

The Former Sawmills, Stevenstone Estate, St Giles in the Wood, Devon

Historic Building Recording



Heritage Consultancy
SOUTHWEST ARCHAEOLOGY

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Executive Summary

This report presents the results of a programme of historic building recording at the former Sawmills complex, on the edge of the Stevenstone Estate, St Giles in the Wood, Devon.

The work was conditioned under planning permission: 1/1063/2022/FUL. The building comprises the largest of the standing sawmills buildings within the former estate yard. It is of stone rubble with brick dressings, of an unusually archaic style for its mid-late 19th century construction and this likely reflects its specific social history as an estate building.

Stripped of its fittings, the building's structural form is largely intact and is of one phase of build, there is a small section of stonework which this building abuts and incorporates from an earlier adjacent building which has since been demolished.

Client	Private Client
Agent	Louise Crossman Architects
Parish	St Giles in the Wood
District	Torrige
County	Devon
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1 INTRODUCTION

1.1 PROJECT BACKGROUND

South West Archaeology Ltd. was instructed by Louise Crossman Architects (the Agent) on behalf of a Private Client (the Client) to undertake a programme of conditioned historic building recording, as part of planning application *1/1063/2022/FUL*, for the conversion of a sawmills building to form a residential dwelling.

1.2 METHODOLOGY

All recording works have been undertaken in accordance with a Written Scheme of Investigation (WSI) drawn up in consultation with the Devon County Historic Environment Team (DCHET).

The site was visited on the 17th November 2025 by archaeologists E. Wapshott MCifA & S. Stevens. The assessment was undertaken in accordance with CifA (2014) and Historic England (2008; 2015; 2016) guidance. Written records will be accompanied by a comprehensive photographic record. Measured plans of the building will be created and annotated. This work will conform to Level 2/3 of the appropriate Historic England guidance and the DCHET specifications.

1.3 LOCATION AND TOPOGRAPHY

The site lies within a group of former sawmill buildings to the south of the B3227, immediately north of the former main driveway to Stevenstone. The site formed part of the historic Stevenstone Estate, which was split in the 20th century, sold off as separate holdings and the immediate setting is now residential, but the wider area is in use as agricultural land. The site sits within a band of increasingly sparse woodland, in a shallow valley, with a stream course to the west. The site lies at an altitude of c.110m AOD.

The soils of this area are the well-drained fine loamy soils over rock of the Neath Association (SSEW 1983). These overlie the sedimentary sandstone of the Bude Formation (BGS 2025).

1.4 PLANNING CONTEXT

Works on this site are being undertaken as part of planning application *1/1063/2022/FUL* for the conversion of the sawmill into a residential dwelling at The Old Sawmills, High Bullen, St. Giles in the Wood, Devon.

Below, is the planning condition text:

In accordance with paragraph 212 of the National Planning Policy Framework (2024), and the Policy DM07 of the North Devon and Torridge Local Plan 2011-2031, consent has been granted, conditional upon a programme of archaeological work being undertaken. Conditions 6 and 7 state:

No development to which this permission relates shall commence until an appropriate programme of historic building recording and analysis has been secured and implemented in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out at all times in strict accordance with the approved scheme, or such other details as may be subsequently agreed in writing by the Local Planning Authority.

Reason: To ensure, in accordance with Policy DM07 of the North Devon and Torridge Local Plan 2011 - 2031 and paragraph 205 of the National Planning Policy Framework (2021), and that an appropriate record is made of the heritage asset that is affected by the development.

The development shall not be occupied until (i) the post investigation assessment has been completed in accordance with the approved Written Scheme of Investigation and (ii) that the provision made for analysis, publication and dissemination of results, and archive deposition, has been confirmed in writing to, and approved by, the Local Planning Authority.

Reason: To comply with Paragraph 205 of the NPPF, which requires the developer to record and advance understanding of the

significance of heritage assets, and to ensure that the information gathered becomes publicly accessible.

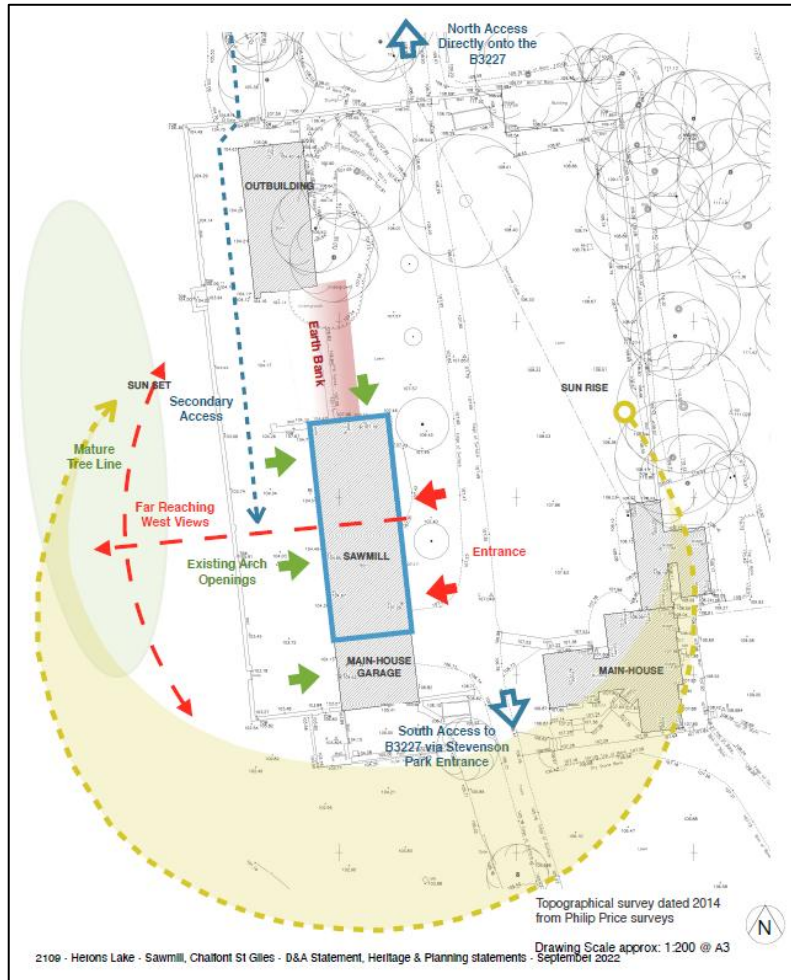


FIGURE 1: SITE LOCATION (FROM THE CLIENT).

2 DESK-BASED ASSESSMENT

2.1 DOCUMENTARY BACKGROUND

A Heritage Assessment page was included as part of the Design and Access Statement produced by Louise Crossman Architects, including a copy of the 1880 mapping. The WSI adapted this and it has been briefly further expanded upon below, to provide the context for the fabric of the building.

The site lies within the bounds of the historic Stevenstone Estate, to the east of Great Torrington, in the parish of St. Giles, the historic hundred of Fremington and the deanery of Great Torrington. The parish has been recorded as *Saint. Gilles (Sanctae Egidio)* or *Stow St. Giles*, as well as *St. Giles in the Wood*.

Lysons records that the manor of Stevenstone moved from the de Stephans family, from whom it takes its name, to the Basset family, then de la Lay, who then adopted the surname Stephenston. Following this in the 14th-16th century it moves through the Grant family; then to the Moyles, finally being sold to George Rolle, a prominent lawyer, in the 16th century. The Rolle family owned the property until the death of Mark Rolle in 1907; Mark Rolle redeveloped the estate during his tenure, particularly in 1868-1873.

The Rolle Estates, were transferred entirely to Lord Clinton, Lord Rolle's nephew (North Devon Gazette; 25th May 1909; access via British Newspaper Archive). Lord Clinton announced the sale of the estate as a whole in 1909, which went ahead in 1911.

The estate was initially bought by Captain John Oliver Clemson in 1912. Captain Clemson died in battle in 1915, aged 33. His widow, Mary, remarried to a Colonel James of the 8th Devonshire regiment, and they remained at Stevenstone until 1930. Large parts of the house had already been reduced by the Clemsons.

On 26th September 1930 the estate was offered for sale with 665 acres and did not sell; the house was then reoffered again on 29th May 1931 with only 17 acres. The 300 acres left of the estate parkland was sold separately in 1931 as farmland to several local holdings. Mr Parnell, a local entrepreneur and owner of the Globe Hotel in Great Torrington eventually bought the rest of the Deer Park, of 335 acres (Western Times, 29th May 1931, accessed via the British Newspaper Archive). The house was requisitioned for air force personnel in World War II, then sold to a series of builders who stripped it of its contents and fixtures and fittings in the 1950s-60s, who converted the stables and services into a small housing estate. In 1970s the ruins of the house were also sold to Mr Parnell.

The Devon Historic Landscape Character (HLC) records this area as *Park/Garden: A park planted with ornamental trees or a garden around a country house*. This coincides with the area recorded on the Devon Historic Environment Record as the 18th century Stevenstone House Park and garden (MDV64783). There is also a secondary layer of HER data, for the earlier Stevenstone Deer Park, with features 15th century – 19th century (MDV11943). There are a series of 19th century quarries just to the south, across the main drive to the site of the country house, these may be source of the stone for the sawmills (MDV34955).

2.2 CARTOGRAPHIC BACKGROUND

The St. Giles Tithe Map of 1842, surveyed by C. Braund & H.Hearn, shows the site as forming part of an irregular enclosure numbered 1213, forming the holding of Stevenstone Barton, within the wider estate. The landowner and occupier is listed on the tithe apportionment as the Trustees of the Right Honourable Lord Rolle, but no individual plot details or indications of land use are included. There are no buildings recorded on the site at this time and no path or routeway indicated running to the south from the main road at this time.

By the publication of the First Edition Ordnance Survey Map of 1887 (surveyed 1886), the site has been developed. The site forms one of a group of buildings surrounding a rectangular yard, clearly indicated as the *Stevenstone Saw Mill*. A route through the yard links the main road to the western driveway to the main house. The buildings lie in a shallow stream valley, and the mapping indicates they were surrounded by trees, presumably ensuring they are screened from views from the main estate buildings. The houses of Leighty Water have also been constructed to the north. This may indicate that these parts of the estate were developed as part of the works carried out by Mark Rolle, who undertook a rebuild of the main house 1868-1873 by Charles Barry Junior, in an Italianate-French chateau style, along with repairs and works to several other buildings on the estate.

The buildings are unchanged on the 1904 and other early 20th century mapping.



FIGURE 2: EXTRACT OF THE ST. GILES TITHE MAP OF c.1840 (GENEALOGIST). THE APPROXIMATE LOCATION OF THE SITE IS INDICATED.

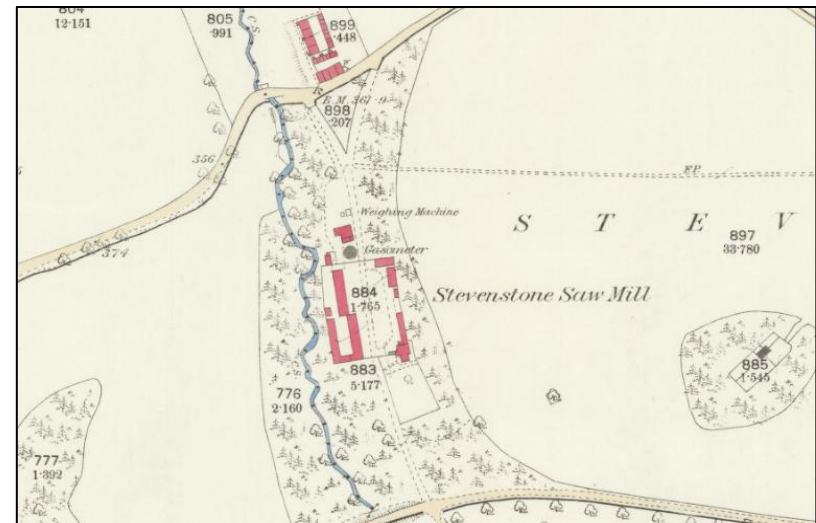


FIGURE 3: EXTRACT OF THE FIRST EDITION ORDNANCE SURVEY MAP OF 1887; DEVON XXX.5. (NLS).

2.3 HISTORIC AERIAL PHOTOGRAPHS

The 1946 aerial photograph by the RAF, part of the Historic England archive shows the sawmills building still standing (subject to this report) as complete and roofed.

The 'partner' building to the north is already shown as a roofless.

The walled courtyard to the east is already converted into a domestic lawn area. The walled courtyard to the west looks to have retained the narrow open-fronted sheds, as shown on the 19th century mapping.



FIGURE 4: EXTRACT OF THE 1946 AP (HISTORIC ENGLAND, VIA DCC ENVIRONMENT VIEWER).

3 HISTORIC BUILDING RECORDING

3.1 STRUCTURE OF THE ASSESSMENT

Textual descriptions of the buildings are included here with a sample of the photographic record for illustrative purposes. Plate list and photographic archive is included in Appendix 1, the planning conditions relating to the recording programme in Appendix 2; detailed recording tables are to be found in Appendix 3. The analysis of the building, including annotated plans are to be found in Section 4 below.

3.2 SUMMARY OF THE BUILDINGS

Large linear range, effectively of bank-barn form, built into and onto (terraced into) a steep slope, within a walled courtyard complex. Many other buildings recorded on the 19th century historic mapping, as part of this site were demolished in the 20th century leaving this standing building, two small outbuildings and one other large sawmills ruin immediately to the north, as the last substantive remains of the working estate yard.

The building is of solid stone walling with brick dressings, and a slate roof, with care and attention paid to its aesthetics as well as its functionality, with distinctive round-headed arches. It has been stripped of its sawmills fittings and has been an amenity and storage building for many decades, the fabric of the building itself however is largely intact.

3.3 EXTERIOR DESCRIPTION

The east elevation is long, of single storey height, built onto the bank; it is of exposed stone, with brick dressings, painted white, the roof is of graduated slates with a terracotta ridge. A modern dove box has been added to the lintel above a central opening which has been infilled with concrete blocks. There is an existing large opening to the south end, this space now used as a car port. There

are a series of wooden casement windows and Crittall-style metal windows inset along the elevation.

The north elevation is a staggered, terraced gable, to the west it is of two storeys and of a messier, potentially older build, with a clear build line defining the lower roof of a former adjacent building. There is a round-headed archway to the east side and a large window, formed out of a loading door within the altered stonework. The elevation is attached to a wall which links it to the other range to the north.

The south elevation is of two storeys built into the bank and slope, taller to the west side. It is blind with a brick chimney stack rising from the apex and is abutted by a set of garden gates to the east and the courtyard wall with pedestrian gate to the west.

The long, west elevation faces into the courtyard and is the 'front' of the building. It is of two storeys with windows over round-headed archways beneath. It is enclosed by a walled yard. The yard itself has been excavated and levelled, exposing the foundations of the front wall.



FIGURE 5: THE EAST AND NORTH ELEVATIONS OF THE BUILDING; FROM THE NORTH-EAST (2M SCALE).



Figure 6: WIDE VIEW OF WEST ELEVATION (2M SCALE).

3.4 INTERIOR DESCRIPTIONS

The interior at upper ground floor is partly open to the east walled yard which has now largely been cleared, laid to lawn and converted into a domestic residential garden space.

Much of the flooring is of thick timber planks, rotten in places, a replacement floor after the machinery was removed. There is an area of slate flooring to the north-west corner and an area of concrete to the south, which is now used as a car port, this has the initials RJT scratched into it with the date 1970. There is a raised working-floor dais all along the western wall, of narrower pine planks. This has more patched of repair and sockets.

The internal walls are of exposed stone, with some historic whitewash layers. At the north-west end of the interior is an area of brick walling, partially demolished, this appears to form an enclosed room and retains its plank door.

A further brick wall forms a partition at the south end against the gable, and this is now a workshop space, which also retains a plank door. No fittings or fixtures survive. The roof is of 12 very large king post and queen-post strut trusses, it is internally felted.



FIGURE 7: INTERIOR VIEW OF UPPER GROUND FLOOR.



FIGURE 8: THE SLATE FLOOR AT THE NORTH END OF THE UPPER GROUND FLOOR (1M SCALE).



FIGURE 9: THE INTERIOR OF THE UPPER GROUND FLOOR; FORM THE NORTH-EAST.

The lower ground floor is even more stripped out and has a phase of conversion to animal housing. It has thin poured concrete floors over historic cobbles and some demolished concrete stub walls to troughs. It has whitewashed exposed stone walls, and the ceiling are of unpainted, untreated pine, of close-coupled deep joists, holding up the floor above. The sawpit runs back into the bank and retains some very large bracing joists with sockets, bolts and attachments for lost machinery. The timber floor above is presumably more modern, inserted when the building was stripped out. The original suspended floor above presumably had fitments for the machinery – air vents do survive in the upper wall, no doubt to vent this floor and aid in dust removal. A galvanised water pipe system has been installed in the front of this lower ground floor space, along the long spine wall, to feed the animal troughs. To the south end, of the open space is a chunky plank-built ladder and hatch leading upwards to the ground floor. Beyond this is another smaller enclosed double bay area, now used for log storage, this also retains whitewashed walls.



FIGURE 10: THE LOWER GROUND FLOOR, NOW USED FOR STORAGE; FORM THE SOUTH.

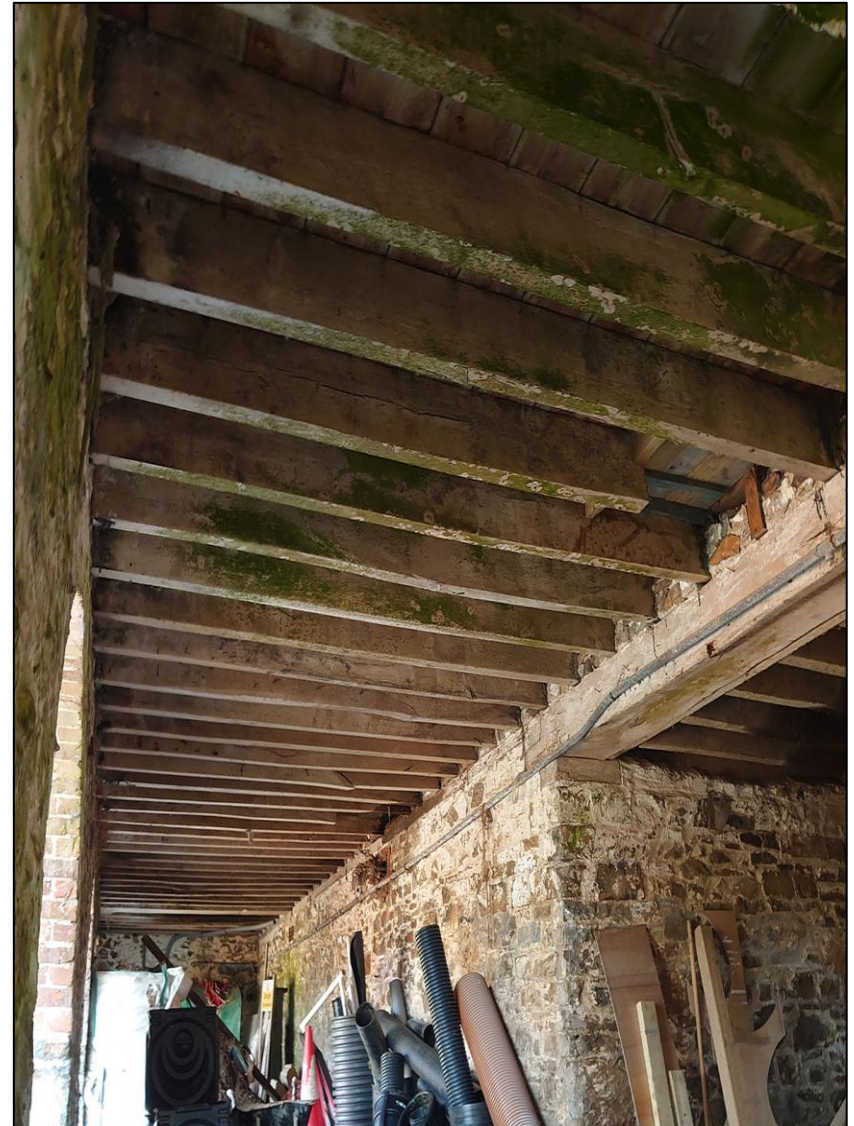


FIGURE 11: THE LOWER GROUND FLOOR OF THE BUILDING.



FIGURE 12: THE LADDER FROM THE LOWER TO UPPER GROUND FLOOR FORM THE NORTH (1M SCALE).



FIGURE 14: THE SAW PIT SET INTO THE BANK; FROM THE WEST (1M SCALE).



FIGURE 13: THE COBBLED FLOOR ON THE LOWER GROUND FLOOR, COVERED BY CEMENT/CONCRETE; (FROM THE WEST 1M SCALE).



FIGURE 15: THE EXPOSED ROUGH FOUNDATIONS OF THE BUILDING (1M SCALE); FROM THE SOUTH-WEST.

3.4.1 THE COURTYARD WALLS

To the west the building faces a broad terraced yard, which is enclosed walls c.2m high.

These walls are built of a similar regularised rubble although not quite of the same presentation quality as the building. The walls appear to have been capped slightly at the top, repaired with concrete coping. Historic mapping shows these may have been abutted by timber open-fronted structures and sheds.

The wall engages with the building at the south end, with a clear joint between, suggesting that the wall was built after the building but likely in the same phase.



FIGURE 16: THE COURTYARD WALL WHICH ENCLOSES THE BUILDING (2M SCALE).

To the north, a section of wall is ramped up to the elevation of the building, this is of a different messy rubble build and has been repaired in cement mortars. It also abuts the building but is of a later phase than the rest of the courtyard walls – it may merely represent a repair-rebuild.



FIGURE 17: THE COURTYARD WALL AND SOUTH END OF THE BUILDING.

4 ANALYSIS OF THE BUILDING

4.1.1 NOTE ON THE ARCHITECTURE

This building with its shallow-arched (basket arched) windows and round-headed arched doorways appears very Georgian in design, proportion and form. This archaic style may be intentional, creating a sense of establishment and ‘matching’ or linking these relatively late estate buildings c.1850s-1870s, to other groups of service buildings on the Stevenstone estate, which did have a period of serious investment in both the earlier Baroque and Regency periods, before the Victorian phase of expansion.

It is of interest that the windows in the building are also of notable archaic style, this time being 20th century replacements and heritage-style copies, but mimicking classic 19th century ‘factory’ windows, with their distinctive overlapping glass panes – this would suggest that utilising older styles, or older construction methods may reflect an estate-specific approach through time and the transfer of traditional skills within the estate staff. This style also has a functional role, as it allows the maximisation of light in the interior processing floor.

Similar archaic use of both methods and materials can be seen in other great estates in the Northern Devon region, such as the Knight family’s moorland estate on Exmoor. This provides an interest associational social-history angle to the architecture.



FIGURE 18: DETAILED PHOTOGRAPH OF ONE OF THE ROUND-HEADED ARCHES WHICH DEFINES THE WEST ELEVATION (2M SCALE); FROM THE WEST.

4.1.2 NARRATIVE DEVELOPMENT

The majority of the building, apart from a small section to the north-west corner, all dates from a single phase of construction, built between the 1842 tithe map and 1886 First edition. This is likely aligned with the rebuilding of the main house and significant investment in the estate, between 1868-1873.

This north-west corner is of a much looser, rubble build and has a thicker, messier lime mortar and pointing, of a greyish-beige colour, rather than the ‘clean’ cream coloured lime used in the main build. It has been more heavily altered and there are a lot of cement repairs. This wall projects to the west, on a different alignment slightly and is contiguous to the north, forming a retaining wall of sorts. This main building is built up against this remnant of an earlier building – we can see from the historic mapping (Figures 3 & 4) that there was a much longer range to the north, on a slight offset alignment and set forward, with the building currently

surviving to the north, presumably the truncated, altered remains of this. The 1946 aerial photograph appears to show this northern building as a roofless structure.

Minor alterations have happened throughout the building's life, and it has obviously changed function after all the sawmills equipment was stripped out, now merely being an amenity/storage building.

Where elements have had to be replaced, even in the early 20th century, it would appear that the estate undertook to make exact copies, for example, the windows in the west elevation, which are of an archaic 19th century form.



FIGURE 19: ONE OF THE WINDOWS IN THE WEST ELEVATION OF THE SAWMILLS BUILDING, A STYLE COMMON IN THE 19TH CENTURY, ALTHOUGH THESE WINDOWS APPEAR TO BE 20TH CENTURY COPIES.



FIGURE 20: THE NORTH-WEST CORNER, THE REMAINS OF AN ADJACENT BUILDING INCORPORATED INTO THIS BUILDING.

4.1.3 ANNOTATED PLANS OF THE BUILDING

The surveyor's measured plans of the building have been annotated by SWARCH to show the minor phasing aspect of the north-west corner and to mark differences in the floors and the numbered doors and windows.

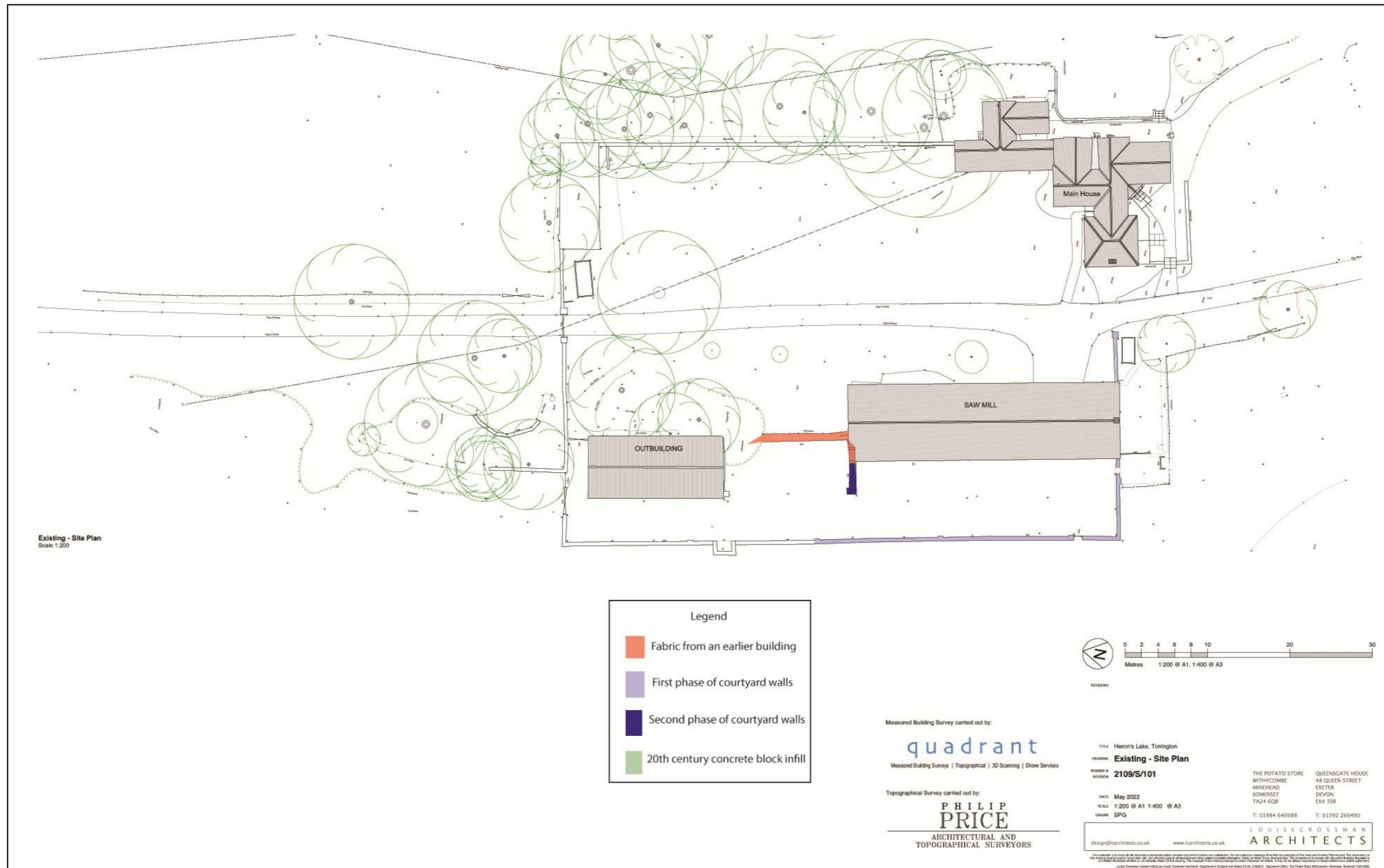


FIGURE 21: ANNOTATED SITE PLAN, SHOWING ADJACENT WALLS AND COURTYARD WALLS.

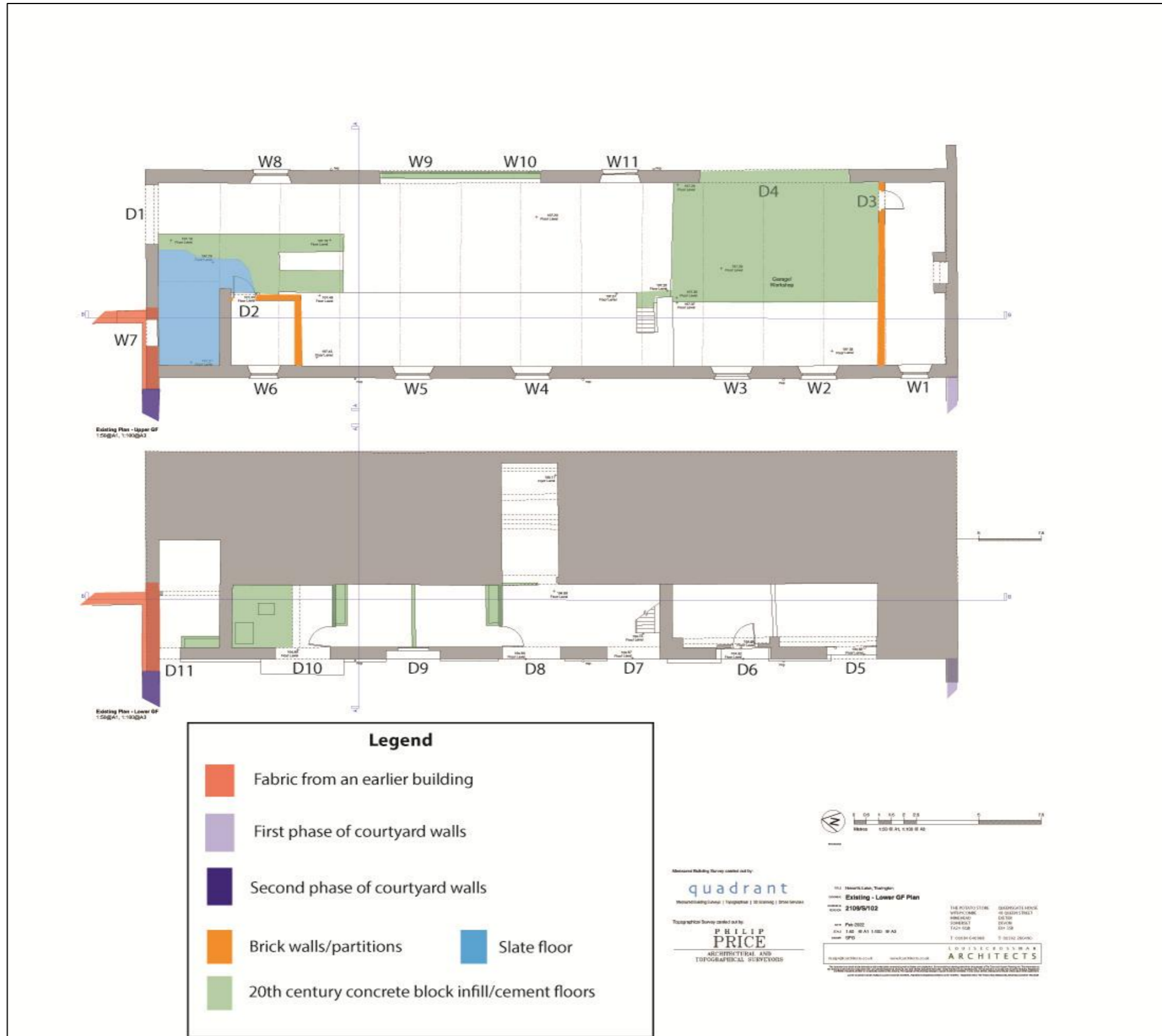


FIGURE 22: PHASED PLAN OF UPPER GROUND FLOOR.

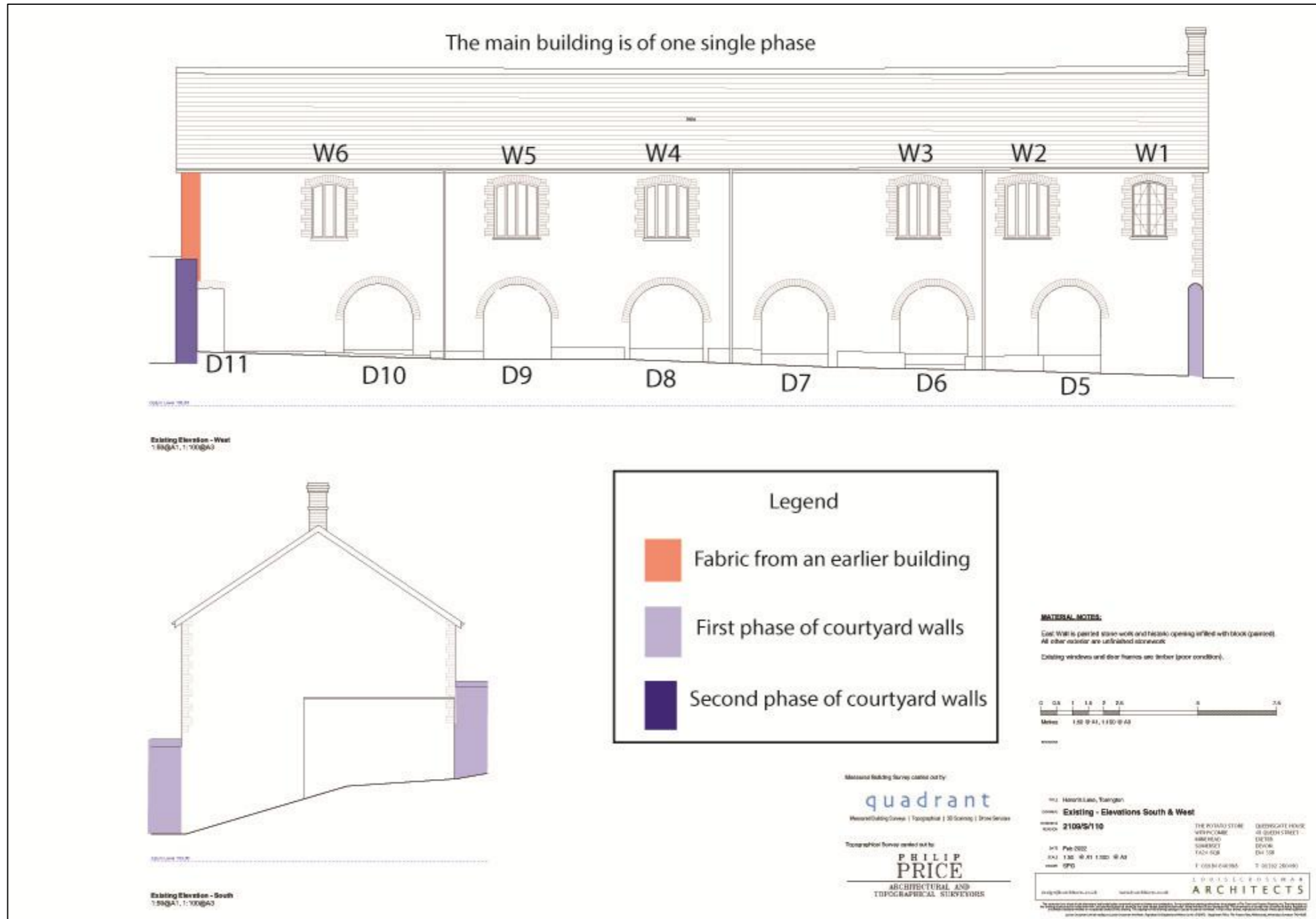


FIGURE 23: PHASED ELEVATIONS, WEST & SOUTH.

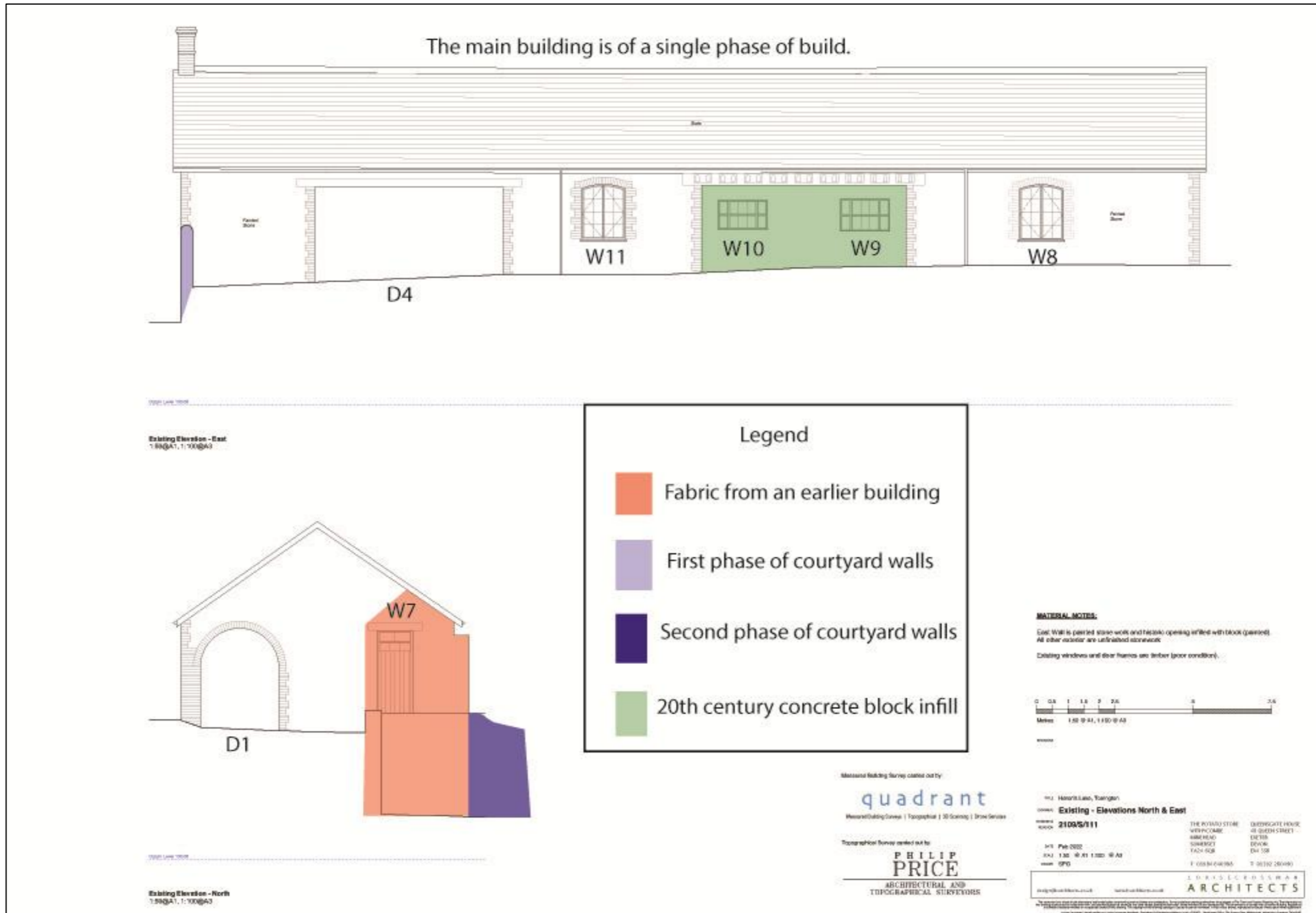


FIGURE 24: PHASED PLAN OF ELEVATIONS; EAST AND NORTH.

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APPENDIX 1: PHOTOGRAPHIC ARCHIVE & PLATE LIST

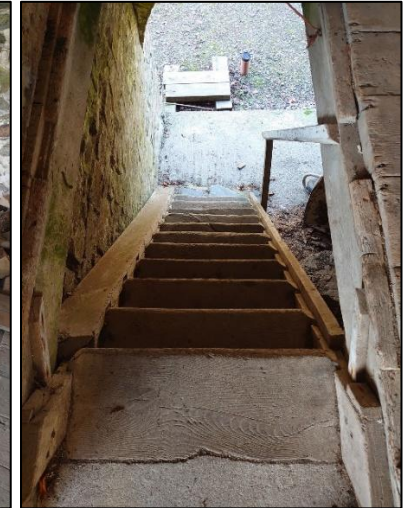
- Plate 1 – Internal face of the east wall, upper ground floor; from the south-west (2m scale).
- Plate 2- View of the king post and queen strut trusses.
- Plate(s) 3 – Hatch down to the lower ground floor.
- Plate 4 – Inscription in cement at top of hatch.
- Plate 5- Round-headed arch to large doorway in the north wall; from the south.
- Plate 6 – Window set within blocked loading door in north wall; from the south-east.
- Plate 7 – Beaded plank door, D2, on the upper ground floor.
- Plate 8- The brick partitions forming a small room to the north end of the upper ground floor.
- Plate 9 – The casement windows in the east wall at upper ground floor level.
- Plate 10 – The 20th century replacement pine plank floor, fitted after the machinery was removed when the sawmills were closed.
- Plate 11- The patched sections of walling where machinery attachments were likely removed and repaired in cement mortar; from the south-west.
- Plate 12 – Narrow joists of flooring from below.
- Plate 13 – Concrete troughs in the lower ground floor, where the space was adapted for animal housing; from the north.
- Plate 14 – The metal air grate which vents the floor above in the lower ground floor.
- Plate 15 – View through the trusses; from the north (no scale).
- Plate 16 – Partial profile of truss; from the north (no scale).
- Plate 17 – Oblique view of west elevation; from the north-west (2m scale).
- Plate 18 – West elevation from the south-west (2m scale).
- Plate 19 – West elevation and west-facing roof pitch; from the south-west (2m scale).
- Plate 20 - South elevation; from the south (2m scale).
- Plate 21 – North elevation; from the north (2m scale).



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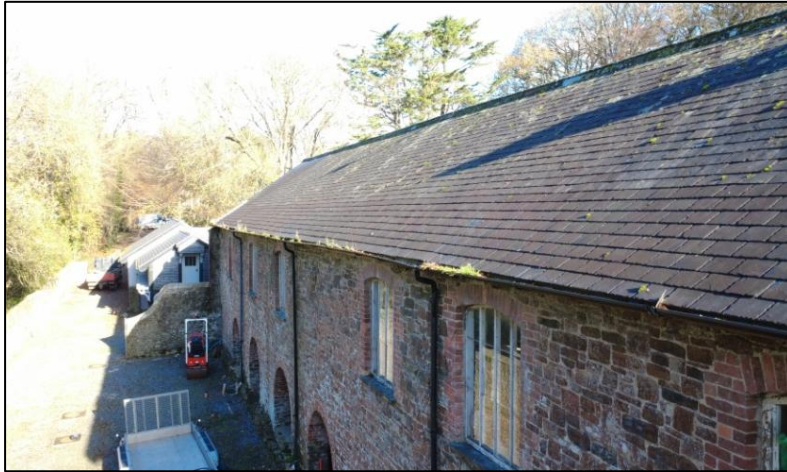
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APPENDIX 2: DCHET COMMENTS ON THE PLANNING APPLICATION

The DCHET comments on the planning application were as follows:

I refer to the above application. The proposed development involves the conversion of the historic saw mills associated with the Stephenson House estate and represents part of the county's stock of historic rural industrial buildings. The proposed development will have an impact upon the appearance and fabric of this building and the consent granted for the earlier planning application 1/1147/2016/FUL was conditional (Condition 6) upon a programme of historic building recording being undertaken in mitigation for the impact of the development upon this heritage asset.

For the above reason and the impact upon the historic building, in accordance with paragraph 199 of the National Planning Policy Framework (2018) I would advise that this application should be supported by the submission of a Written Scheme of Investigation (WSI) setting out a programme of historic building recording work to be undertaken in mitigation for the impact upon the historic fabric and appearance of this building. The WSI should be based on national standards and guidance and be approved by the Historic Environment Team.

If a Written Scheme of Investigation is not submitted prior to determination the Historic Environment Team would advise, for the above reasons and in accordance with Policy DM07 of the North Devon and Torridge Local Plan 2011 - 2031 and paragraph 205 of the National Planning Policy Framework (2021), that any consent your Authority may be minded to issue should carry the condition as worded below, based on model Condition 55 as set out in Appendix A of Circular 11/95 and English Heritage guidance as set out in 'Understanding Historic Buildings: Policy and Guidance for Local Planning Authorities - 2008', whereby:

"No development to which this permission relates shall commence until an appropriate programme of historic building recording and analysis has been secured and implemented in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out at all times in strict accordance with the approved scheme, or such other details as may be subsequently agreed in writing by the Local Planning Authority.

Reason

'To ensure, in accordance with Policy DM07 of the North Devon and Torridge Local Plan 2011 - 2031 and paragraph 205 of the National Planning Policy Framework (2021), and that an appropriate record is made of the heritage asset that is affected by the development.'

This pre-commencement condition is required to ensure that the historic building recording works are agreed and implemented prior to any disturbance of the heritage asset by the commencement of preparatory and/or building works.

I would envisage the programme of work as taking the form of an appropriate record of the historic building as well as any architectural features, fixtures and fittings affected by the development. This work would be undertaken in advance of any construction or conversion works and supplemented, if required, by observations made during the development. The results of the historic building recording work and any post-excavation analysis undertaken would need to be presented in an appropriately detailed and illustrated report, and any finds and archive deposited in accordance with relevant national and local guidelines.

In addition, the Historic Environment Team would advise that the following condition is applied to ensure that the required post-excavation works are undertaken and completed to an agreed timeframe:

'The development shall not be occupied until (i) the post investigation assessment has been completed in accordance with the approved Written Scheme of Investigation and (ii) that the provision made for analysis, publication and dissemination of results, and archive deposition, has been confirmed in writing to, and approved by, the Local Planning Authority.'

Reason

'To comply with Paragraph 205 of the NPPF, which requires the developer to record and advance understanding of the significance of heritage assets, and to ensure that the information gathered becomes publicly accessible.'

I will be happy to discuss this further with you, the applicant or their agent. The Historic Environment Team can also provide the applicant with advice of the scope of the works required, as well as contact details for archaeological contractors who would be able to undertake this work. Provision of detailed advice to nonhouseholder developers may incur a charge. For further information on the historic environment and planning, and our charging schedule please refer the applicant to:

<https://new.devon.gov.uk/historicenvironment/development-management/>.

APPENDIX 3 – BUILDING RECORDING TABLES

BUILDING		General Description
Function/Summary:		19 th century sawmill complex – this building is the largest working building of the surviving group.
Dating Evidence:		Mapping evidence, photographic evidence, building survey.
Exterior		
Elevation Front - WEST		Description - front courtyard facade
Fabric Description:		Decorative, snecked, regularised rubble, a mixture of the local sandstones and slatestones. Brick dressings to openings. Lime mortars, with some grit inclusions.
Roof Covering		Graduated slate roofing, with terracotta comb ridge. Barge boards.
Opening – Windows:	W6	<p>First floor, large rectangular window, with shallow arched fillet to top. Window opening is shallow arched with brick segmental lintel and quoins to reveals.</p> <p>Window frame is beaded, painted white, with three thick chamfered glazing bars, the top rail and jambs have a pegged joint at each corner, but the base rail is nailed in place. The panes are of overlapping style, with puttied joints. This is an archaic form of window. However, these windows appear to be 20th century copies.</p> <p>Some of the windows, like W6, W4 appear to incorporate smaller panes of glass which may be reused historic fabric. Windows of this style are introduced to maximise light in a working space.</p>
	W5	<p>First floor, large rectangular window, with shallow arched fillet to top. Window opening is shallow arched with brick segmental lintel and quoins to reveals.</p> <p>Window frame is beaded, painted white, with three thick chamfered glazing bars, the top rail and jambs have a pegged joint at each corner, but the base rail is nailed in place. The panes are of overlapping style, with puttied joints. This is an archaic form of window. However, these windows appear to be 20th century copies. This window has large panes of glass clearly of ‘modern glass’.</p> <p>Windows of this style are introduced to maximise light in a working space.</p>
	W4	<p>First floor, large rectangular window, with shallow arched fillet to top. Window opening is shallow arched with brick segmental lintel and quoins to reveals.</p> <p>Window frame is beaded, painted white, with three thick chamfered glazing bars, the top rail and jambs have a pegged joint at each corner, but the base rail is nailed in place. The panes are of overlapping style, with puttied joints – this is an archaic form of window. However, these windows appear to be 20th century copies. Some Like W4 & W6 appear to incorporate smaller panes of glass which may be historic reused fabric. Windows of this style are introduced to maximise light in a working space.</p>
	W3	<p>First floor, large rectangular window, with shallow arched fillet to top. Window opening is shallow arched with brick segmental lintel and quoins to reveals.</p> <p>Window frame is beaded, painted white, with three thick chamfered glazing bars, the top rail and jambs have a pegged joint at each corner, but the base rail is nailed in place. The panes are of overlapping style, with puttied joints</p>

		– this is an archaic form of window. However, these windows appear to be 20 th century copies, this window has large panes of glass clearly of ‘modern glass’. Windows of this style are introduced to maximise light in a working space.
	W2	First floor, large rectangular window, with shallow arched fillet to top. Window opening is shallow arched with brick segmental lintel and quoins to reveals. Window frame is beaded, painted white, with three thick chamfered glazing bars, the top rail and jambs have a pegged joint at each corner, but the base rail is nailed in place. The panes are of overlapping style, with puttied joints – this is an archaic form of window. However, these windows appear to be 20 th century copies, this window has large panes of glass clearly of ‘modern glass’. Windows of this style are introduced to maximise light in a working space.
	W1	First floor, large rectangular window, with shallow arched top. Window opening is shallow arched with brick segmental lintel and quoins to reveals. Small pane (10), two-light casement window, beaded, painted white, slate slab sill. The northern light is broken and covered by green plastic.
Openings - Doors	D5	Round-headed archway to semi-open lower ground floor area. Brick segmental arch. Pale brown-red gritty brick fabric – again this style is archaic for this period – of note, it is a clear design choice.
	D6	Round-headed archway to semi-open lower ground floor area. Brick segmental arch. Pale brown-red gritty brick fabric – again this style is archaic for this period – of note, it is a clear design choice.
	D7	Round-headed archway to semi-open lower ground floor area. Brick segmental arch. Pale brown-red gritty brick fabric – again this style is archaic for this period – of note, it is a clear design choice.
	D8	Round-headed archway to semi-open lower ground floor area. Brick segmental arch. Pale brown-red gritty brick fabric – again this style is archaic for this period – of note, it is a clear design choice.
	D9	Round-headed archway to semi-open lower ground floor area. Brick segmental arch. Pale brown-red gritty brick fabric – again this style is archaic for this period – of note, it is a clear design choice.
	D10	Round-headed archway to semi-open lower ground floor area. Brick segmental arch. Pale brown-red gritty brick fabric – again this style is archaic for this period – of note, it is a clear design choice.
	D11	Narrow pedestrian doorway into a separate chamber, brick reveals to doorway, shallow-arched lintel.
Drainage/ Guttering		Plastic guttering, cast iron downpipes.
Significant Details/Dating:		The overlapping panes are an archaic form of window – typical in 19 th century industrial buildings. However, these windows appear to be 20 th century copies. Their inclusion is likely representative of the original window form in this building.
Architecture:		This façade with its shallow-arched or basket arched windows and round-headed arched doorways appears very Georgian in design, proportion and form. This archaic style may be intentional, matching these relatively late estate building to other groups of service buildings on the estate, which did have a period of serious investment in both the earlier Baroque and Regency periods, before the Victorian phase of expansion.
Relationships:		The courtyard façade is cohesive with the south, east and north-east elevations. The elevation does abut the north-west corner, which appears to integrate fabric from an earlier demolished building, with the current sawmills building built around and onto part of an earlier gable of a narrower, single cell width range.

Elevation Rear (to house) - EAST		Description – Rear, east garden facade
Fabric Description:		Decorative, snecked, regularised rubble, a mixture of the local sandstones and slatestones. Brick dressings to openings. The elevation is painted white.
Roof Covering:		Graduated slate roofing, with terracotta comb ridge. Barge boards.
Openings – Doors:	D4	Large opening in the south end of the elevation, framed by brick quoins, heavy timber lintel with bolts, and fitments from removed machinery.
Opening – Windows:	W8	Beaded two-light casement window, painted white, 8x8 panes, wooden swing catches and round knob. Relatively modern hinges. Broadly historic in style, 20 th century in date.
	W9	Crittal-style metal window inset into concrete blocking of former opening. 5 x3 panes hopper casement opening. Mid-20 th century date and style.
	W10	Crittal-style metal window inset into concrete blocking of former opening. 5 x3 panes hopper casement opening. Mid-20 th century date and style.
	W11	Beaded two-light casement window, painted white, 8x8 panes, only one wooden swing catch survives. Relatively modern hinges. Broadly historic in style, 20 th century in date.
Blocked openings:		There is a large, wide and low-set doorway to the centre of the elevation that is now blocked with concrete blocks. This opening has two crittal-style hopper opening windows inset into the concrete blocks.
Drainage/ Guttering		Black plastic guttering and painted cast-iron downpipes.
Significant Details:		N/A
Relationships:		This elevation is cohesive with the north-east of the north elevation and all of the south and west elevation.
Gable Elevation NORTH		Description – attached terraced wall to northern plot
Fabric Description		Decorative, snecked, regularised rubble, a mixture of the local sandstones and slatestones. Brick dressings to openings. This build abuts and is built around and over an earlier build, which is messier, with heavier lime mortar content which is a beige-brown not a cream with grit inclusions. This older stonework is to the north-west and lower on the elevation – it appears to engage with and respect the wall running north and a projecting wall running west – potentially the remains of an earlier building that this building was once built up against – incorporating part of the lost buildings south gable wall.
Roof Covering		Gable end – barge boards.
Openings - Doors	D1	Large round-headed opening offset to the east side of the elevation. Brick segmental detailing and quoins to edge of opening. Brick beneath to sill. Modern beaded board infills this opening at present.
Openings - Windows	W7	Blocked window with a hopper casement, from the 20 th century, but this is within a blocked loading door, a larger,

		partially reduced and infilled opening. The opening for the whole space is enclosed by beaded board on the exterior.
Drainage/ Guttering		N/A
Significant Details:		There is structural phasing in this wall – suggesting a lost adjacent building and a complex relationship between the north wall of this building and that lost building.
Relationships		This elevation is built up and around an earlier wall but is otherwise cohesive with the rest of this building that runs to the south.
Gable Elevation SOUTH		Description
Fabric Description		Decorative, snecked, regularised rubble, a mixture of the local sandstones and slatestones. Brick dressings to openings and brick quoins to corners. Lime mortars, with some grit inclusions.
Roof Covering		Gabled end, barge boards, stack pierces apex, of brick, stepped coping to top and string course to middle. Stack is braced with steel wires and bolts. Leaded flashings.
Openings - Doors		N/A
Openings - Windows		N/A
Drainage/ Guttering		N/A
Significant Details:		N/A
Relationships		Cohesive with the rest of the build of this building.
Walls of attached courtyard		Description
Fabric Description:		Regularised rubble, not as decorative or neat as that to the building, but similar. A mixture of the local sandstones and slatestones. Lime mortars, with some grit inclusions. Cement-based coping to top of wall.
Roof Covering		N/A
Openings:		Doorway to wooded valley and stream to south-west corner, doorway to garden with iron gate to south.
Significant Details:		Piers to gateway to second part of walled compound to north-west.
Relationships:		Abuts the building but appears to be broadly contemporary, likely created around the buildings to define the working space.

INTERIOR		GROUND FLOOR
		Description
Function:		Interior sawmills working space
Ceiling:		Open to roof structure. 12 x A-frame trusses, of dark stained pine. King-post and queen-post form, with side struts. Bolted and strapped joints.
Walls:		Exposed stone, some historic whitewash-limewash, multiple historic layers.
Floor:		A mixture of wide, thick floorboards, narrow more recent floorboards forming dais, then cement and concrete repairs to solid floors to south and north ends RJT 1970 etched into the cement, as well as an area of large slate slabs to the north-west.
Blocked Openings:		Large opening in east wall infilled with concrete blocks, in a cement mortar, two Crittal-style windows are integral to this infill (W9/W10).
Windows:		Described with elevations.
Doors:	D2	Pegged narrow doorframe, bead detail. Beaded plank door, ledging bars and braces, iron bolt and latch. Painted pale grey.
	D3	Pegged narrow doorframe, bead detail. Beaded plank door, ledging bars and braces, iron bolt and latch. Painted black.
Stack		A narrow rubble stack with brick edges is built up against the south gable wall. It is topped with a brick stack.
Significant Details:		Thick plank hatch to the lower ground floor, ledging bars. Plank ladder below.
Dating Evidence:		Form, build and plan, fabric, and historic mapping.
		LOWER GROUND FLOOR
		Description
Function:		Part-exterior sawmills working space.
Ceiling:		Open to close-coupled deep joists of the floor above., with pine boards.
Walls:		Exposed stone, some historic whitewash-limewash, multiple historic layers.
Floor:		Cobbled floor, typical split slates, irregular, closely packed, in lime. Not great quality and damaged by later insertion of concrete troughs and partitions.
Doors:	D5-D10	Open, round-headed arches to the courtyard.
Significant Details:		The saw pit runs back into the bank, this has massive square-profile joists, with sockets, notches and bolts still in situ, for the machinery which has since been removed. To the top of the spine wall/retaining wall at the back of the LGF there are air vents, with decorative iron grates, presumably to air the space beneath the floorboards and remove dust from the sawmills working space.

Dating Evidence:		Form, build and plan, fabric, and historic mapping.
Log store - south end		Description
Function:		Unknown double compartment
Ceiling:		Open to close-coupled deep joists of the floor above., with pine boards.
Walls:		Exposed stone, some historic whitewash-limewash, multiple historic layers.
Floor:		Concrete
Doors:		Open, round-headed arches to the courtyard.
Significant Details:		N/A
Dating Evidence:		Form, build and plan, fabric, and historic mapping.
Store room – north end		Description
Function:		Unknown single compartment
Ceiling:		Solid build above, stone, (slate above this)
Walls:		Exposed stone, some historic whitewash-limewash, multiple historic layers.
Floor:		Concrete
Doors:	D11	Pedestrian doorway to courtyard, beaded plank door.
Significant Details:		N/A
Dating Evidence:		Form, build and plan, fabric, and historic mapping.
Walled courtyard		Description
Function:		Walls enclose the courtyard to the west of the building.
Walls:		Rationalised rubble build, lime mortars, patched and repaired in cement mortars.
Floor:		The yard area has already been excavated, lowered c.1m, as the foundations of the west elevation are exposed.
Doors:		Opening in the wall to the north leading to adjacent courtyard area serving the other building, opening to the south to the garden, opening to the south-west to the woodland.
Significant Details:		Cement coping to the top, where it appears the walls have likely been reduced in height and rationalised.
Dating Evidence:		Form, build and plan, alterations to fabric, and historic mapping.

