

LAND AT SMITHICK HILL FALMOUTH CORNWALL

Results of Archaeological Monitoring & Recording



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Land at Smithick Hill, Falmouth Results of Archaeological Monitoring and Recording

For

Mr. Piers Owen

of

Stratton & Holborow Ltd.

By



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Summary

The cartographic and desk-based study (SWARCH report No. 101112) indicated that structures began to be built at the eastern end of the property by the end of the 18th century, and that by the later 19th century the entire footprint of the development had been built up. The archaeological monitoring confirmed this picture of development on the site, as well as that by the middle of the 20th century these largely 19th century cottages and workshops had fallen into ruin, but that some of the walls and floors of these structures had survived. These remains although not substantial or grand form a significant archaeological resource within the context of urban development in Cornwall.

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1.0 Introduction

Location: Land at Smithick Hill
Parish: Falmouth
County: Cornwall
NGR: SW8079232861

1.1 Background

South West Archaeology Ltd. (SWARCH) were commissioned by Mr. Piers Owen of Stratton & Holborow Ltd. (the Client) to undertake archaeological monitoring and recording at a site at Smithick Hill, Falmouth, Cornwall (Figures 1-2). The work was commissioned following a desk-based appraisal and walkover survey (SWARCH report no.101112) and was undertaken in accordance with a Written Scheme of Investigation (WSI) (Appendix 2) and with a brief for archaeological investigation issued by Dan Ratcliffe, Senior Planning Archaeologist, Cornwall Council (Appendix 1).

1.2 Historical Background

The area now known as Falmouth was first recorded in 1225, but this name apparently refers to the estuary rather than the town. The town of Falmouth succeeded the earlier port of Penryn during the later medieval period, and was only chartered in the 17th century. A village known as Smithick or Pennycomequick is recorded from c.1613, with a map of that date showing the settlement located either side of the Market Strand. By 1629 there are said to have been over 300 inhabitants. The plot in question developed in front of the original cliff/quarry face on which the road has developed as stone was quarried for building material.

1.3 Topographical and Geological Background

The area lies near the urban centre of Falmouth, located between the rear of no.18 Market Street (W H Smiths) and Smithick Hill. The ground within the plot rises from a height of c.7m AOD at the rear of no.18 Market Street to a height of c.12m AOD at the Smithick Hill end. Here a retaining wall c.5 m high survives (see Figure 18). The underlying bedrock is comprised of Devonian breccias belonging to the Porthleven Breccia group (British Geological Survey 2001).

1.4 Methodology

The archaeological survey and recording was carried out by Samuel Walls and Bryn Morris between January 7th and February 8th 2011 and was undertaken according to IfA (2008) guidelines.



Figure 1: Location map.

2.0 Results of the Archaeological Monitoring

2.1 General Site Description

The clearance of rubble, rubbish and undergrowth from the development site on Smithick Hill revealed the partial elevations and footings of twelve buildings/rooms (Figure 3). Each of the surviving walls was photographed and drawn records made (e.g. Figures 3-4), while a plan of the surviving footings and floors was also made (Figure 3). The original floor levels of the buildings (5-7) in the western portion of the plot were below the formation level, so were not fully examined, while those of Buildings 4 and 8 were at the formation level and will be re-buried. The other floors (and most of the walls) in the eastern portion of the site are to be removed by the development.

The buildings were primarily constructed of roughly coursed stone rubble bonded with a soft white lime mortar containing some coal fragments. There were also frequent brick and concrete block inserts and repairs.

The rubble within the collapse of the buildings produced solely 19th and 20th century finds and building fabric, including large quantities of roof slate, bricks, iron window runners, granite lintels and stone rubble.

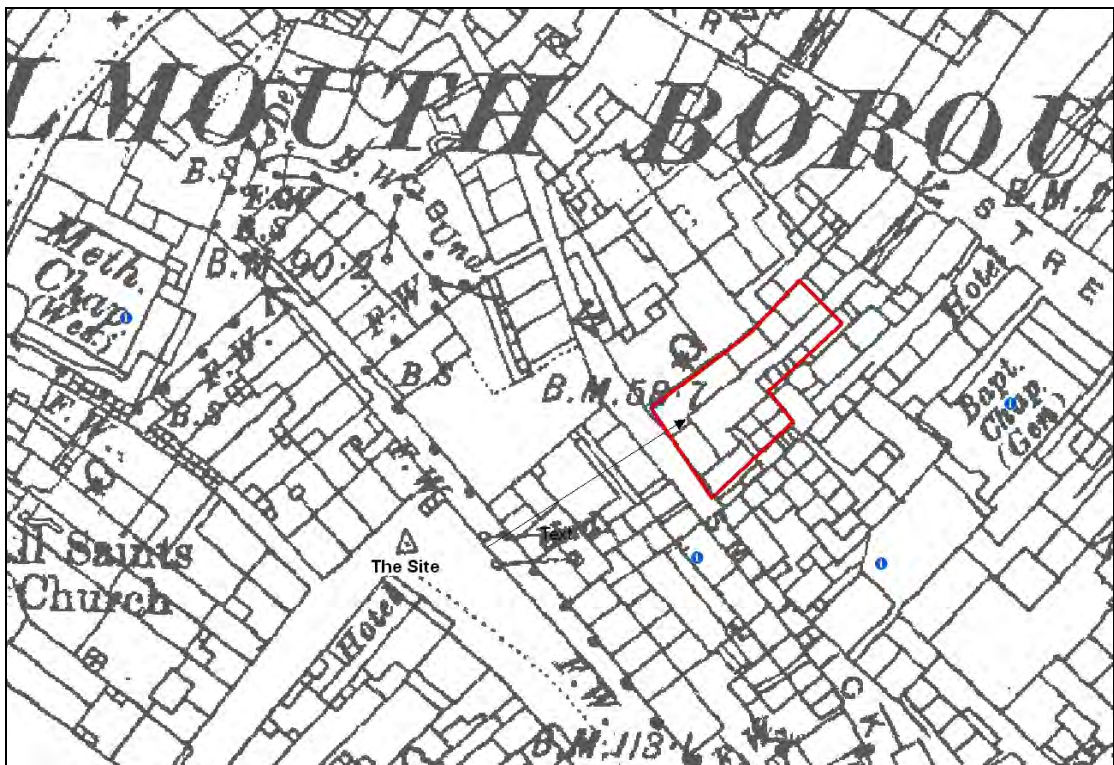


Figure 2: Ordnance Survey 1st Edition 1:2500 1880 Map. The development site is indicated.

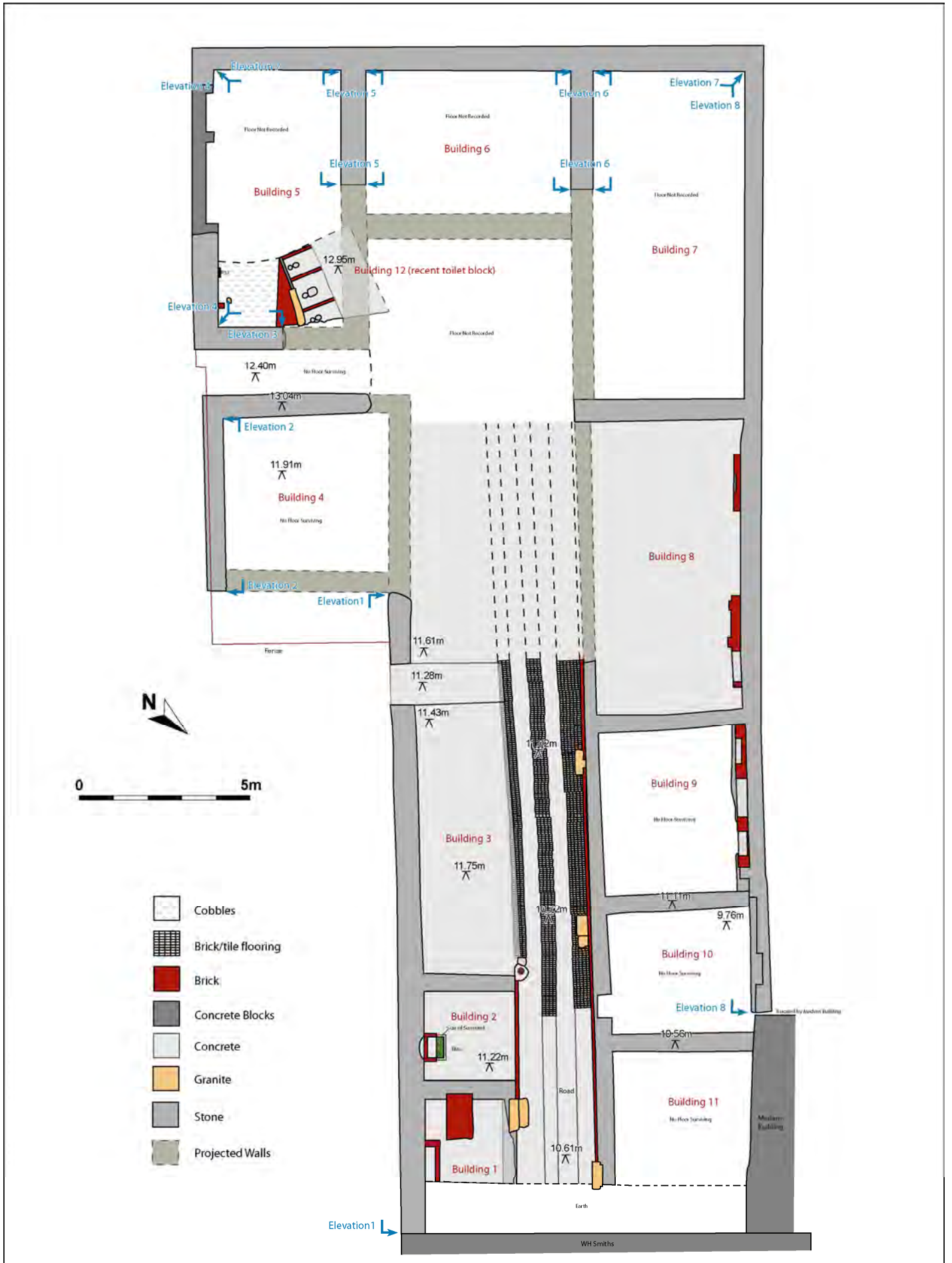


Figure 3: Plan of the surviving structures and locations of the elevation drawings.

2.2 Elevation 1

Elevation 1 extended for 18.2m from the south-east corner of the site (W H Smiths) along the southern boundary of the development plot and survived to a maximum height of 4.25m, but stood predominantly at around 3m. This elevation formed the southern wall for Buildings 1, 2 and 3 in the development area, but had also previously formed the northern elevation for a row of 19th century tenements accessed by Allen's Yard (Figure 2), which were demolished in the early twentieth century, possibly in an attempt to 'civilise' the area as these properties had in the late 19th century been predominantly occupied by brothel owners and prostitutes (judging from the 1871 and 1881 census').

The southern face (Figure 4a) provides evidence for at least two different buildings having this wall as a northern elevation in the 19th century. The two buildings are evident both in the change of level of the top of the wall at 5.5m from its eastern end, and also in the different levels of the blocked first floor socket holes. Large portions of the top and most of the eastern end of the wall had been repaired or rebuilt in the later 20th century.

The northern face (Figure 4b) provided a more detailed picture of the buildings that adjoined the wall within the development plot, as the scars of the internal divisions for three buildings/rooms (Buildings 1, 2 and 3) are evident. The most eastern of these, formerly the dividing wall between Buildings 1 and 2, had been demolished and the scar had subsequently been plastered over and the skirting board from Building 2 extended across suggesting that the two buildings had been merged, probably in the late 19th century.

Two fireplaces were also positioned within the north facing elevation, the most easterly of these (for Building 2) was a 1.2m wide brick insert with no surviving lintel and a concrete hearth (Figure 5). The western fireplace (for Building 3) with its iron lintel and stone hearth had been blocked historically with stone rubble with a hard white lime mortar bonding (Figure 6).

2.2.1 Building 1

The western and northern elevations of this building survived, but only for a single course in the northern wall and for three courses in the western wall. No trace of the eastern elevation survived, as this area had been severely truncated by the construction of the W H Smiths at the east end of the development plot.

The remnant of the north wall was constructed of roughly coursed stone rubble with a soft white mortar. The northern wall was overlain by a large granite doorstep (1m x 0.15m x 0.25m), which appears to have been reused, containing small rectangular sockets at each end (0.06m x 0.03m). The doorstep was covered with cement, and was also partially overlain by the red painted concrete floor of the building (at a height of 11.01m), which suggests that the former north front wall had been demolished leaving an open fronted building. Set within the concrete floor was an area (0.75m x 1.1m) of bricks, which overlay the remains of the western elevation of the building, suggesting that both the western and northern walls had been demolished at a similar time and that this building had been combined with the adjoining Building 2, an aspect reflected by the southern elevation (see Section 2.2 above).

2.2.2 Building 2

Only remnants of the footings for the east (see Section 2.2.1 above), west and north elevations of the building survived. To the west the stone rubble elevation survived to a height of three courses and had seemingly been replaced by a brick wall, which survived to a height of four courses. The northern elevation was similarly constructed of roughly coursed stone rubble, but survived for only a single course. The northern elevation had also been replaced by a single

brick width wall, and had also been partially overlain by the red painted concrete floor of the building, although no traces of earlier floor surfaces survived below this.

The Edwardian bottle green brick-style tiles lying over the hearth (within the scar of a fender) provide a probable early 20th century date for the insertion of the fireplace, concrete floor and brick rebuilding (see Figure 5).



Figure 5: The fireplace inserted into the southern elevation of Building 2, viewed from the north-east (0.5m scale).

2.2.3 Building 3

Building 3 was severely truncated, and no evidence of the north or east elevations survived, probably because they had been truncated by the insertion of a doorway with brick quoins in the southern elevation and associated concrete floors (Figure 7). The higher level of the historic floor at this point (approximately 11.41m) can also be seen to have contributed to the severe truncation of this building(s).

The remnants of a 0.35m thick tar coated wooden post in the north-east corner of the building may suggest that in its final phase of use it had functioned as an open fronted storage area or as a lean-to against Building 2.



Figure 6: The blocked fireplace in the south elevation (Elevation 1) of Building 3, viewed from the north (2m scale).



Figure 7: Forced entrance inserted in the south elevation (Elevation 1) of Building 3 leading onto Fountains Ope (formerly Allen's Yard), viewed from the north-west (2m scale).

2.3 Elevation 2

The partial south elevation of Building 4 was exposed to a maximum height of 1.8m at its western end and 0.1m to the east. This wall revealed little structural detail, as it was covered with a patchy white/cream plaster, although a linear scar in the lowest part of the plaster,

suggests the former existence of a skirting board just above the former floor level. The western elevation of Building 4 projected from the wall and clearly formed an exterior wall, with a narrow 1.47m wide alley (filled with earth and rubble) between this and the east elevation of Building 5. The lowest fill (2m) of this blocking was a humic mid-brown silt-clay (topsoil); this was covered by stone rubble from the partial collapse of the adjacent walls. A narrow alley in this location is clearly visible on 19th century maps (see Figure 2) but does not appear on the Ordnance Survey 2nd Edition Map (Figure 9), which may suggest that it had been blocked by this time, possibly when Buildings 3, 4 and 5 were going out of use and at the same time as the demolition of buildings along Allens Yard (between 1907-1930).

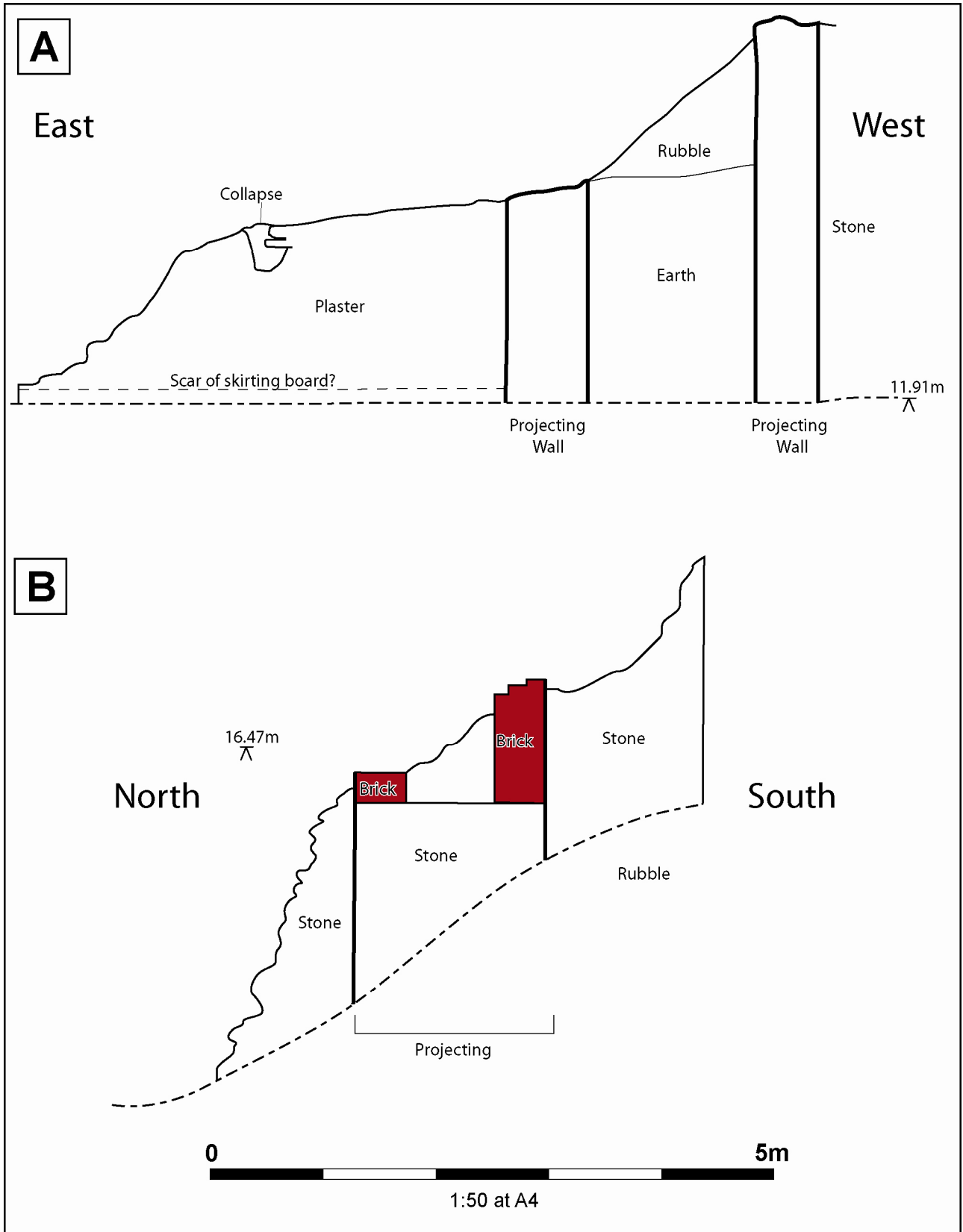


Figure 8: Elevation 2 viewed from the north-east (A) and Elevation 3 viewed from the south-west (B).

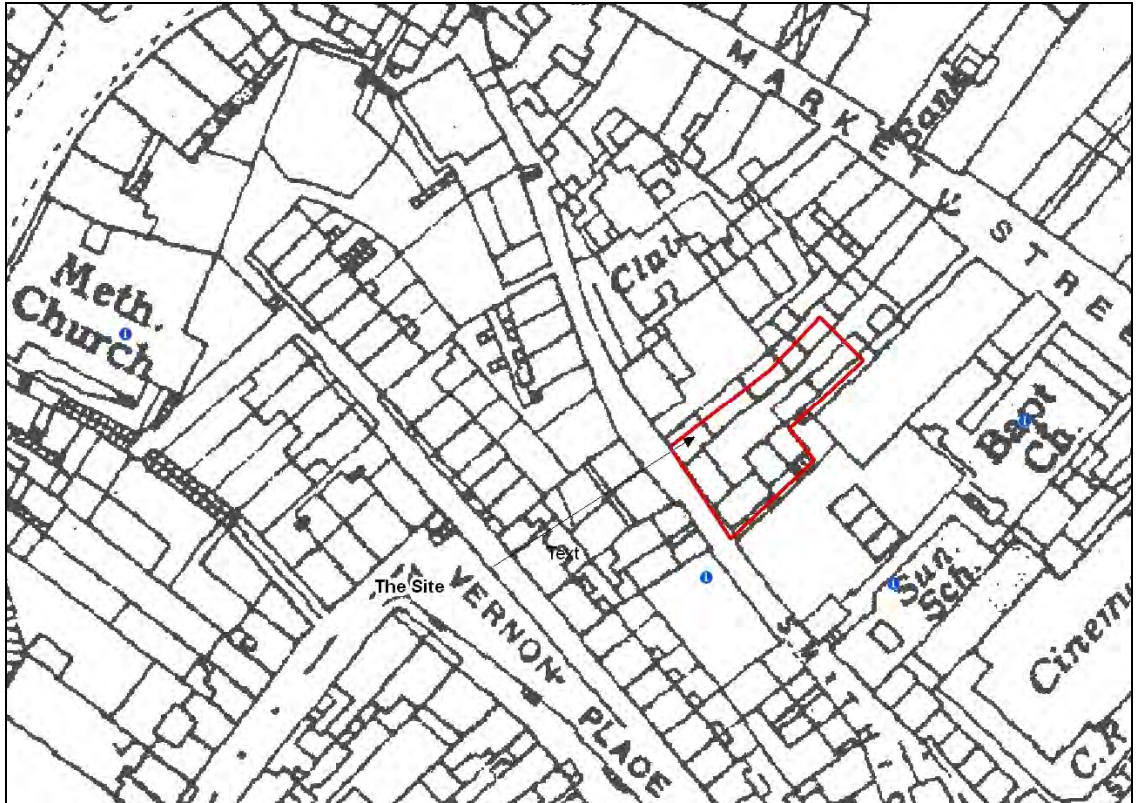


Figure 9: Ordnance Survey 1930's Revision, 2nd Edition 1:2500 Map. The development site is indicated.

2.3.1 Building 4

Only the partial remains of the south and west elevations survived. These were of roughly coursed stone rubble construction, plastered internally. The west wall survived to a maximum height of 1.8m at its south end (0.65m to the north), extending for approximately 4.25m before being truncated, leaving a ragged edge. No trace of the north elevation or its location survives, although the mapping evidence suggest that it was in line with the south wall of Building 3 (Elevation 1), making the internal floor space of the building 4.5m². The very square and regular end to the east end of the south elevation, suggests that this was part of the east wall, a fact supported by the slightly ragged internal edge of the wall for the last c.0.5m.

Building 4 was one of only four buildings on the site (with Building's 1, 11 and 12) which provided no surviving evidence for a fireplace.

The formation level required for the development (at 11.90m AOD) meant that the historic floor level was not reached inside this building. However, a small trial pit in the south-west corner of the building revealed no evidence of a former floor.

Two complete glass vessels were recovered from the rubble inside this building, including a 19th century Plymouth Gin bottle, and a small early 20th century clear glass bottle.

2.4 Elevation 3

The east elevation of Building 5 (Figure 8b) was of roughly coursed stone rubble construction bonded with a soft white lime mortar. It survived to a height of c.5m in the south corner and c.3m at its north end, where it had been severely truncated, leaving a ragged edge. It was not possible to record the lower part of the wall, for during the removal of the 2.5m deep rubble around it became unstable and collapsed. It was apparent however that fireplaces with brick

surrounds had been inserted on both the ground and first floors. No other structural elements were evident.



Figure 10: The eastern elevation of Building 5 prior to clearance and collapse (2m scale).

2.4.1 Building 5

This was the best surviving building on the site, with each of its four elevations partially upstanding to first floor level (see discussion of Elevations 3-5). The building had four fireplaces surviving, which may suggest some internal divisions had previously existed; this detail has however been lost due to the truncation of the north-eastern part of the building, and the extensive rebuilding and supporting of the south elevation.

Although not fully exposed during the course of the development, it is of note that a cobble and brick floor surface survived in the south-east portion. No floor was apparent however in the western portion of the building, which may be a result of the rebuilding of the south elevation (Elevation 4).



Figure 11: The surviving cobble and brick floor inside Building 5 (2m scale).

2.4.2 Building 12

The severe truncation of Building 5 at its north-east corner seems to have been associated with the construction of a mid-20th century brick and concrete toilet block (Building 12). The south wall of Building 12 was constructed directly on top of part of the brick floor of Building 5 and is of a very mixed construction, with concrete blocks (in the western part), a brick central section, and a reused granite slab surviving to the east. The granite is of an almost identical size (0.8mx0.2mx0.12m) and style to that seen in use for the doorsteps of other buildings (e.g. Building's 1, 9, 10 and 11) and it probably originates from the house (Building 5) that the toilet block overlay. As with the granite step for Building 1 this appears to have been a secondary use, with an original use as a lintel highly likely.

No other elevations survived for Building 12, although two single brick wide partitions divided the remains of the three ceramic toilet pedestals, which had been set in a poured concrete floor.



Figure 12: Building 12, the toilet block, viewed from the north (0.5m scale).

2.5 Elevation 4

The south elevation of Building 5 (Figure 13) was constructed of roughly coursed stone rubble set in a soft cream mortar, it had previously collapsed towards its west end and had been rebuilt with concrete blocks. It was also supported by two RSJs and there were several structural cracks. The only features were two small rectangular sockets towards the east end, their function however was unclear.

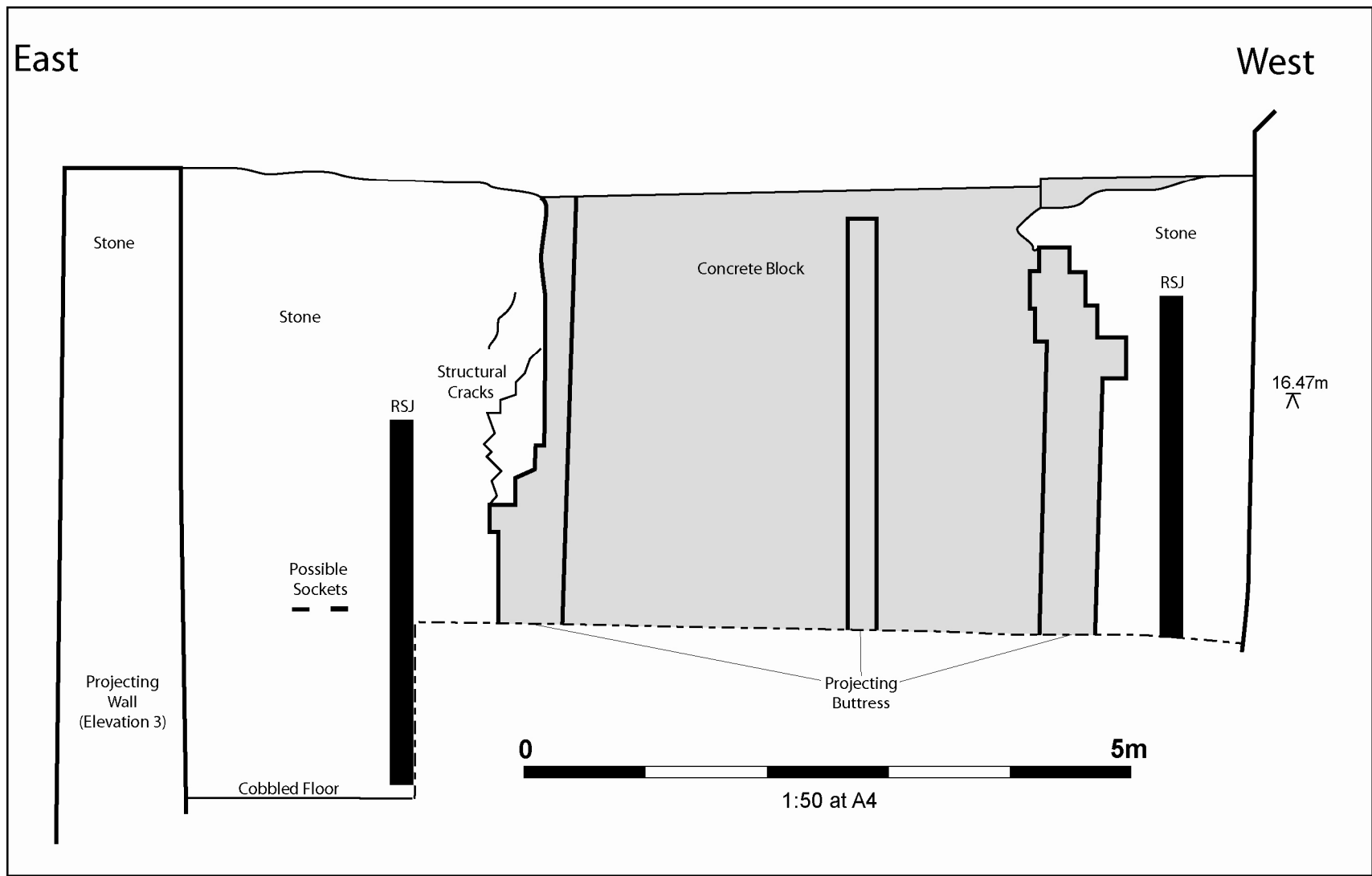


Figure 13: Elevation 4 viewed from the north-east.

2.6 Elevation 5

Elevation 5 comprised the north elevation of Building 5 and south elevation of Building 6 (Figure 14) and abutted Elevation 7 to the west. Constructed of a roughly coursed platey stone rubble set in a hard cream mortar, with substantial brick sections and with two brick fireplaces set into each side of the elevation. The upper fireplaces and that in the lower part of the south face (Building 5) had largely collapsed but the lower fireplace in the north face (Building 6) survived largely intact with an iron lintel as well as the scar of a wooden surround evident in the plasterwork.

The western end of the elevation was of stone construction to first floor level, with a single brick width wall above, three rectangular joist holes were located at the junction between the builds. Blocked openings were also present on both sides in the stone portion of the wall.

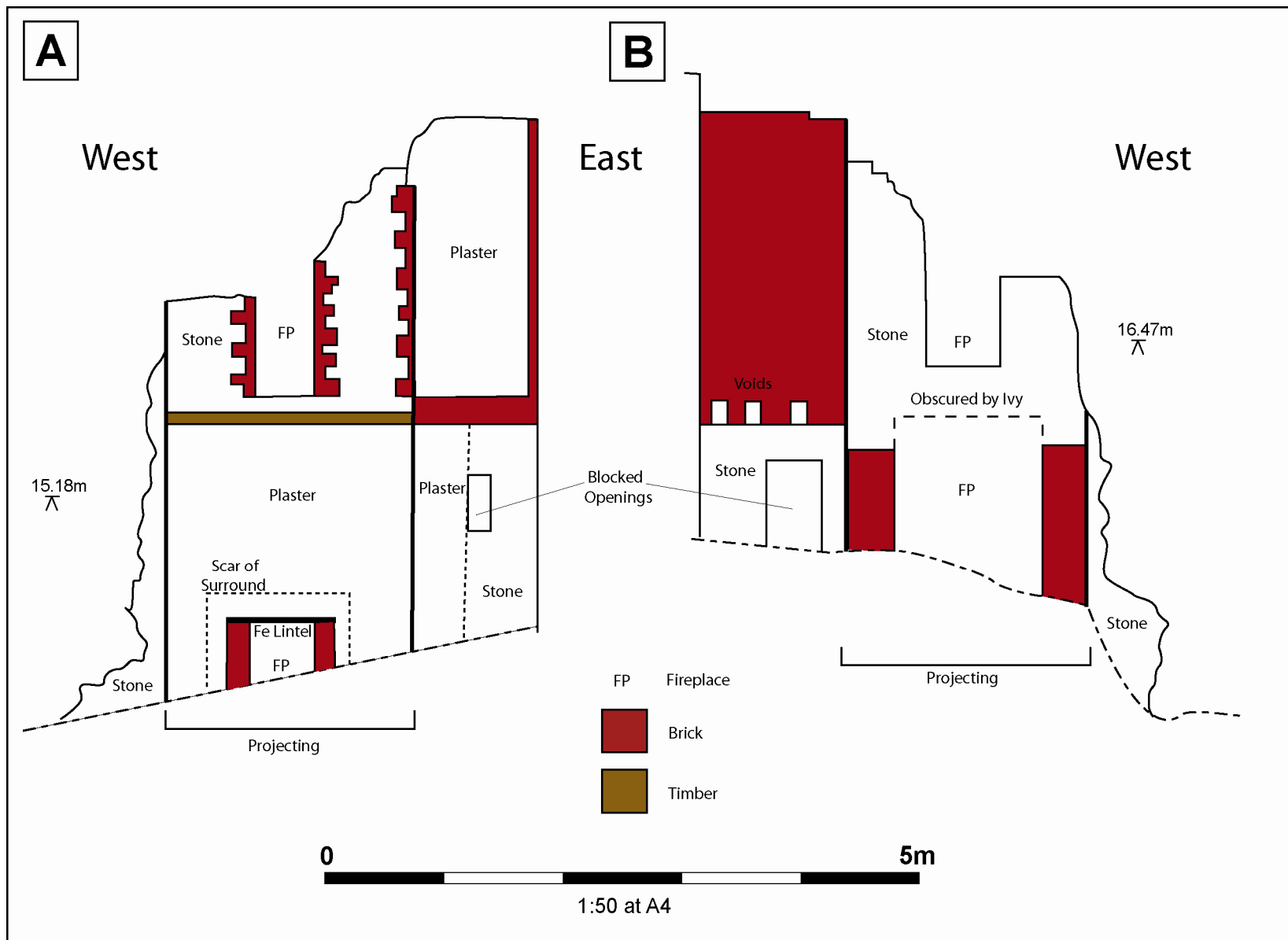


Figure 14: Elevation 5 viewed from the south-east (A) and north-west (B).

2.7 Elevation 6

Elevation 6 comprised the north elevation of Building 6 and the south elevation of Building 7 (Figures 15-16) and abutted Elevation 7 to the west. The wall was constructed of roughly coursed platey stone rubble set in a hard cream mortar at ground floor level, with an upper brick-built first floor. Rectangular joist holes were again (as with Elevation 5) located at the junction between the two builds, with a timber lintel located below to the south. There were two brick fireplaces set into each side of the elevation, with both ground floor examples having iron lintels.



Figure 15: North face of Elevation 6, viewed from inside Building 7 (2m scale).

2.7.1 Building 6

The south (Elevation 5), north (Elevation 6) and west (Elevation 7) walls are discussed in detail elsewhere, but they provided evidence of a two floored building with approximate dimensions of 6.8m by 4m. There was no surviving evidence for the east wall or any floors, although the required formation level meant that these may have remained buried and survive in situ.

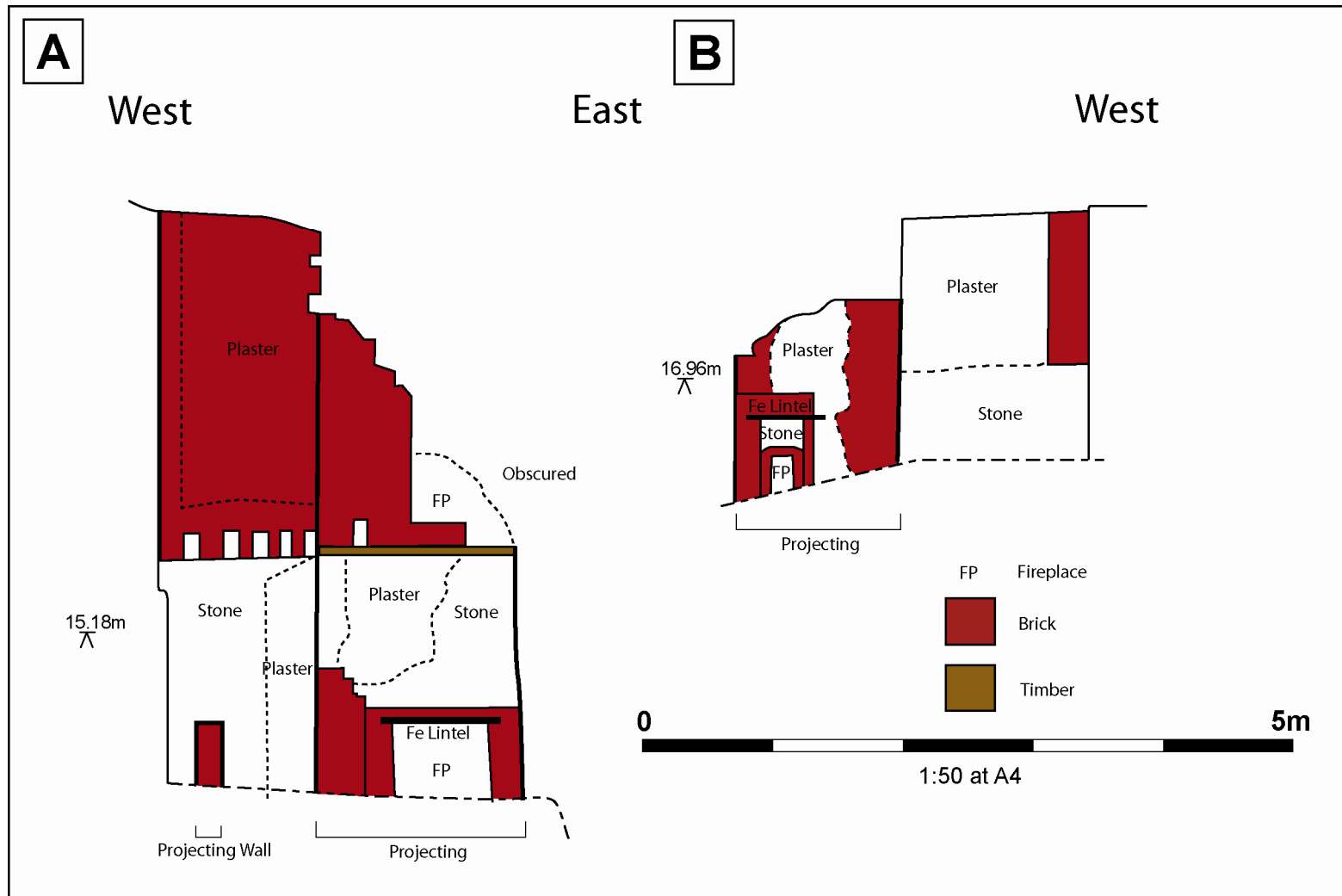


Figure 16: Elevation 6 viewed from the south-east (A) and north-west (B).

2.8 Elevation 7

The west elevation of Buildings 5, 6 and 7 had been constructed directly upon the bedrock, providing clear evidence of the extensive quarrying which had taken place on the site prior to the construction of the 18th century buildings (Figure 18). The wall was constructed of roughly coursed stone rubble, no mortar was visible, presumably due to the large amount of water which constantly ran down the wall. The wall was of a single phase of construction, although a straight joint visible in the central section suggests possible rebuilding. A relieving arch type arrangement of stonework just above the natural bedrock in the south corner evidences the huge weight which this c.5m wall bears. A granite lintel to the top of the wall at the north end (Figure 17) may not be in its original context, but, if it is, it could suggest the position of a former opening onto Smithick Hill.



Figure 17: The west elevation of Building 7, viewed from the north-east (2m scale).

2.8.1 Building 7

The south (Elevation 6), west (Elevation 7) and north (Elevation 8) walls are discussed in detail elsewhere, but they provide evidence of a floored building with approximate dimensions of 7.5m by 5.25m. The eastern wall survives to a height of nearly 2m and is plastered.

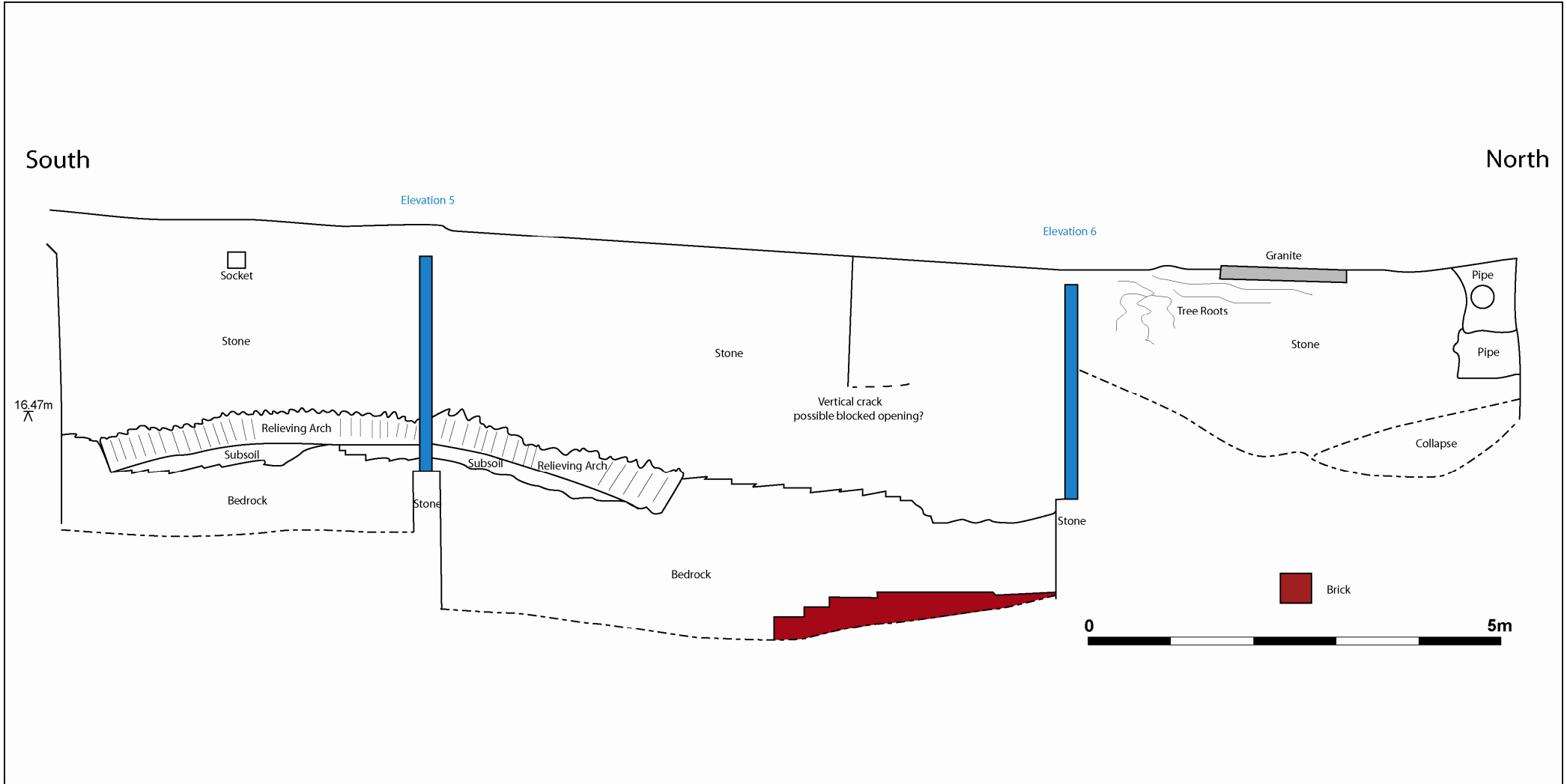


Figure 18: Elevation 7 viewed from the northeast.

2.9 Elevation 8

Elevation 8 (Figure 19) is the longest wall surviving on the site and reaches a maximum height of 4m, although predominantly standing at 2m. It forms the external wall to the buildings on the north side of the site and represents a single phase of building of roughly coursed stone rubble with a soft white lime mortar, but with several subsequent alterations.

The western part of the elevation (Building 7) was the only section which provided evidence for a first floor and had a series of three socket holes aligned below a patch of surviving plasterwork c.2.75m from the west end. The ground floor level was not observed during the works as the spoil was heaped up on this part of the site.

The central portion of the elevation (Building 8) had two inserted brick fireplaces projecting from the elevation, also of note were two slight scars in the plaster work between the two fireplaces, suggesting a fixture or fitting (a bench?) formerly attached to the wall at this point.

The eastern part of the wall (Buildings 9-10) contained three further brick fireplaces (two within Building 9 and one within Building 10) positioned slightly above dwarf walls.

2.9.1 Building 8

Building 8 was approximately 8m x 4.25m in size with two surviving fireplaces in the north wall. The east wall was of a roughly coursed stone rubble construction with a white lime bonding and survived to a height of 0.7m. The south elevation was only seen in the east corner due to the formation level of the development, but was of an identical roughly coursed stone rubble construction to that to the east, both of which were plastered. The south elevation had seemingly been replaced with a single coursed brick wall built along the southern edge of the surviving stone wall, thereby adjoining the Ope. This suggests a final phase of late 19th/early 20th century rebuilding and use similar to that seen for Buildings 1 and 2. The west elevation (discussed above with Building 7) was also plastered.

The surviving concrete floor was at the formation level for the development on this part of the site, so it is unknown if earlier floor surfaces had survived below this.

2.9.2 Building 9

Building 9 was approximately 4.4m x 4m and had two surviving fireplaces in the north elevation. The other elevations were of identical construction to those of Building 9.

No floors survived and it seems likely that the building formerly had a suspended wooden floor, hence the supporting dwarf wall evident in the north elevation (Figure 20). This is further supported by the much higher amount of roof slate contained within the foundations of this building, forming a layer approximately 0.1m thick immediately above the redeposited natural subsoil that the footings cut into. Also of note was the presence of two glass marbles (found near the entrance step) which had presumably fallen through gaps in the floor boards while the building was occupied.



Figure 20: The dwarf wall in the north-east corner of Building 9, viewed from the east (2m scale).

2.9.3 Building 10

Building 10 was approximately 4m x 3.7m and contained a single brick fireplace in its north elevation. The east elevation survived to a height of 0.3m although this was slightly less to the north end, where it had been truncated by the modern building. The footing of this wall was at a slightly lower level (0.15m) than any of the adjoining walls, although there was no difference in the fabric or build of the wall. The south elevation was of an identical construction, with a single brick width wall on the outer southern edge along the Ope. The west wall was also of the same construction but with occasional patches of plaster surviving.

No floors survived for this building, and it seems likely that it too formerly had a suspended wooden floor, hence the supporting dwarf wall evident in the north wall.



Figure 21: The east elevation of Building 10, viewed from the south-east with the modern storage building in the background (0.5m scale).

2.9.4 Building 11

Building 11 was approximately 4m x 4m, the south wall surviving to a height of 0.25m and of a roughly coursed stone rubble construction with a white lime mortar bonding. The granite step entering the building on this side from the Ope again appears to have been reused (Figure 22). The west elevation is discussed above (in Building 10). The north wall had been truncated by the construction of a late 20th century storage building to the north of the development site (Figure 21). The east wall has also been completely truncated by the construction of W H Smiths (as with Building 1).

No floor survived for this building, and it seems likely that it also had a suspended wooden floor (see Buildings 9 and 10).



Figure 22: The reused granite lintel utilised for the entrance step into Building 11, viewed from the south-east (0.5m scale).

3.0 Conclusions

3.1 Summary

The surviving footings and elevations recorded correspond quite closely with the map evidence for the site, with an almost identical layout of small cottages and/or workshop-sized buildings shown on the 1880 Ordnance Survey 1st Edition Map along the north, south and western ends of the development plot. These buildings were accessed via an ope (alley) from Market Street to the north-east, known as Old Post Office Yard. The southern part of the double row of buildings (outside of the development area) were accessed separately via an ope to the south, known as Allen's Yard (see Figure 23). Almost all of these cottages correspond closely with the surviving elevations and footings, with the exceptions of Buildings 1 and 2 which are shown as a single structure. This is also the case with Buildings 10 and 11. The other noticeable contrast is that Buildings 3 and 4 are shown as having been comprised of several different small buildings on the 1880 map (Figure 23). However, given that the surviving remains of these two buildings had been so badly truncated, it is perhaps not surprising that several former divisions were not visible.

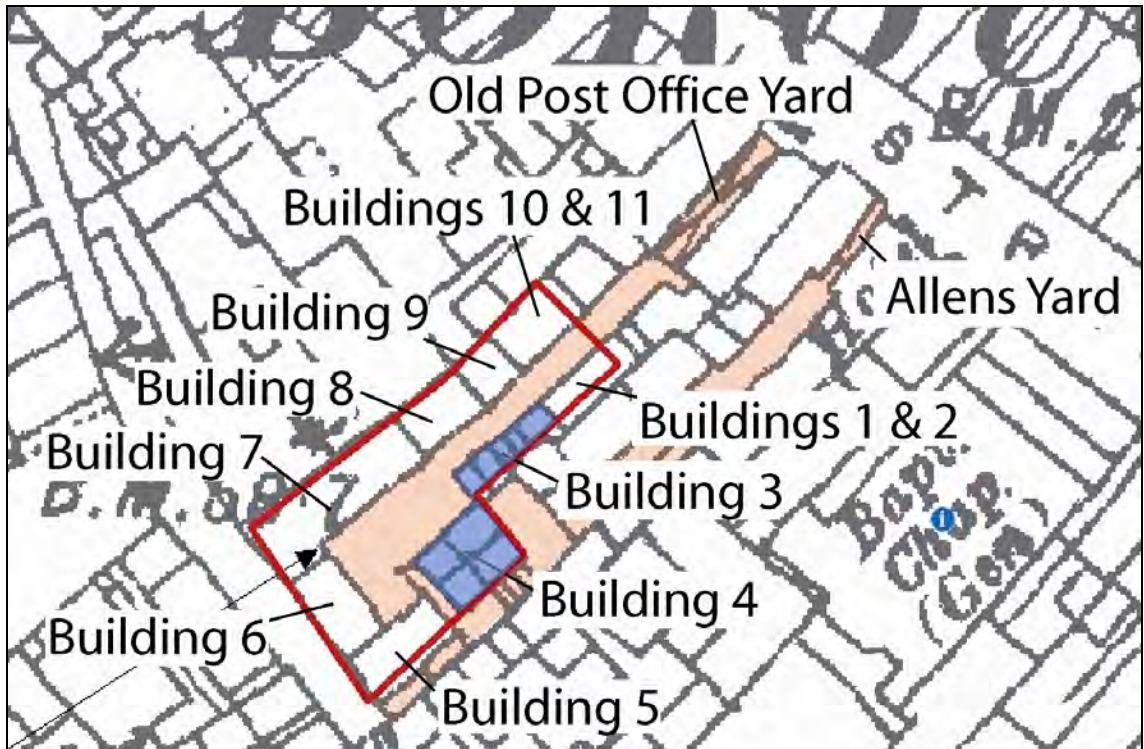


Figure 23: Extract from the Ordnance Survey 1st Edition 1:2500 1880 Map. The surviving foundations correspond closely to the building footprints, with the exceptions of the buildings in blue.

The number of buildings identified can also be tied in closely with the census data for Old Post Office Yard, which indicates that in total eleven separate properties had existed in this yard in 1861. The two properties closest to market street fall outside of the development area having already been truncated by W H Smiths, and it is unfortunately not possible to tie specific families to any of the surviving buildings. The census information does suggest a relative continuity in the types of people who resided in these buildings however, with labourers, pensioners, mariners, charwomen and masons dominating throughout the period of 1861-1912.

The archaeological finds from within the rubble/demolition layers on the site suggest an early to mid-20th century abandonment for the site. An aspect also supported by the documentary evidence which suggests that even by as early as 1912 some of the properties within the Old

Post Office Yard were no longer in occupation. Lake's town Directory (Lawrence 1912) lists ten properties at this date, number 11 (the Young Women's Christian Association building) appears to have no longer been in use by this date. There are also three houses (numbers 1, 8 and 9) which do not have any residents names associated. Number 8 had been occupied by J.J. Pascoe in 1909 (Rowe 1909), and as members of the Pascoe family still resided in numbers 4 and 5 in 1912 it may suggest that they may have been using this building for storage, and the other empty properties may have been used for similar purposes.

The gradual abandonment of the site can be seen to have started with the demolition of properties along the north side of Allen's Yard in the early 20th century. The final end to the properties probably occurring before or as a result of the changes visible on the 1930s 2nd Edition Ordnance Survey Map (Figure 9). To the east of the development plot at this time, the building facing onto Market Street appears to have been expanded to the north-east, and it is possible that this indicates that the ope known as Old Post Office Yard had been blocked, effectively cutting off the buildings.

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Institute of Field Archaeologists 1994 (Revised 2001 & 2008): *Standard and Guidance for Archaeological Desk-based Assessment.*

Institute of Field Archaeologists. 1996 (Revised 2001 & 2008): *Standard and Guidance for Archaeological Investigation and Recording of Standing Buildings or Structures.*

Soil Survey of England and Wales 1983: *Legend for the 1:250,000 Soil Map of England and Wales (a brief explanation of the constituent soil associations).*

Lawrence, C.H. (Ed.) 1912: *Lake's Falmouth Directory.* Falmouth

Rowe, R.C. (Ed.) 1909: *The Post Office Directory of Falmouth and Neighbourhood.* Falmouth

Unpublished Sources:

Cornwall Online Census Project. 2010:

<http://freepages.genealogy.rootsweb.ancestry.com/~kayhin/ukocp.html>

SWARCH 2010: *Land at Smithick Hill, Falmouth, Cornwall: Results of a Desk-Based Assessment with Walkover Survey.* Report number 101112.

Appendix 1

BRIEF FOR ARCHAEOLOGICAL RECORDING

Date: 30/11/2010

Address: Land at Smithick Hill, Falmouth

Applicant:

Agent: Stratton and Holborrow Ltd

Historic Environment Planning Advice Officer: Dan Ratcliffe, Historic Environment Service, St Austell One Stop Shop, St Austell, PL25 5DR. 01726 223463 dratcliffe@cornwall.gov.uk

Local Planning Authority Officer:

This brief is only valid for six months. After this period the Historic Environment Planning Advice Officer (HEPAO) should be contacted. Any written scheme of investigation (WSI) resulting from this brief shall only be considered for the same period. The contractor is strongly advised to visit the site before completing their WSI as there may be implications for accurately costing the project.

Contractors Written Scheme of Investigation (WSI)

No ground works are to be undertaken until the HEPAO and the Local Planning Authority (LPA) have approved the archaeological contractor's WSI.

1 **Introduction**

This brief has been written by the HEPAO and sets out the minimum requirements for archaeological recording at the above site. This work is required to discharge condition 7 of planning application PA02/0188/10/M.

2 **Site Location and Description**

The area lies near the urban centre of Falmouth, located between the rear of no.18 Market Street and Smithick Hill. The ground within the plot rises gradually from a height of c.7m AOD at the rear of no.18 Market Street to a height of c.12m AOD at the Smithick Hill end. Here a retaining wall c.3 m high survives. The underlying bedrock is comprised of Devonian breccias belonging to the Porthleven Breccia group (British Geological Survey 2001).

3 **Planning Background**

Planning application PA02/0188/10/M was submitted on the 25th of February, 2010 and was for the 'Clearance of land, erection of 13 residential flats in two blocks'. This application has been approved subject to 7 conditions. Condition 7 states:

No development shall take place until the applicant has secured and implemented a programme of archaeological work in accordance with a written scheme of investigation to be submitted by the applicant and approved in writing by the Local Planning Authority in consultation with the County Archaeologist. The approved scheme shall be implemented in full.

The applicant, their agents and any subcontractors should note that where there are other conditions requiring satisfaction in advance of the commencement of works on site; it is the responsibility of the applicant to liaise with the planning officer concerned to ensure that the timetabling of these works is managed.

An initial WSI (14/10/2010) for an archaeological programme of works has already been submitted and approved for this site. This WSI described a staged programme of works beginning with archaeological desk-top assessment. 4.3 of this document noted that *"The implications of the rapid pre fieldwork assessment will be summarised in an appropriately revised WSI, agreed with the HEAA in advance of the commencement of fieldwork."* Stage One Archaeological assessment has now been undertaken by South West Archaeology (Report no 101112), who have now requested a brief to inform the production of the revised WSI.

4 **Archaeological Background**

South West Archaeology Ltd. undertook a desktop assessment of this site in October 2010, in advance of the redevelopment of the site. This assessment suggests quarrying, both for building stone and levelling purposes, will have removed most of the evidence for early occupation or use of the site. The cartographic evidence indicates that structures began to be built at the eastern end of the property by the end of the 18th century, and that by the later 19th century the entire footprint of the development had been built up. By the middle of the 20th century these largely 19th century cottages and workshops had fallen into ruin, but some of the walls of these structures survive. It seems likely that – given the apparent lack of later clearance activity – yard and house floors and walls still survive relatively intact beneath the rubble and vegetation, and form a significant archaeological resource within the context of small towns in Cornwall.

5 **Requirement for Work**

Ground works associated with the development may disturb buried archaeological remains. It is therefore important that a suitably qualified archaeologist(s) is/are present during these works in order to identify and record any features of interest.

The site specific aims are to:

- Establish the presence/absence of archaeological remains
- Determine the extent, condition, nature, character, date and significance of any archaeological remains encountered and make appropriate records of those remains.
- To establish the nature of the activity on the site
- To identify any artefacts relating to the occupation or use of the site
- To advance understanding of the archaeology of Medieval and later urbanism, buildings, artefacts and social provision (SWARF Research Aims 8, 9 and 36,) by;

- recovering information about living, social and sanitary conditions in Post Office Yard
- comparing this information to historical sources about Post Office Yard and other comparable urban environments

6 General Methodology

- 6.1 All stages of the investigation shall be supported by a written scheme of investigation (WSI).
- 6.2 The archaeological contractor is expected to follow the code of the Institute for Archaeologists (IfA).
- 6.3 Details including the name, qualifications and experience of the site director and all other personnel (including specialist staff) shall be included within the WSI.
- 6.4 All of the latest Health and Safety guidelines shall be followed on site.
- 6.5 The IfA's Standards and Guidance should be used for additional guidance in the production of the WSI, the content of the report and the general execution of the project.
- 6.6 Terminology will be consistent with the English Heritage Thesaurus.

7 Archaeological Recording Methodology

- 7.1 Prior to the commencement of on site works but following the clearance of vegetation, a detailed (EH Level II) survey should be made of all standing remains of the site.
- 7.2 The revised WSI will provide a detailed methodology for the way in which archaeological recording will be undertaken, referring as necessary to the engineering works that will be necessary to prepare the ground for construction. At a minimum, following recording of the extant structures on site an archaeologist shall be present during all demolition and ground works associated with the development, unless circumstances dictate a different approach. A toothless ditching bucket can be used for the removal of any overburden until the first archaeological horizon is exposed. This will then be hand cleaned as appropriate.
- 7.3 Any surviving remains which will be disturbed or destroyed by the development shall be archaeologically excavated and recorded.
- 7.4 Details of how all archaeological contexts and artefacts will be excavated, surveyed, recovered and recorded shall be provided. The site will be tied into the national grid.
- 7.5 Details of the site planning policy shall be given in the WSI. The normal preferred policy for the scale of archaeological site plans is 1:20 and sections 1:10, unless circumstances indicate that other scales would be more appropriate.
- 7.6 The photographic record shall consist of prints in both black and white and colour together with the negatives. Digital photography may be used for report illustration. For both general and specific photographs, a photographic scale shall be included. In the case of detailed photographs it may be appropriate to include a north arrow. The photographic record shall be accompanied by a photographic register detailing as a minimum, feature number, location and direction of shot.
- 7.7 If significant archaeological deposits are exposed, all works must cease and a meeting convened with the client and the HEPAO to discuss the most appropriate way forwards.

8 Finds

- 8.1 All finds, where appropriate, will be retained from each archaeological context excavated.
- 8.2 All finds, where appropriate, shall be washed.
- 8.3 All pottery, and other finds, where appropriate, shall be marked with the site code and context number.
- 8.4 The WSI shall include an agreed list of specialist consultants, who may be required to conserve and/or report on finds, and advise or report on other aspects of the work including environmental sampling.
- 8.5 The requirements for conservation and storage shall be agreed with the Royal Cornwall Museum prior to the start of work, and confirmed in writing to the HEPAO.
- 8.6 Finds work should be to accepted professional standards and adhere to the Institute for Archaeologists *Guidelines for Finds Work*.
- 8.7 Environmental sampling should be guided by *Environmental Archaeology* (English Heritage Centre for Archaeological Guidelines. 2001/02).
- 8.8 Further English Heritage guidance that may be helpful includes *Geoarchaeology* (2004) and *Archaeometallurgy* (2001).
- 8.9 The English Heritage Advisor for Archaeological Science will be able to provide archaeological science advice if required (Vanessa Straker 0117 975 0689).

9 Human Remains

- 9.1 Any human remains which are encountered must initially be left in situ and reported to the HEPAO and the appropriate authorities (the Coroner), where appropriate. If removal is necessary this must comply with the relevant Government regulations. If burials are encountered their legal status must be ascertained and recording and/or removal must comply with the legal guidelines.
- 9.2 If human remains are not to be removed their physical security must be ensured, preferably by back filling as soon as possible after recording.
- 9.3 If human remains are to be removed this must be done with due reverence and in accordance to current best practice and legal requirements. The site must be adequately screened from public view. Once excavated, human remains must not be exposed to public view.

10 Results

- 10.1 A draft archive assessment report including all specialist assessments of artefact assemblages shall be submitted within a length of time (but not exceeding six months) to be agreed between the applicant and the archaeological contractor, Cornwall County Council Historic Environment Service and the Royal Cornwall Museum. A further digital copy shall be supplied on CD-ROM preferably in 'Adobe Acrobat' PDF format.
- 10.2 The archaeological contractor will undertake the English Heritage/ADS online access to the index of archaeological investigations (OASIS).

- 10.3 This report will be held by the Cornwall and Scilly Historic Environment Record (HER) and made available for public consultation.
- 10.4 The report must contain:
- A concise non-technical summary of the project results.
 - The aims and methods adopted in the course of the investigation.
 - A discussion of the archaeological findings in terms of both the site specific aims and the desk based research.
 - A location map, a drawing showing those areas examined as part of the archaeological recording, and copies of any archaeological plans and sections. All plans shall be tied to the national grid.
 - All specialist reports and assessments of the potential of the site archive for future research.
 - A summary of the archive contents and date of deposition.
 - A context register with brief descriptions shall be included as an appendix.
 - A copy of the brief and the approved WSI will be included as an appendix.
- 10.5 A contingency shall be made within the costs for revision of the final report following the clarification of post excavation requirements and full publication in an appropriate journal of regionally significant results. The HEPAO will notify the contractor of such a need within four weeks of receipt of the assessment report.
- 11 Archive Deposition**
- 11.1 An ordered and integrated site archive will be prepared in accordance with: *Management of Research Projects in the Historic Environment (MoRPHE) English Heritage 2006* upon completion of the project. The requirements for archive storage shall be agreed with the Royal Cornwall Museum.
- 11.2 If the finds are to remain with the landowner a full copy of the documentary archive shall be housed with the Cornwall County Record Office and with the Courtney Library of the Royal Institution of Cornwall.
- 11.3 The archive including a copy of the written report shall be deposited with the Royal Cornwall Museum within two months of the completion of the full report and confirmed in writing with the HEPAO.
- 11.4 Where there is only a documentary archive this will be deposited with the Cornwall Record Office as well as the Courtney Library of the Royal Institution of Cornwall.
- 11.5 A copy of the report will be supplied to the National Monuments Record (NMR) in Swindon.
- 11.6 A summary of the contents of the archive shall be supplied to the HEPAO.
- 11.7 Only on completion of 11.1 to 11.5 (inclusive) will there be a recommendation for the discharge of any archaeological recording condition.
- 12 Monitoring**
- 12.1 The HEPAO will monitor the work and should be kept regularly informed of progress.
- 12.2 Notification of the start of work shall be given preferably in writing to the HEPAO at least one week in advance of its commencement.
- 12.3 Any variations to the WSI shall be agreed with the HEPAO, preferably in writing, prior to them being carried out.
- Bibliography:*
- SWARCH 2010 Written Scheme Of Investigation For Archaeological Investigation At Smithick Hill, Falmouth, Cornwall *unpublished*
- SWARCH 2010 Land at Smithick Hill, Falmouth, Cornwall 'Results of a Desk-Based Assessment with Walkover Survey' *unpublished client report*
- Webster CJ 2008 The Archaeology of South West England: South West Archaeological Research Framework (SWARF). Somerset CC.

Appendix 2

WRITTEN SCHEME OF INVESTIGATION FOR ARCHAEOLOGICAL INVESTIGATION AT SMITHICK HILL, FALMOUTH, CORNWALL

Location: Smithick Hill, Falmouth, Cornwall
Parish: Falmouth
County: Cornwall
NGR: SW8079232861
Planning Approval no: PA02/0188/10/M
Proposal: Clearance of land and erection of 13 residential flats in two blocks
Date: 1.12.2010

1.0 INTRODUCTION

1.1 This document forms a Written Scheme of Investigation (WSI) which has been produced by South West Archaeology (SWARCH) at the request of Piers Owen of Stratton & Holborow (the Client), and sets out the methodology for archaeological investigation at Smithick Hill, Falmouth, Cornwall and for related off-site analysis and reporting. The WSI and the schedule of work it proposes was devised in consultation with, and with reference to a brief supplied by the Cornwall Council Historic Environment Service Historic Environment Archaeological Advisor, Dan Ratcliffe (HEAA). The work is being commissioned in mitigation of the loss of any archaeological remains within the site, considered to have a raised archaeological potential due to its previous urban history. This application for the development has been approved subject to conditions. Condition 7 states:

"No development shall take place until the applicant has secured and implemented a programme of archaeological work in accordance with a written scheme of investigation to be submitted by the applicant and approved in writing by the Local Planning Authority in consultation with the County Archaeologist. The approved scheme shall be implemented in full."

1.2 An initial WSI (14/10/2010) for an archaeological programme of works has already been submitted and approved for this site. This WSI described a staged programme of work beginning with archaeological desk-top assessment. 4.3 of this document noted that *"The implications of the rapid pre fieldwork assessment will be summarised in an appropriately revised WSI, agreed with the HEAA in advance of the commencement of fieldwork."* Stage One Archaeological assessment has now been undertaken by South West Archaeology (Report no 101112), and a brief has been issued (D. Ratcliff 30/11/2010) to inform the production of a revised WSI to cover further stages of work.

1.2 The programme of work to be carried out by SWARCH and covered by this WSI consists of:

1.2.1 Archaeological excavation/monitoring of all groundworks associated with the development;

1.2.2 Investigation, excavation and recording of any surviving below-ground archaeological artefacts and deposits revealed;

1.2.3 Post-excavation related analysis and reporting.

2.0 ARCHAEOLOGICAL BACKGROUND

2.1 Smithwick Hill represents the site of potentially some of the earliest settlement in this area. The placename means literally 'the village of smiths'. The earliest record of this placename dates to 1370 (Kirkham 2005, 16) and the name became associated with the new settlement established close to this location from the early 17th century onwards. The site is shown on historic maps as a classic early modern narrow urban plot, which stretches between Market Strand and Smithwick Hill. By the late 19th century the area around Smithwick Hill was occupied by dense residential settlement in a maze of courts, opes and backlets, with terrace and row housing along some of the lanes. There were also small workshops, stores and structures associated with maritime activity. The area housed a significant portion of the town's working class population, including many fishing and sailor's families, before the development of the terraced suburbs during the 19th century. There were also a small component of socially superior housing and a number of institutional buildings were situated in the area.

Archaeological assessment by AOC Archaeology in advance of building works at 1-7 Smithick Hill in 2005-2006 demonstrated the archaeological potential of this area, producing evidence for important boundary features and stairways (an important historic characteristic of this area), and there is every reason to suspect that this site may yield similar or better results.

South West Archaeology Ltd. undertook a desk-top assessment of this site in October 2010, in advance of the redevelopment of the site. This assessment suggests quarrying, both for building stone and levelling purposes, will have removed most of the evidence for early occupation or use of the site. The cartographic evidence indicates that structures began to be built at the eastern end of the property by the end of the 18th century, and that by the later 19th century the entire footprint of the development had been built up. By the middle of the 20th century these largely 19th century cottages and workshops had fallen into ruin, but some of the walls of these structures survive. It seems likely that – given the apparent lack of later clearance activity – yard and house floors and walls still survive relatively intact beneath the rubble and vegetation, and form a significant archaeological resource within the context of small towns in Cornwall.

3.0 AIMS

3.1 The principal objectives of the programme are:

3.1.1 To establish the presence/absence of archaeological remains;

3.1.2 To determine the extent, condition, nature, character, date and significance of any archaeological remains encountered;

3.1.3 To establish the nature of the activity on the site;

- 3.1.4 To identify any artefacts relating to the occupation or use of the site;
- 3.1.5 To provide further information on the archaeology of Smithick Hill from any archaeological remains encountered.
- 3.1.6 To advance understanding of the archaeology of Medieval and later urbanism, buildings, artefacts and social provision (SWARF Research Aims 8, 9 and 36,) by;
 - recovering information about living, social and sanitary conditions in Post Office Yard
 - comparing this information to historical sources about Post Office Yard and other comparable urban environments

4.0 METHOD

4.1 The IfA's Standards and Guidance will be used throughout the execution of the project.

4.2 Historic Building Recording

An archaeological record of any historic fabric of the former buildings on the site will be undertaken **prior** to the start of development works on site, with further recording to be undertaken during building works as appropriate. A record shall be made of the remaining historic fabric of the buildings. This work shall conform to Level 2 of recording levels as set in *Understanding Historic Buildings: A guide to good recording practice - English Heritage 2006* (available on-line at the English Heritage website) and described in outline below.

*'Level 2 is a **descriptive record**, made in circumstances similar to those of Level 1 but when more information is needed. It may be made of a building which is judged not to require any fuller record, or it may serve to gather data for a wider project. Both the exterior and the interior will be viewed, described and photographed. The record will present conclusions regarding the building's development and use, but will not discuss in detail the evidence on which these conclusions are based. A plan and sometimes other drawings may be made but the drawn record will normally not be comprehensive and may be tailored to the scope of a wider project.'*

The building record will consist of:

- 4.2.1 A written description and analysis of the form and function of the building remains including evidence for different periods of build;
- 4.2.2 An archivable digital photographic record of the building remains will be undertaken; this will include photographs illustrating the principal features and finds discovered, in detail and in context. The photographic record will also include working shots to illustrate more generally the nature of the archaeological operation mounted. All photographs of archaeological detail will feature an appropriately-sized scale.
- 4.2.3 A drawn record will include plans, elevations and cross sections, as appropriate, at a suitable scale (1.20/1.50 as appropriate);
- 4.2.4 A record will be made of the means of construction, the material construction and any feature of architectural or historic interest.

4.3 Archaeological Recording

Any surviving remains which will be disturbed or destroyed by the development shall be archaeologically excavated and recorded. Following recording of the extant structures on site an archaeologist shall be present during all demolition and ground works associated with the development, unless circumstances dictate a different approach.

All archaeological work will be carried out in accordance with the Institute for Archaeologists (IfA) *Standard and Guidance for an Archaeological Excavation (1995, revised 2008)* and the *Standard and Guidance for an Archaeological Watching Brief (1994, revised 2008)*.

4.3.1 In areas subject to groundworks topsoil and modern overburden will be removed down to the first significant archaeological horizon or undisturbed subsoil using a 360° tracked or wheeled JCB-type machine with a toothless grading bucket, under strict archaeological supervision. Where necessary, cleaning will be undertaken by hand and, once completed, affected areas will not be driven over by vehicles without prior agreement. If archaeological deposits are reached at a level above the intended formation or invert level, they will be excavated by the site archaeologist down to the latter, by hand.

4.3.2 Spoil will be examined for the recovery of artefacts.

4.3.3 Once the level of the archaeology has been reached all archaeological material will be excavated by hand down to the depth of the archaeology.

4.3.4 If archaeological features are exposed, then *as a minimum*:

- i) small discrete features will be fully excavated;
- ii) larger discrete features will be half-sectioned (50% excavated);
- iii) long linear features will be excavated to sample 20% of their length – with investigative excavations distributed along the exposed length of any such feature.
- iv) where appropriate, one long face of each trench will be cleaned by hand in order to clarify stratigraphical relationships and identify archaeological features.

Whether any further excavation is required will be confirmed with HEAA. Should the above % excavation not yield sufficient information to allow the form and function of archaeological features/deposits to be determined, full excavation of such features/deposits will be required. Additional excavation may also be required for the taking of palaeoenvironmental samples and recovery of artefacts.

4.3.5 Should archaeological or palaeoenvironmental remains be exposed, the site archaeologist will investigate, record and sample such deposits. All excavation of exposed archaeological features shall be carried out by hand, stratigraphically, and fully recorded by context to IfA guidelines. Where appropriate, this work will be informed through consultation with the relevant specialists.

- 4.3.6 In exceptional circumstances where materials of a particularly compact nature are encountered, these may be removed with a toothed bucket, subject to agreement with the HEAA.
- 4.3.7 Human remains will be left *in-situ*, covered and protected. Removal can only take place under appropriate Ministry of Justice and environmental health regulations. Such removal must be in compliance with the relevant primary legislation and with due reverence – the remains will not be exposed to the public view.
- 4.3.8 Should artefacts defined as ‘treasure’ by the Treasure Act 1996(revised) be exposed, these will be removed to a safe place and reported to the local coroner according to the procedures described in that legislation. A copy of the Act will be available on site for consultation by site personnel. Where removal cannot be effected on the same working day as the discovery suitable security measures will be taken to protect the finds from theft.
- 4.3.9 If complex or extraordinary archaeological deposits are exposed then the need for further mitigation will be agreed in consultation with the HEAA and the client.
- 4.3.10 Finds resulting from the excavation will be excavated, retained and treated in accordance with the Institute for Archaeologists (IfA) *Standard and Guidance for the collection, documentation, conservation and research of archaeological materials* and in consultation with the Royal Cornwall Museum as appropriate.
- 4.4 The Client will provide SWARCH with details of the location of proposed groundworks within the site area, and of the proposed construction programme.
- 4.5 Health and Safety requirements will be observed at all times by any archaeological staff working on site, particularly when working with machinery. As a minimum: high-visibility jackets, safety helmets and protective footwear will be worn.
- 4.5.1 Appropriate PPE will be employed at all times.
- 4.5.2 The site archaeologist will undertake any site safety induction course provided by the Client.
- 4.5.3 If the depth of trenching exceeds 1.2 metres the trench sides will need to be shored or stepped to enable the archaeologist to examine and if appropriate record the section of the trench. The provision of such measures will be the responsibility of the client.
- 4.6 SWARCH will agree monitoring arrangements with the HEAA who will be informed of the start of the fieldwork, will be regularly informed of progress and will monitor the project throughout, and may wish to inspect the works in progress.
- 5.0 ARCHAEOLOGICAL RECORDING**
- This will be based on IFA guidelines and those advised by the HEAA and will consist of:
- 5.1 Standardised single context recording sheets.
- 5.2 Survey drawings in plan, section and profile. Plans of individual features will be drawn at 1:20 and sections at 1:10, although this may vary, depending on circumstances, if others scales are more appropriate. It is anticipated that large area site plans will be drawn at 1:50, 1:100 or 1:200 as appropriate.
- 5.3 Black and white prints and negatives of archive quality will be taken for the primary archive and will be supplemented by digital photography. All photographs, both general and specific will include scale and, where appropriate, a north arrow. A full photographic concordance will accompany this archive which will contain a description of each photograph, including context numbers, direction of shot, scale size, date and photographer identification.
- 5.4 A site survey plan showing the location of features which will be drawn at a scale of 1:100 and be tied into the National Grid.
- 5.5 Labelling and bagging of finds on site. All finds will be stored, labelled and processed according to the best practice laid out in Watkinson and Neal 1998 (*First Aid for Finds*). 3D finds recording will be undertaken where appropriate. Post-1800 unstratified pottery may be discarded on site after a representative sample has been retained.
- 5.6 Should suitable deposits be exposed (e.g. palaeoenvironmental) then scientific assessment/ analysis/dating techniques will be applied to further understand their nature/date and to establish appropriate sampling procedures. The project will be organised so that specialist consultants who might be required to conserve or report on other aspects of the investigations can be called upon.
- Any variation of the above shall be agreed in consultation with the HEAA.
- 6.0 ARCHIVE AND REPORT**
- 6.1 Project reporting will be undertaken in accordance with Management of Research Projects in the Historic Environment (MoRPHE) English Heritage 2006 and will include an assessment of the potential of all aspects of any evidence uncovered. Depending on results, this may necessitate changes in the project design to ensure that the post-excavation stages of the project can be informed by relevant research strategies.
- 6.2 An ordered and integrated site archive will be prepared in accordance with Management of Research Projects in the Historic Environment (MoRPHE) English Heritage 2006 upon completion of the entire project. The documentary archive will be produced to the relevant archive standards. This will include relevant correspondence together with context sheets, field drawings, and environmental, artefactual and photographic records and a copy of the project report. The archive will be deposited with the Royal Cornwall Museum in Truro under accession number TRURI: 2010.42. Conditions for the deposition of the archive will be agreed with the Museum. Where there is only a documentary archive resulting from these works, this will be deposited with the Cornwall Record Office and the Courtney Library of the Royal Institution of Cornwall.
- 6.3 Archaeological finds resulting from the investigation (which are the property of the landowner), will also be deposited with the above museum in the project archive in a format to be agreed with the museum, and within a timetable to be agreed with the HEAA. The museum’s guidelines for the deposition of archives for long-term

- storage will be adhered to and any sampling procedures will be carried out prior to deposition and in consultation with the museum. If ownership of all or any of the finds is to remain with the landowner, provision and agreement will be made for the time-limited retention of the material and its full analysis and recording, by appropriate specialists.
- 6.4 A summary of the contents of the archive shall be supplied to the HEAA.
- 6.5 An illustrated summary report will be produced as soon as possible following completion of fieldwork, specialist reports allowing, and submitted to the HEAA, and the Client.
- 6.6 A report will be produced. This will include the following elements:
- 6.6.1 A report number;
 - 6.6.2 The aims and methods adopted in the course of the investigation;
 - 6.6.3 A location plan and overall site plan showing the distribution of existing groundworks and any archaeological features;
 - 6.6.4 A summary of results of the project;
 - 6.6.5 Plans and sections of exposed features or deposits at a relevant scale;
 - 6.6.6 A description of any remains and deposits identified including an interpretation of their character and significance;
 - 6.6.7 Any specialist reports commissioned;
 - 6.6.8 The Desk-based assessment aspect will include the reproduction of relevant historic maps/plans etc. and historic or current photographs where appropriate. And give an assessment of the context and development of the sit;
 - 6.6.9 Discussion of the archaeological deposits encountered to include the findings of the desk-based research;
 - 6.6.10 A copy of the HEAA brief, this WSI, a summary of the archive contents and a context list shall be included as appendices.
- 6.7 The HEAA will receive the report within three months of completion of fieldwork, dependant on the provision of specialist reports, radiocarbon dating results etc, the production of which may exceed this period. If a substantial delay is anticipated then an interim report will be produced. The report will be supplied to the HEAA on the understanding that one of the hard copies will be deposited for public reference in the HER. In addition to the hard copies of the report, one copy will be provided to the HES in digital Adobe Acrobat PDF format, on the understanding that it may in future be made available to researchers via a web-based version of the HER.
- 6.8 A copy of the report will be supplied to the National Monuments Record (NMR) in Swindon.
- 6.9 A copy of the report detailing the results of these investigations will be submitted to the OASIS (*Online AccesS to the Index of archaeological investigationS*) database under OASIS record number southwes1-84468. Should complex or significant remains be uncovered South West Archaeology will maximize opportunities for public outreach in consultation with the Client and the HEAA where appropriate. This could take the form of information notices, press release or a short notice in the Cornwall Archaeological Society Newsletter. In the event that exceptional archaeological remains are exposed, further measures will be taken, subject to consultation with the Client and the HEAA.
- 6.10 Should they merit it; the results of these investigations will be published in an appropriate academic journal. If required, after the production of a summary report, a programme and timetable for this will be submitted to the HEAA and the Client for approval.
- 7.0 PERSONNEL**
- 7.1 The project will be managed by Colin Humphreys; site work will be directed by Brynmor Morris/Lee Bray and undertaken by SWARCH personnel (see Appendix 1 below). Where necessary appropriate specialist advice will be sought, (see list of consultant specialists in Appendix 2 below).

Deb Laing-Trengove

South West Archaeology

The Old Dairy, Hacche Lane Business Park, Pathfields Business Park, South Molton, Devon EX6 3LH

Telephone: 01769 573555 Email deblt@swarch.net

Appendix 1 Relevant SWARCH Personnel; Dr Lee Bray

University of Exeter; PhD. in Archaeology
 University of Exeter, BA (Hons) in Archaeology (First Class)
 Royal School of Mines, Imperial College, MSc Mineral
 Exploration

John Gould
 Terry Green

University of Exeter; MA in Archaeology
 London; PGCE
 London; BA (Hons) in Modern Languages
 Specialisation – Documentary research

Martin Tingle

University of Reading; Ph D. in Archaeology
 University of Leeds; B.A. (Hons) in History
 Specialisation –Flint IfA member

Deb Laing-Trengove

University of Exeter; BA in Archaeology (First Class)

Dr Brynmor Morris

University of Exeter; PhD. in Archaeology

University of Exeter; MA in Landscape Archaeology
University of Exeter; BA (Combined Honours) (First Class)
Alfa (Associate member)

Appendix 2 - Specialist List

Building recording

Robert Waterhouse
13 Mill Meadow, Ashburton TQ13 7RN Tel: 01364 652963

Richard Parker
Exeter Archaeology, Custom House, The Quay, Exeter, EX2 4AN Tel: 01392 665521

Conservation

Richard and Helena Jaeschke
2 Bydown Cottages, Swimbridge, Barnstaple EX32 0QD Tel: 01271 830891

Curatorial

Alison Mills
The Museum of Barnstaple and North Devon
The Square, Barnstaple, North Devon. EX32 8LN Tel: 01271 346747
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Appendix 3

Finds Concordance

Context	notes
Unstratified	<p>6x roof slates 2x glass marbles 9x glass vessels, (19th-20th century) including; 1x Coates and Co. Plymouth Gin bottle, 1x 1pt milk bottle from Rose Eglos Farm, 1x 1pt milk bottle from Penwerris Farm,</p> <p>Pottery 1x ceramic hot water bottle (19th century) 3x small salt-glaze ware vessels (19th century) 7x sherds of white refined earthen wares (18-20th century) 2x sherds of Cornish Pottery (20th century)</p>

Appendix 3

List of jpegs contained on CD to the rear of this report.

<i>Photo Number</i>	<i>Description</i>	<i>From</i>	<i>Scale</i>
1	The site, viewed from above.	S	2m
2	The south corner of the site.	NW	2m
3	The north-eastern half of the site.	SW	2m
4	The south corner of the site.	N	2m
5	The central-southern section of the site.	NE	2m
6	The south-eastern wall of a concrete-walled mono-pitch shed.	SE	2m
7	The rear wall of WHSmiths.	SW	2m
8	The northern end of Wall #1.	NW	2m
9	The southern end of Wall #1.	NW	2m
10	Detail of doorway at southern end of Wall #1.	NW	2m
11	Detail of northern terminus of Wall #1.	SW	2m
12	Wall #1, along Fountains Ope.	SW	2m
13	As above.	NE	2m
14	As above, detail of the bricked-up joist sockets.	NE	2m
15	Wall #2.	NE	2m
16	Wall #2.	NW	2m
17	Walls #2 and #3.	WNW	2m
18	Wall #2.	SW	2m
19	As above, detail of brick fireplace pillar.	SW	2m
20	Wall #3.	NW	2m
21	The corner of Walls #3 and #6.	N	2m
22	The southern side of Wall #3.	SW	2m
23	The southern section of Wall #6.	NE	2m
24	The chimneystack in Wall #4.	SE	2m
25	As above, including the brick section abutting Wall #6.	SE	2m
26	Profile through Wall #4.	NE	2m
27	The chimneystack in Wall #4.	NW	2m
28	The central section of Wall #6.	NE	2m
29	The chimneystack in Wall #5.	SE	2m
30	Profile through Wall #5.	NE	2m
31	The chimneystack in Wall #5.	NW	2m
32	The northern section of Wall #6.	NE	2m
33	The south-west boundary of the site, above Wall #6.	NW	2m
34	The southern section of Wall #7.	SE	2m
35	The central section of Wall #7.	SE	2m
36	The northern section of Wall #7.	SE	2m
37	As above, profile.	NE	2m
38	The southern section of Wall #7.	NE	2m
39	The central section of Wall #7.	NE	2m
40	The northern section of Wall #7.	NE	2m
41	Ope/Alley at lower part of the site.	NE	2m
42	Granite step leading from Ope into Building 4.	SE	0.5m
43	Dividing wall and pitch pine post between Buildings 2 and 8.	NW	0.5m
44	Fireplace in Building 2.	NW	0.5m
45	Concrete floors and walls of Buildings 1 and 2.	NE	2m
46	Possible Fireplace in Building 1.	NW	0.5m
47	Concrete floor in Building 1.	NE	0.5m
48	Fireplace in Building 2 cleaned up	NW	0.5m
49	Southern elevation of Building 3.	NE	0.5m
50	Southern and western elevations of Building 3.	NE	0.5m
51	Reused granite lintel step into Building 3.	SE	0.5m
52	Western elevation of Building 3	SE	0.5m
53	Fireplace in Building 4.	SE	0.5m
54	As above	SE	0.5m
55	Southern elevation of Building 1 and 2.	NW	2m
56	Granite step (former lintel?) from Building 3.	SE	0.5m
57	Granite steps, scale positioned on step from Building 1.	SE	0.5m
58	Shot of all recovered granite.	S	0.5m

59	Northern Elevation of Building 4.	SE	2m
60	Northern Elevation of Building 5.	SE	2m
61	Northern Elevation of Building 6.	SE	2m
62	Northern Elevation of Building 7.	SE	2m
63	Detail of Northern Elevation between Building 4 and 5.	SE	2m
64	Southern Elevation of Building 8.	NW	2m
65	As above.	NW	2m
66	Detail of southern elevation of Building 8.	N	2m
67	Ope between Building 5 and 8.	SW	2m
68	Southern elevation and step of Building 5	NE	2m
69	General Shot of the Site	S	-
70	As above.	SW	-
71	As above.	N	-
72	Toilet Block.	N	0.5m
73	SE corner of Building 11.	NW	0.5m
74	Southern elevations of R Building 10 and 11.	N	2m
75	Floor of Building 11, with reused granite lintel of the southern toilet wall overlying.	NW	0.5m
76	Southern elevation of Building 11.	NW	2m
77	Floor of Building 11.	NW	2m
78	General shot of Building 11 and Toilet Block.	N	2m
79	Granite step.	NW	0.5m
80	Granite lintel.	S	0.5m
81	Northern elevation of Building 7.	SE	2m
82	Eastern most fireplace in Building 7.	S	2m
83	Western most fireplace in Building 7.	SE	2m
84	As above.	SE	2m



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