling with rounded and angular stone and some brick, covered by a thin layer of concrete and set within a matrix of very dark grey soft silt. Beneath this layer was 0-400mm of soft grey-brown sand-silt with common grit and stone and containing 19th/20th century pottery. This was not present against the wall to the north and was up to 400mm thick to the south side of the pit. Below this and down to the full depth of the pit (1100mm) was yellow-brown sand with a little rounded stone.

4.2 Pit (2)

Located in the south-east corner of the yard, this pit revealed 150mm of cobbles overlying 350mm of grey-brown sand-silt with fragments of modern brick, mortar and pottery, over a modern ceramic drain. It should be noted that the surface of the yard was around 400mm below that of garage and therefore the cobbles in the yard are likely to be the same as those found in Pit (1) 300mm below the surface.

5.0 Conclusions

5.1 The Desk-Based Study

- 5.1.1 Market Street as a whole represents some of the earliest development of the settlement of Appledore.
- 5.1.2 Number 46 is located within a block of buildings which in the early 19th century were present in the form of (probably) three-cell plus cross-passage houses on a north-south axis. Their curtilages originally extended to the foreshore.
- 5.1.3 The eastern part of the curtilage was taken for the construction of the Quay in 1845.
- 5.1.4 The original building received an eastward extension in the mid-19th century.
- 5.1.5 In the late 19th/early 20th century the original building was subdivided, the present Market Street end of Number 46 representing its northern third, the middle third having since been removed.
- 5.1.6 The existing yard on the east of the property is a remnant of an open yard or garden that originally extended to the foreshore.

5.2 The Building Survey

The part of number 46 Market Street subject to the survey is a two storey mid 19th century extension to an earlier building, set in a yard that once extended to the foreshore.

5.3 The Archaeological Monitoring

No archaeological material was present in what were modern layers over the natural.

6.0 Bibliography and References

Published Sources:

Carter, D. 2000: *An Illustrated History of Appledore*, Swindon.

English Heritage. 2006: *Understanding Historic Buildings, a Guide to Good Recording Practice*.

Fox, H. 2001: *The Evolution of the Fishing Village: Landscape and Society along the South Devon Coast, 1086-1550*, Oxford.

Gover, J., Mawer, A. & Stenton, F. 1931: *The Place-Names of Devon*, The English Place-Name Society Vol. 8, Cambridge.

Hoskins, W.G. 1992 edition: *Devon*, Tiverton.

Institute of Field Archaeologists. 1996: (Revised 2001 & 2008) *Standard and Guidance for Archaeological Investigation and Recording of Standing Buildings or Structures*.

Institute of Field Archaeologists. 1994: (Revised 2001 & 2008): *Standard and Guidance for an Archaeological Watching Brief*.

Institute of Field Archaeologists. 1994: (Revised 2001 & 2008): *Standard and Guidance for Archaeological Desk-Based Assessment*

Thorn, C. & Thorn, F (eds). 1985: *Domesday Book: Devon* Parts One & Two, Chichester.

Other Sources:

Northam Tithe Map, c.1840 (North Devon Record Office)

Ordnance Survey First Edition 1:2500, 1889, Devonshire sheet 19.2

Ordnance Survey Second Edition 1:2500, 1905, Devonshire sheet 19.2

DCHES Historic Environment Record 24388

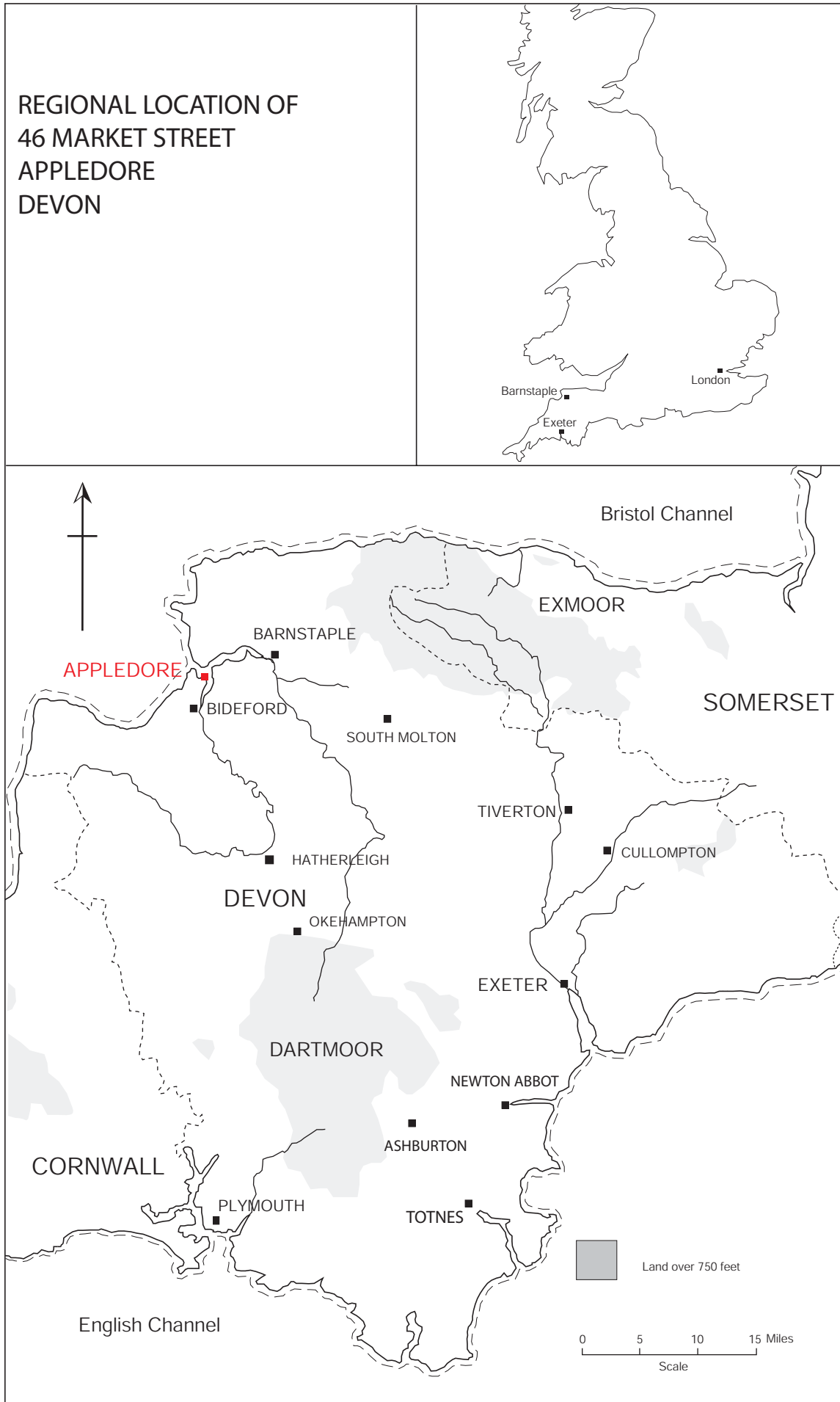


Fig. 1a: Regional location map.

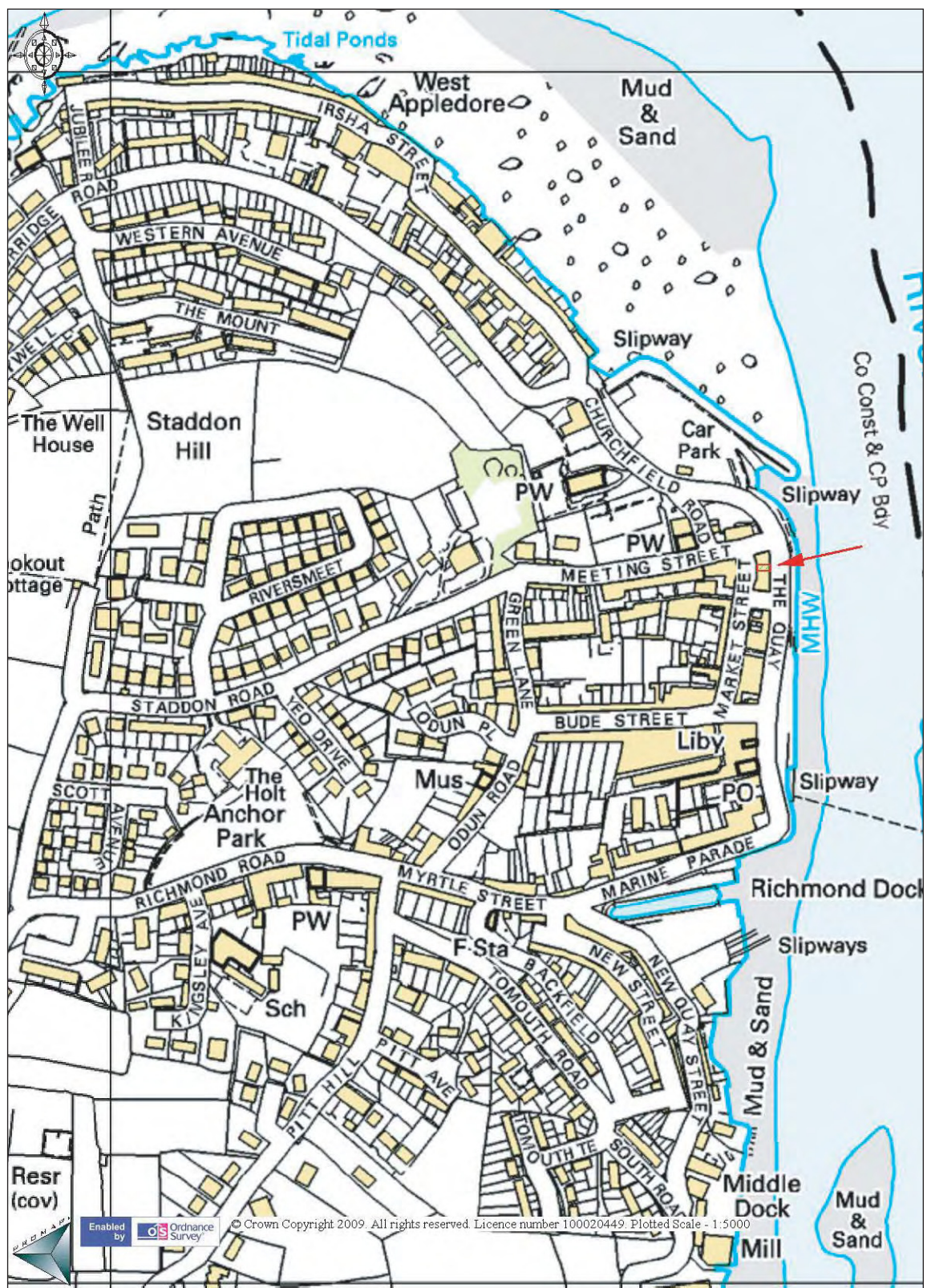


Fig. 1b: Site location.



Fig. 2: Extract from the Northam tithe map, c.1840. The location of Number 46 Market Street is arrowed. (NDRO)

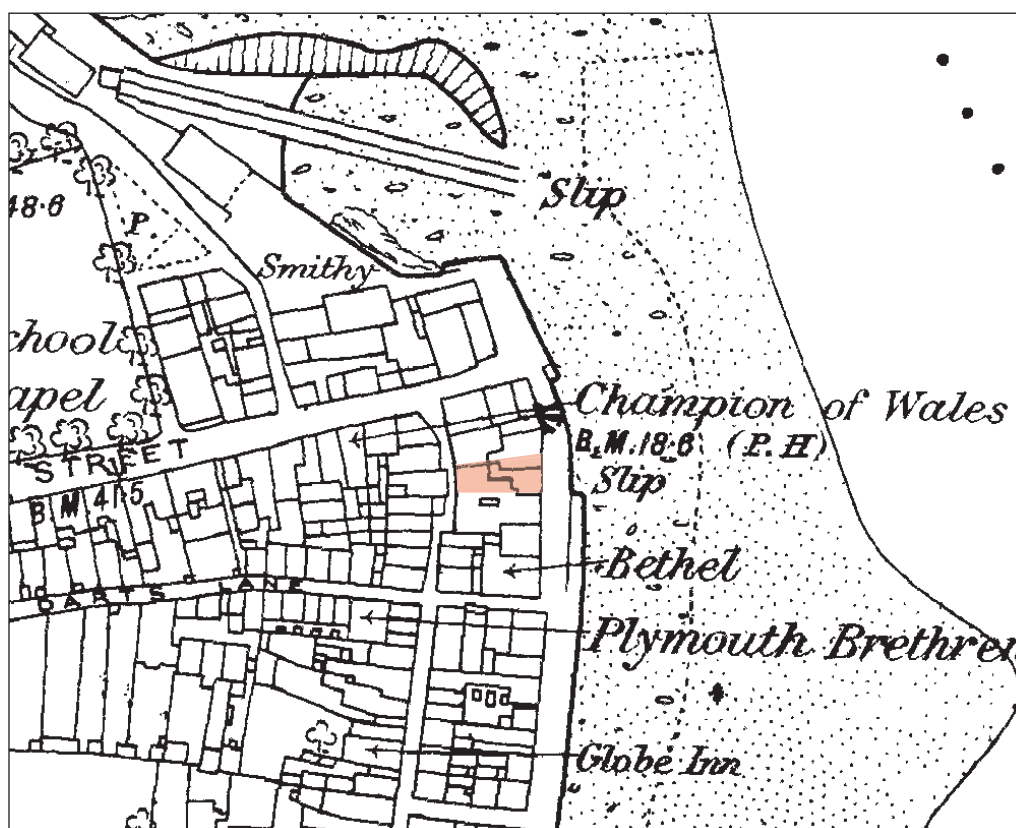


Fig. 3: Extract from the Ordnance Survey First Edition map at 1:2500, 1889 (Devonshire sheet 19.2). The location and extent of Number 46 Market Street is highlighted.



Fig. 4: Extract from the Ordnance Survey Second Edition map at 1:2500, 1905 (Devonshire sheet 19.2). The location and extent of Number 46 Market Street is highlighted.

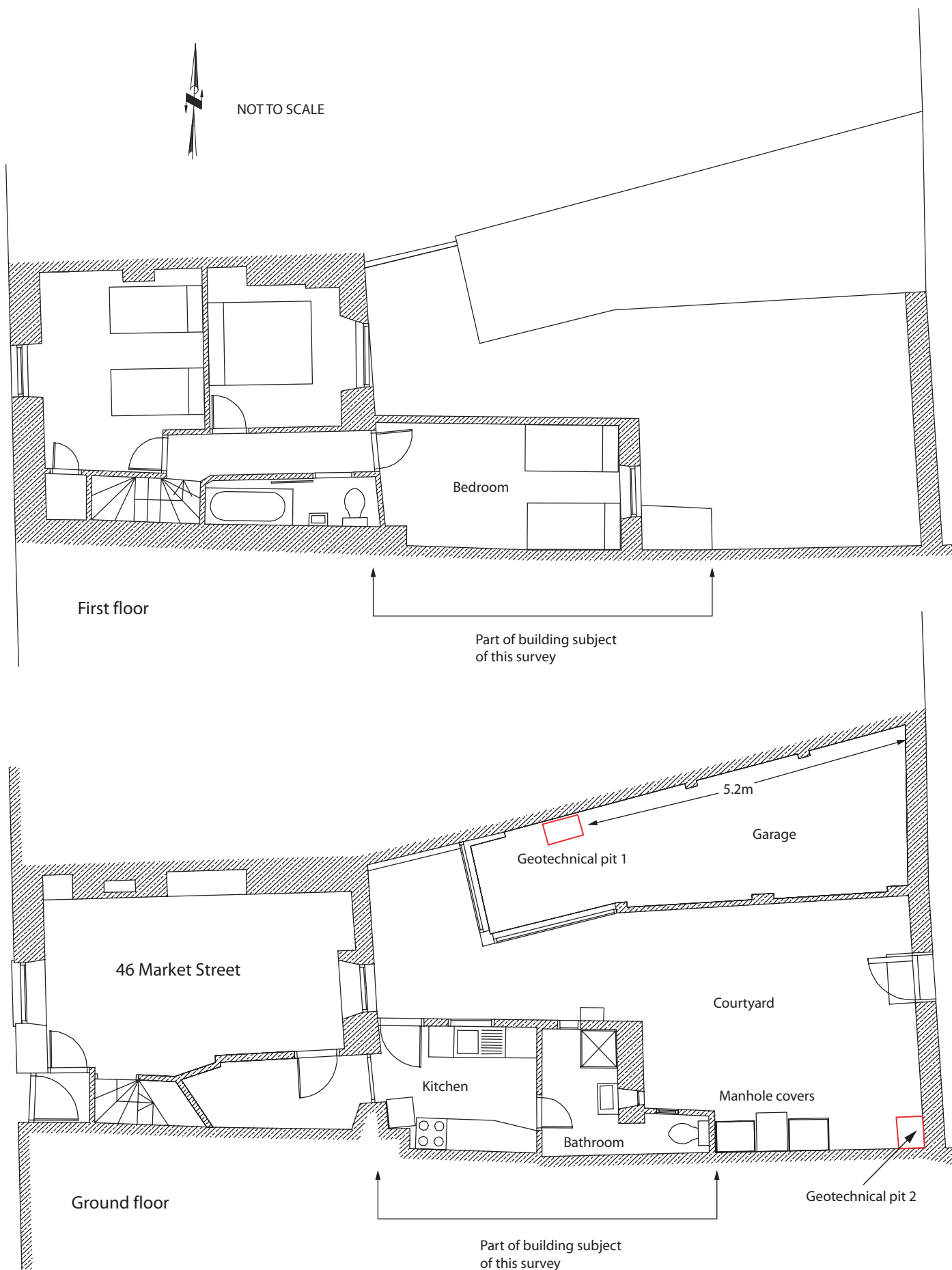


Fig. 5: Ground and first floor plans of 46, Market street, Appledore showing the part of the building subject to survey and position of the geotechnical pits. (Based on drawing supplied by Clive Jones Architects)

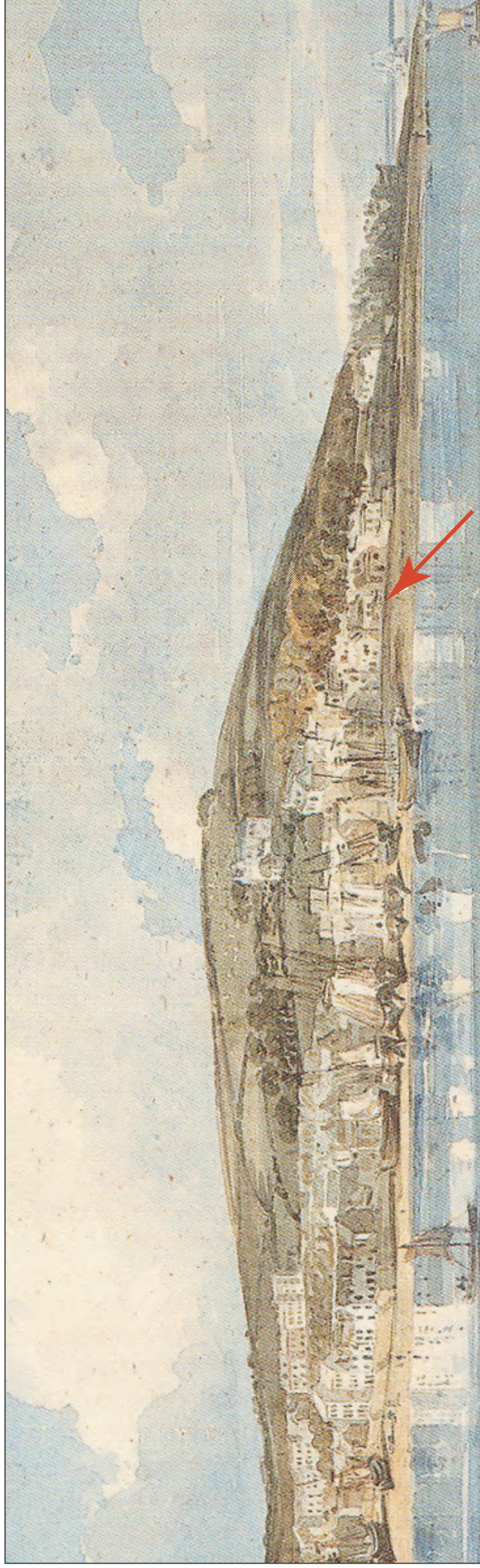


Plate 1: Extract from a watercolour by Thomas Girtton, 1798 (original in the Ashmolean Museum, Oxford). Although detail is not clear, the position of Meeting Street and the buildings at its waterside end is identifiable. The location of Number 46 Market Street is arrowed. (Courtesy of David Carter)

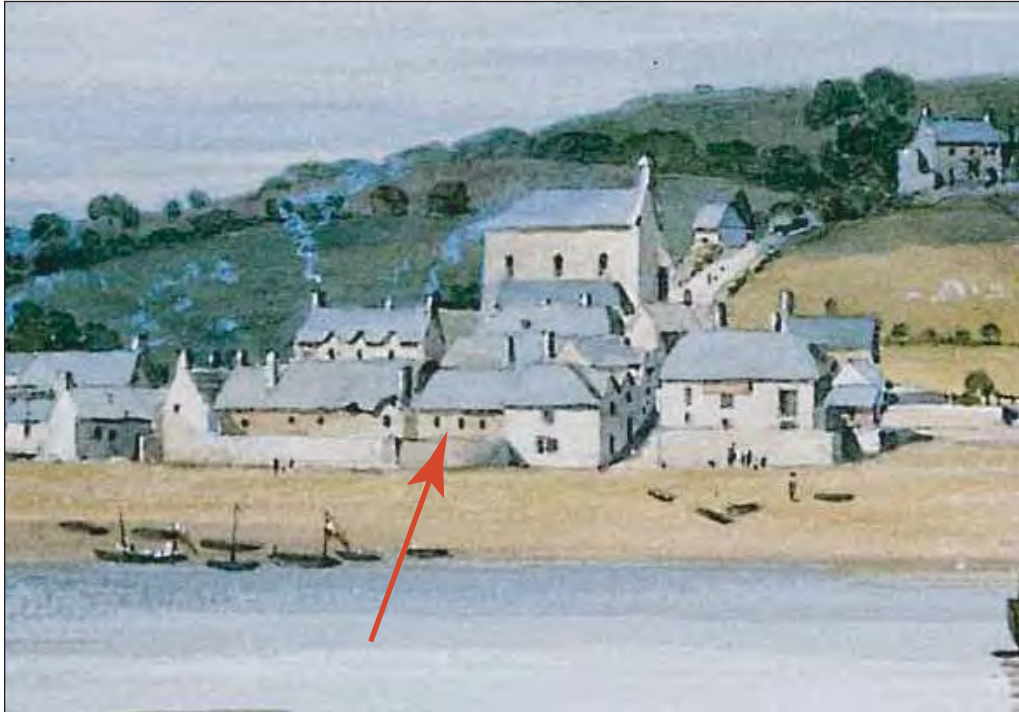


Plate 2: Extract from a watercolour by G.Shepherd, 1819 (original in the Ashmolean Museum, Oxford). This selection shows Meeting Street leading down to the foreshore with the recently (1816) constructed Independent Chapel half way up the hill on the left. The arrow indicates the approximate location of Number 46 Market Street. (From *An Illustrated History of Appledore*, page 31 - with the author's permission.)



Plate 3: The extension to the rear of 46 Market Street Appledore viewed from the east.



Plate 4: The rear doorways to the main range and the extension.



Plate 5: The passageway between the extension and the garage viewed from the west showing the rear gateway to Appledore Quay.



Plate 6: The cobbled surface of the courtyard to the rear of the extension viewed from the north west.

Appendix 1

DCCHES BRIEF FOR HISTORIC BUILDING RECORDING AND ARCHAEOLOGICAL MONITORING AND RECORDING OF GROUNDWORKS

Location: 46 Market Street, Appledore

Parish: Northam

District: Torridge

County: Devon

NGR: SS46533058

Planning Application no: 1/2162/2006/FUL

Proposal: Demolition of existing extension and erection of dwelling

Historic Environment Service ref: ARCH.DC.TO.11147

1. INTRODUCTION AND ARCHAEOLOGICAL BACKGROUND

1.1 This brief has been prepared by the Devon County Council Historic Environment Service (HES), at the request of Deb Laing-Trengove of South West Archaeology, on behalf of Clive Jones, with regard to the archaeological works required as a condition (number 6) of planning consent for the above works at 46 Market Street, Appledore.

1.2 In accordance with PPG15 (1994) Planning and the Historic Environment, PPG16 (1990)

Archaeology and Planning Policy and the Local Development Framework Policy on archaeology, consent has been granted, conditional upon a programme of archaeological work being undertaken.

This condition requires that:

'No development shall take place until the applicant has secured the implementation of a programme or [sic] archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the Planning Authority. The development shall be carried out at all times in strict accordance with the approved scheme, or such other details as may be subsequently agreed in writing by the Local Planning Authority.'

1.3 The principal objectives of the programme shall be to:

- i) investigate and record any historic building fabric or architectural detail that is obscured, removed or otherwise affected by the development and
- ii) monitor groundworks associated with the development to allow any exposed archaeological deposits to be investigated and recorded.

1.4 The application site lies within the historic core of Appledore, approximately 150m from the parish church, which was built in 1838 on the site of a medieval chapel. The name Appledore is first recorded in 1335, but the settlement is believed to occupy the site of the village of Tawmouth, which is referred to in the Anglo-Saxon Chronicle entry for 1068. The settlement declined during the 15th century, but its advantageous position as the first place within Bideford Bar where ships could lie up, led it to become a populous place by the mid 16th century. During the medieval and early modern periods, shipbuilding was carried out on the foreshore, and by the 19th century, Appledore had developed as a shipbuilding and maritime trading centre, with several purpose-build shipyards coming into use.

46 Market Street is described in the *List of Buildings of Architectural or Historic Interest* as being of probable early 19th century date. Although the extension to be demolished is not specifically mentioned in the *List*, it is shown on the 1880s Ordnance Survey mapping, and is likely to be contemporary with the house.

Until the construction of a regular quay in the mid 19th century, the properties on the east side of Market Street backed on to the waterfront in an irregular group of private wharfs. It is possible that remains relating to such waterside activities may survive as buried archaeological deposits within the application site. The possibility of the buried remains of medieval and later boatbuilding activities surviving within the site should also be borne in mind. Any such remains might be disturbed by the groundworks associated with the proposed new dwelling and its landscaping and services arrangements.

The proposal involves:

- i) the demolition of a probable 19th century extension to the house and its replacement with a wider extension
- ii) the demolition of the existing garage and erection of a dwelling occupying its site and crossing the width of the rear section of the existing courtyard

1.5 This Brief covers the application area as defined in the plans submitted in support of this application.

2. WRITTEN SCHEME OF INVESTIGATION

This document sets out the scope of the works required to record the historic fabric affected by the proposed development and to investigate and record the extent and character of any surviving archaeological deposits

affected by the development within the application area and will form the basis of the *Written Scheme of Investigation* to be prepared by the archaeological consultant and approved by the HES and the Local Planning Authority.

3. PROGRAMME OF ARCHAEOLOGICAL WORKS

3.1 Desk-based assessment

The programme of work shall include an element of desk-based research to place the development site into its historic and archaeological context. This work will consist of map regression based on the Ordnance Survey maps and the Tithe Map(s) and Apportionments. An examination will also be made of records and aerial photographs held by the HER. In addition, it will involve the examination of other *known* relevant cartographic, documentary and photographic sources held by the Devon Record Office, West Country Studies Library and the County Historic Environment Service. Any other assessment technique as agreed to be appropriate in consultation with the HES. This information will be presented as part of the final report along with the results of the fieldwork.

3.2 Historic building recording of above-ground archaeology

A record shall be made of the historic fabric of the building affected by the development. This work shall broadly conform to Level 1 of recording levels as set in *Understanding Historic Buildings: A guide to good recording practice - English Heritage 2006* (available on-line at the English Heritage website) and described below:

*Level 1 is essentially a **basic visual record**, supplemented by the minimum of information needed to identify the building's location, age and type. This is the simplest record, not normally an end in itself but contributing to a wider aim. Typically it will be undertaken when the objective is to gather basic information about a large number of buildings – for statistical sampling, for area assessments or historic landscape characterisation, for a pilot project, to identify buildings for planning purposes, or whenever resources are limited and much ground has to be covered in a short time. It may also serve to identify buildings requiring more detailed attention at a later date. Level 1 surveys will generally be of exteriors only, although they may include superficial interior inspection for significant features. Only if circumstances and objectives allow will any drawings be produced, and these are likely to take the form of sketches.*

The contracted archaeologist should make themselves familiar with the specification required for each of the recording levels and the detail of the proposed archaeological works should be set out in the *Written Scheme of Investigation*.

NB: No record of the fabric of the garage is required.

3.3 Monitoring and Recording of Groundworks

Comprehensive monitoring and recording of below-ground archaeology

Topsoil and all groundworks across the site should be undertaken by a 360o tracked or wheeled JCBtype mechanical excavator fitted with a toothless grading bucket under the supervision and control of the site archaeologist to the depth of formation, the surface of *in situ* subsoil/weathered natural or archaeological deposits whichever is highest in the stratigraphic sequence. Should archaeological deposits be exposed machining will cease in that area to allow the site archaeologist to investigate the exposed deposits.

3.3.1 Archaeological features will be cleaned and excavated by hand, recorded and fully recorded by context as per the appropriate Institute of Field Archaeologist Guidelines. All features shall be recorded in plan and section at a minimum scale of 1:20, larger where necessary.

As a minimum:

- i) small discrete features will be fully excavated;
- ii) larger discrete features will be half-sectioned (50% excavated); and
- iii) long linear features will be excavated to sample 20% of their length - with investigative excavations distributed along the exposed length of any such feature.

The photographic record shall be made in B/W print supplemented by digital or colour transparency.

If digital imagery is to be the sole photographic record then suitably archivable prints must be made of the digital images by a photographic laboratory. Laser or inkjet prints of digital images, while acceptable for inclusion in the report, are not an acceptable medium for archives. The drawn and written record will be on an appropriately archivable medium.

Any variation of the above will be undertaken in agreement with the HES.

3.3.2 Spoil will be examined for the recovery of artefacts.

3.3.3 Should deposits be exposed that contain palaeoenvironmental or datable elements appropriate sampling strategies should be initiated. The project will be organised so that specialist consultants who might be required to conserve or report on finds or advise or report on other aspects of the investigation (e.g. palaeoenvironmental analysis) can be called upon and undertake assessment and analysis of such deposits - if required.

3.3.4 Human remains must initially be left in-situ, covered and protected. Removal can only take place under appropriate Ministry of Justice and environmental health regulations. Such removal must be in compliance with the relevant primary legislation.

3.3.5 Should gold or silver artefacts be exposed these will be removed to a safe place and reported to the local coroner according to the procedures relating to the Treasure Act 1996. Where removal cannot be effected on the same working day as the discovery suitable security measures will be taken to protect the finds from theft.

4. MONITORING

4.1 The archaeological consultant shall agree monitoring arrangements with the County Historic Environment Service and the District Conservation Officer and give two weeks notice, unless a shorter period is agreed with the HES, of commencement of the fieldwork. Details will be agreed of any monitoring points where decisions on options within the programme are to be made.

4.2 Monitoring will continue until the deposition of the site archive and finds, and the satisfactory completion of an OASIS report - see 5.5 below.

5. REPORTING

5.1 The reporting requirements will be confirmed with the HES on completion of the site work.

5.2 The report shall be prepared collating the written, graphic, visible and recorded information outlined above. The report shall include plans of the features, including their location, description of the historic building fabric, architectural features of interest, below-ground archaeological deposits and artefacts together with their interpretation. It is recommended that a draft report is submitted to the HES for comment prior to its formal submission to the Local Planning Authority.

5.3 A copy of this brief shall be included in the report.

5.4 A copy of the report will be submitted to the Torridge District Council's Conservation Officer - address below.

5.5 The HES would normally expect to receive the report within three months of completion of fieldwork - dependant upon the provision of specialist reports, radiocarbon dating results etc the production of which may exceed this period. If a substantial delay is anticipated then an interim report will be produced. A copy of this brief shall be included in the report.

5.6 On completion of the report, in addition to copies required by the Client, hard copies of the report shall be supplied to the HES on the understanding that one of these copies will be deposited for public reference in the HER. In addition to the hard copies of the report, one copy shall be provided to the HES in digital format - in a format to be agreed in advance with the HES - on the understanding that it may in future be made available to researchers via a web-based version of the HER.

5.7 The archaeological consultant shall complete an online OASIS (*Online AccesS to the Index of archaeological investigationS*) form in respect of the archaeological work. This will include a digital version of the report. **The report or short entry to the Historic Environment Record will also include the OASIS ID number.**

5.8 Publication

Should particularly significant historic fabric, architectural features, below-ground remains, finds be encountered, then these, because of their importance, are likely to merit wider publication in line with government planning guidance. If such remains are encountered, the publication requirements – including any further analysis that may be necessary – will be confirmed with the HES.

6. PERSONNEL

6.1 Staff must be suitably qualified and experienced for their project roles. All work should be carried out under the control of a member of the Institute of Historic Building Conservation (IHBC), the Institute of Field Archaeologists (IFA), or by a person of similar standing. The Written Scheme of Investigation will contain details of key project staff and specialists who may contribute during the course of the works - excavation and post-excavation.

6.2 Health and Safety matters, including site security, are matters for the consultant. However, adherence to all relevant regulations will be required.

6.3 The work shall be carried out in accordance with *IFA Standards and Guidance for the archaeological investigation and recording of standing buildings or structures (1996)*, as amended (2001).

7. DEPOSITION OF ARCHIVE AND FINDS

7.1 The archaeological consultant shall contact the museum that will receive the site archive to obtain an accession number and agree conditions for deposition. *The accession number will be quoted in the Written Scheme of Investigation.*

7.2 Archaeological finds resulting from the investigation (which are the property of the landowner), should be deposited with the appropriate museum - in a format to be agreed with the museum, and within a timetable to be agreed with the HES. The museum's guidelines for the deposition of archives for long-term storage should be adhered to. If ownership of all or any of the finds is to remain with the landowner, provision and agreement must be made for the time-limited retention of the material and its full analysis and recording, by appropriate specialists.

7.3 The artefact discard policy must be set out in the Written Scheme of Investigation.

7.4 The condition placed upon this development will not be regarded as discharged until the report has been produced and submitted to the HES and the LPA, the site archive deposited and the OASIS form submitted.

8. CONTACT NAME AND ADDRESS

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26th March 2008

Appendix 2

WRITTEN SCHEME OF INVESTIGATION FOR HISTORIC BUILDING RECORDING AND ARCHAEOLOGICAL RECORDING AND MONITORING AT 46, MARKET STREET, APPLIEDORE DEVON.

Location: 46 Market Street,

Parish: Appledore

District: Torridge

County: Devon

NGR: SS46533058

Planning Application no: 1/2162/2006/FUL

Proposal: Demolition of existing extension and erection of dwelling

HES ref: ARCH.DC.TO. 11147

1.0 INTRODUCTION

1.1 This document forms a Written Scheme of Investigation (WSI) and details the proposed scheme of historical building recording and archaeological monitoring and recording at 46, Market Street, Appledore, Devon. It has been drawn up by South West Archaeology (SWARCH) at the request of Ashley Bell on behalf of Pat Goodall and John Mayr (the Clients), with regard to the archaeological works required as a condition of planning consent for the above works at 46, Market Street, Appledore. The WSI and the schedule of work it proposes conforms to a brief as supplied by the Devon County Historic Environment Service (DCHES).

In accordance with PPG15 (1994) Planning and the Historic Environment, PPG16 (1990) Archaeology and Planning Policy and the Local Development Framework Policy on archaeology, consent has been granted, conditional upon a programme of archaeological work being undertaken. This condition (number 6) requires that:

'No development shall take place until the applicant has secured the implementation of a programme or [sic] archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the Planning Authority. The development shall be carried out at all times in strict accordance with the approved scheme, or such other details as may be subsequently agreed in writing by the Local Planning Authority.'

1.2 The work covered by this WSI consists of

1.2.1 Desk-based research to place the development site in its historic and archaeological context.

1.2.2 Recording of any historic building fabric or architectural detail that is obscured removed or otherwise affected by the development;

1.2.2 Monitoring groundworks associated with the development to allow any exposed archaeological deposits to be investigated and recorded;

2.0 ARCHAEOLOGICAL BACKGROUND

2.1 The site lies within the historic core of Appledore, approximately 150m from the parish church, which was built in 1838 on the site of a medieval chapel. The name Appledore is first recorded in 1335, but the settlement is believed to occupy the site of the village of Tawmouth, which is referred to in the Anglo-Saxon Chronicle entry for 1068. The settlement declined during the 15th century, but its advantageous position as the first place within Bideford Bar where ships could lie up, led it to become a populous place by the mid 16th century. During the medieval and early modern periods, shipbuilding was carried out on the foreshore, and by the 19th century, Appledore had developed as a shipbuilding and maritime trading centre, with several purpose-build shipyards coming into use.

46 Market Street is described in the *List of Buildings of Architectural or Historic Interest* as being of probable early 19th century date. Although the extension to be demolished is not specifically mentioned in the *List*, it is shown on the 1880s Ordnance Survey mapping, and is likely to be contemporary with the house.

Until the construction of a regular quay in the mid 19th century, the properties on the east side of Market Street backed on to the waterfront in an irregular group of private wharfs. It is possible that remains relating to such waterside activities may survive as buried archaeological deposits within the application site. The possibility of the buried remains of medieval and later boatbuilding activities surviving within the site should also be borne in mind. Any such remains might be disturbed by the

groundworks associated with the proposed new dwelling and its landscaping and services arrangements.

3.0 AIMS

3.1 The principal objectives of the work will be to:

- 3.1.1 Establish the historic context and development of the site.
- 3.1.2 Investigate and record any historic building fabric or architectural detail that may be obscured, removed or otherwise affected by the development.
- 3.1.3 To observe, investigate, excavate and record any surviving below-ground archaeological artefacts and deposits in areas affected by groundworks associated with the development.
- 3.1.4 Analyse and report on the results of the project as appropriate.

4.0 METHOD

4.1 Health and Safety requirements will be observed at all times by any archaeological staff working on site.

- 4.1.1 Appropriate PPE will be employed at all times.
- 4.1.2 The site archaeologist will undertake any site safety induction course provided by the Client.
- 4.1.3 Should the sides of any trenches, or any built structures be deemed unstable, by virtue of depth or composition, trenches or built structures will be adequately shored, shuttered or stepped to allow safe access. The provision of such measures will be the responsibility of the client.

4.2 Historic building recording:

An archaeological record of those elements of the building affected or revealed by the development will be undertaken with the aim of a greater understanding of the building and the identification and recording of any historic features. The recording will be based on English Heritage Level (*Understanding Historic Buildings: A guide to good recording practice*) guidelines and carried out in accordance with *IFA Standards and Guidance for the archaeological investigation and recording of standing buildings or structures* (1996), as amended (2001) and will consist of:

- 4.2.1 A written description and analysis of significant building elements including evidence for different periods of build if revealed and as appropriate;
- 4.2.2 A digital photographic record will be made of the building;
- 4.2.3 The project will be organised so that specialist consultants who might be required to conserve or report on finds or advise or report on other aspects of the investigation (e.g. dendrochronological or palaeoenvironmental analysis) can be called upon and undertake assessment and analysis of such deposits.

4.3 Below-ground archaeological monitoring and recording of groundworks:

Where groundworks are likely to impact on below-ground archaeology or historic fabric any archaeological work deemed necessary will be carried out in accordance with the Institute of Field Archaeologists (IFA) *Standard and Guidance for an Archaeological Excavation* (revised 2001) and the *Standard and Guidance for an Archaeological Watching Brief* (revised 2001). All groundworks in the existing courtyard including hand and machine excavation, removal of surfaces, level reduction and trenching are to be carried out under close archaeological supervision.

- 4.3.1 Machine excavation will be undertaken using a machine with a toothless, grading bucket.
- 4.3.2 Excavation will proceed to the surface of archaeological deposits, the surface of *in situ* weathered subsoil or to a depth that will not be affected by the development, whichever is highest in the stratigraphic sequence. Where necessary, to clarify features and soil marks, the area will be cleaned by hand. Should archaeological or palaeoenvironmental remains be exposed, machining will cease in that area to allow the site archaeologist to investigate, record and sample such deposits. The examination will be undertaken before the exposed level is affected by any further construction work and before plant and machinery is driven over it and sufficient time should be allowed in the construction programme to allow the site archaeologist to undertake these investigations. Any archaeological features discovered will then be cleaned, excavated by hand and recorded to IFA guidelines and as per below.
- 4.3.3 In exceptional circumstances where materials of a particularly compact nature are encountered, these may be removed with a toothed bucket, subject to agreement with archaeological staff on site.
- 4.3.4 If unanticipated complex or extraordinary archaeological deposits or features are exposed which are of sufficient significance to merit an alternative approach, such as contingency excavation or physical preservation, the need for any amendment to this WSI will be discussed with the client and DCHES.

- 4.3.5 Human remains must be left *in-situ*, covered and protected. Removal can only take place under appropriate Ministry of Justice and environmental health regulations. Such removal must be in compliance with the relevant primary legislation.
- 4.3.6 Should gold or silver artefacts be exposed, these will be removed to a safe place and reported to the local coroner according to the procedures relating to the Treasure Act 1996. Where removal cannot be effected on the same working day as the discovery suitable security measures will be taken to protect the finds from theft.
- 4.3.7 Spoil will be examined for the recovery of artefacts.
- 4.4 Archaeological recording will be based on IFA guidelines and those advised by DCHES and will consist of:
 - 4.4.1 Survey and location of archaeological deposits and features.
 - 4.4.2 Labelling and bagging of finds on site. Post-1800 unstratified pottery may be discarded on site after a representative sample has been retained.
 - 4.4.3 Should suitable deposits be exposed that contain palaeoenvironmental or datable elements, appropriate sampling strategies should be initiated. The project will be organised so that specialist consultants who might be required to conserve or report on other aspects of the investigation (e.g. palaeoenvironmental analysis) can be called upon and undertake assessment and analysis of such deposits.
 - 4.4.4 If archaeological features are exposed, then *as a minimum*:
 - i. Small discrete features will be fully excavated.
 - ii. Larger discrete features will be half-sectioned (50% excavated)
 - iii. Long linear features will be excavated to sample 20% of their length - with investigative excavations distributed along the exposed length of any such feature.
 - 4.4.5 Records will consist of standardised single context recording sheets. All features will be recorded in plan and section at a minimum scale of 1:20, larger where necessary. The drawn and written record will be on an appropriately archivable medium. The photographic record will be made digitally supplemented by B/W print where appropriate. If digital imagery is to be the sole photographic record then suitably archivable prints must be made of the digital images by a photographic laboratory.
- 4.5 SWARCH will agree monitoring arrangements with DCHES and give two weeks notice, unless a shorter period is agreed, of commencement of the fieldwork. Details will be agreed of any monitoring points where decisions on options within the programme are to be made. Monitoring will continue until the deposition of the site archive and finds.

5.0 ARCHIVE AND REPORT

- 5.1 An ordered and integrated site archive will be prepared in accordance with *The Management of Archaeological Projects* (English Heritage, 1991 2nd edition) upon completion of the entire project. This will include relevant correspondence together with context sheets, field drawings, and environmental, artefactual and photographic records. The archive will be deposited with the Museum of Barnstaple and North Devon under accession number 2008.43.
- 5.2 Archaeological finds resulting from the investigation (which are the property of the landowner), will also be deposited with the above museum (under the accession number above) in a format to be agreed with the museum, and within a timetable to be agreed with the HES. The museum's guidelines for the deposition of archives for long-term storage will be adhered to and any sampling procedures will be carried out prior to deposition and in consultation with the museum. If ownership of all or any of the finds is to remain with the landowner, provision and agreement must be made for the time-limited retention of the material and its full analysis and recording, by appropriate specialists.
- 5.3 One hard copy and one PDF copy of the report will be provided to the HES on the understanding that the hard copy will be deposited for public reference in the HER.
- 5.4 If significant historical elements are recorded or archaeological deposits are exposed by these works an illustrated summary report will be produced as soon as possible following completion of fieldwork, and submitted to Devon County Historic Environment Service and the Client. If few or no archaeological deposits are exposed then, with advance agreement with the DCHES, the submission of a short HER entry will be acceptable. If a report is produced, this will include the following elements:
 - 5.4.1 A copy of the DCHES brief.
 - 5.4.2 A location plan and overall site plan showing the area subject to the watching brief as well as the distribution of any archaeological features;
 - 5.4.3 The building survey aspect will consist of a photographic record of the exterior of the building and interior as appropriate, supplemented with records of features of historical significance within the building and associated illustrations and/or photographs where appropriate;
 - 5.4.4 Plans and sections of exposed features or deposits at a relevant scale;

- 5.4.5 A description of any remains and deposits identified including an interpretation of their character and significance;
- 5.4.6 An assessment of significant artefacts, environmental and scientific samples together with recommendations for further analysis;
- 5.4.7 Any specialist reports commissioned;
- 5.4.8 Discussion of the archaeological deposits encountered and their context.
- 5.5 DCHES will receive the report within three months of completion of fieldwork, dependant on the provision of specialist reports, radiocarbon dating results etc, the production of which may exceed this period. If a substantial delay is anticipated then an interim report will be produced. The report will be supplied to the HES on the understanding that one of these copies will be deposited for public reference in the HER. In addition to the hard copies of the report, one copy will be provided to the HES in digital format, in a format to be agreed in advance with the HES, on the understanding that it may in future be made available to researchers via a web-based version of the HER.
- 5.6 Should they merit it; the results of these investigations will be published in an appropriate academic journal. If required, after the production of a summary report, a programme and timetable for this will be submitted to Devon County Historic Environment Service and the Client for approval.
- 5.7 A copy of the report detailing the results of these investigations will be submitted to the OASIS (*Online AccesS to the Index of archaeological Investigations*) database under ref. southwes 1-40487.
- 6.0 **PERSONNEL**
The project will be managed by Colin Humphreys of SWARCH. Relevant staff of the DCHES will be consulted as appropriate. Where necessary appropriate specialist advice will be sought, (see list of consultant specialists in Appendix 1 below).

Deb Laing-Trengove
South West Archaeology
The Thornes, Kentisbury, Barnstaple N. Devon EX31 4NQ
Telephone: 01271 883000 email deblt@swarch.net

Appendix 1 – List of specialists

Building recording

Robert Waterhouse
13 Mill Meadow, Ashburton TQ13 7RN
Tel: 01364 652963
Richard Parker
Exeter Archaeology, Bradninch Place, Gandy Street, Exeter EX4 3LS
Tel: 01392 665521
exeter.arch@exeter.gov.uk

Conservation

Richard and Helena Jaeschke
2 Bydown Cottages, Swimbridge, Barnstaple EX32 0QD
Tel: 01271 830891

Curatorial

Alison Mills
North Devon Museum, The Square, Barnstaple
Tel: 01271 346747

Geophysical Survey

Ross Dean
South West Archaeology Limited.
GSB Prospection Ltd.
Cowburn Farm, Market Street, Thornton, Bradford, West Yorkshire, BD13 3HW
Tel: +44 (0)1274 835016
gsb@gsbprospection.com

Human Bones

Seana Cummins
South West Archaeology Limited.

Louise Lou
Head of Heritage Burial Services,
Oxford Archaeology, Janus House, Osney Mead, Oxford, OX2 OES
01865 263 800

Lithics

Martin Tingle
Higher Brownston, Brownston, Modbury, Devon, PL21 OSQ
martin@mtingle.freemove.co.uk

Metallurgy

Sarah Paynter, Centre for Archaeology, Fort Cumberland, Fort Cumberland Road, Eastney, Portsmouth PO4 9LD
02392 856700
sarah.paynter@english-heritage.org.

Palaeoenvironmental/Organic

Vanessa Straker
English Heritage SW, 29 Queen Square, Bristol BS1 4ND
Tel: 0117 9287961
vanessa.straker@english-heritage.org.uk
Dana Challinor (wood identification)
Lavender Cottage, Little Lane, Aynho, Oxfordshire OX17 3BJ
tel. 01869 810150
dana.challinor@tiscali.co.uk
Julie Jones (plant macro-fossils)
juliedjones@blueyonder.co.uk
Heather Tinsley (pollen analysis)
heathertinsley@aol.com
Ralph Fyffe (pollen analysis) University of Plymouth

Pottery

John Allen,
Exeter Archaeology, Bradninch Place, Gandy Street, Exeter EX4 3LS
Tel: 01392 665918
Henrietta Quinnell
9 Thornton Hill, Exeter EX4 4NN
Tel: 01392 433214

Timber Conservation

Liz Goodman
Specialist Services, Conservation Museum of London, 150 London Wall, London EC2Y 5HN
Tel: 0207 8145646
lgoodman@museumoflondon.org.uk

Appendix 3

Text of the English Heritage Listing Document

IoE Number: 90617

MARKET STREET 1. 1457 (East Side) APPLIEDORE Nos 44 to 48 (even) SS 4630 1/128 II GV 2. Probably early C19. No 44, plain 4-panel door without number in wall of garden of house fronting the QUAY, (Sailors' Rest). No 46 2 storey, one sash window at each floor with exposed frame and glazing bars. Stucco, whitened, 6-panel door with sunk upper panels. No 48, 2 storey, 2 sash windows at 1st floor with exposed frames, glazing bars missing. Large display window at ground floor, right, casement with centre vertical bar, shop entrance left. All the listed buildings in Market Street form a group.

Devon County Historic Environment Record (HER) **24388**

Form: Extant Building

District: Torridge

District Class: Domestic

Type: HOUSE

NGR: SS46533059

Historic Parish: NORTHAM

OS Map: SS43SE

Civil Parish: Northam

Broad Period: Modern

Listed Building Grade: Grade II

Period: Modern, XIX

Description

Nos 44 to 48 (even), Market Street, Appledore. Probably early C19. No 44, plain 4-panel door without number in wall of garden of house fronting the quay, (Sailors' Rest). No 46, 2 storey, one sash window at each floor with exposed frame and glazing bars. Stucco, whitened. 6-panel door with sunk upper panels. No 48, 2 storey, 2 sash windows at 1st floor with exposed frames, glazing bars missing. Large display window at ground floor, right, casement with centre vertical bar, shop entrance left (DoE).

Appendix 4

List of Jpegs contained on CD inside rear cover of this report

1. The extension to the rear of 46 Market Street Appledore viewed from the east.
2. As above
3. The toilet to the rear (east) of the extension.
4. The passage between the extension and the garage viewed from the east.
5. The rear doorways to the main range and the extension.
6. The rear doorway to the extension viewed from the north.
7. As above including the kitchen window.
8. As above.
9. The passageway between the extension and the garage viewed from the west showing the rear gateway to Appledore Quay.
10. The cobbled yard to the north of the doorway to the extension.
11. The cobbled surface in the passageway between the extension and the garage viewed from the west.
12. The east end of the above.
13. The cobbled surface of the courtyard to the rear of the extension viewed from the north west.
14. The ground floor utility room viewed from the west.
15. The shower in the utility room viewed from the south west.
16. The kitchen and utility room viewed from the west.
17. The first floor bedroom viewed from the west.
18. As above viewed from the east.
19. The roof structure of the extension viewed from the west.
20. Geotechnical pit (1) viewed from the south.
21. As above viewed from the south west.
22. Geotechnical pit (2) viewed from the north.