

**HISTORIC BUILDING EVALUATION OF
WATER HALL BARN,
OFF HIGH STREET,
WIGHTON,
NORFOLK
(39775WGT)**

Work Undertaken For
Ian J. M. Cable Architectural Design
On behalf of
Coke Estates Ltd

June 2004

Report Compiled by
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Planning Application No: 2003 1591
National Grid Reference: TF 9425 3953

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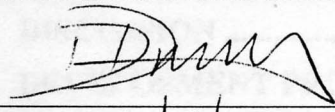
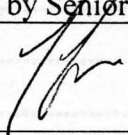
ARCHAEOLOGICAL PROJECT SERVICES



Quality Control

Building Assessment
Water Hall Barn,
Wighton,
Norfolk
39775WGT

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1. SUMMARY

A programme of historic building assessment was undertaken on Water Hall Barn, off High Street, Wighton, Norfolk. The assessed barn is a Grade II Listed Building described as late 18th-early 19th century and is important in terms of local vernacular archaeology.

The whole of the building, which is partially derelict, was photographically recorded and a ground floor plan produced. Features of architectural interest were recorded in further detail.

Formerly having functioned as a threshing barn, the building is a single phase structure with some repairs and alterations. A datestone and inscribed bricks indicate it was built in 1790, probably for the Earl of Leicester.

Originally the barn had been provided with ventilation windows comprising chequerboard patterns of bricks and holes. However, only two of the original six survive. A fallen timber bears a carpenters' mark, implying that the other roof timbers are similarly inscribed.

Proposals for conversion of the building indicate the alterations will mostly affect blank walls and the floor. It is assessed that these are of limited significance and do not require preservation. The roof timbering with its presumed carpenters' marks is of moderate historic worth and will not be significantly affected by the conversion works, though its retention is not vital. Both of the surviving ventilation windows will be replaced by glazing. While these ventilation holes are assessed as moderately important it is considered not essential that they be preserved. Most significant of the features are the dated bricks and keystone and, although the development proposals indicate that the conversion works will not affect these

features, it is necessary to the historical integrity of the building that they be retained and preserved.

2. INTRODUCTION

2.1 Definition of Archaeological Building Recording

Building recording is defined as:

'... a program of work intended to establish the character, history, dating, form and archaeological development of a specified building, structure, or complex and its setting, including its buried components on land or under water.' (IFA 1999).

2.2 Planning Background

Archaeological Project Services (APS) was commissioned by Ian J. M. Cable Architectural Design, on behalf of Coke Estates Ltd, to undertake a programme of historic building recording at Water Hall Barn, off High Street, Wighton, Norfolk. A planning application (2003 1591) had been submitted to North Norfolk District Council for conversion of the building to alternative use. Permission has been granted in principle subject to conditions including the assessment of the effect the conversion will have upon the historic structure and a brief for the investigation was prepared by Norfolk Landscape Archaeology (Appendix 1).

The building recording was carried out on 10th-11th May 2004 by G. Taylor of APS in accordance with a specification designed by APS (Appendix 2) and approved by Norfolk Landscape Archaeology.

2.3 Site Location

Wighton is situated 10km north of Fakenham in the North Norfolk district of

Norfolk (Fig. 1). Water Hall is about 600m south-southeast of the church, in the southern part of the village, close to the hamlet of Copy's Green, on the east bank of the River Stiffkey (Plate 1). Water Hall Barn is 170m north of Water Hall, to the rear of Bridge Cottages on land off High Street, at National Grid Reference TF 9425 3953 (Fig. 2).

2.4 Archaeological and Historical Setting

The barn at Water Hall Farm is a Grade II Listed Building of late 18th or early 19th century date. It stands close to other Grade II Listed Buildings, including Bridge Yard Cottages. These buildings, flint with brick dressings, are 18th century. Also adjacent is Bridge Yard, formerly two cottages but now one. Of red brick, this is early 18th century and later and is also Listed Grade II (DoE 1983, 71-2). Several other 18th and 19th century buildings of brick with flint dressings are located in the core of the village and the adjacent hamlet of Copy's Green (Pevsner and Wilson 1998, 725).

Dating from 1840, the Wighton tithe map (NRO DN/TA218) shows several connected structures at the location of the barn (Fig. 3). At that time the land encompassing the barn and attached buildings was owned by the Earl of Leicester and occupied by Walter Thurtell and was called 'Barn and Outbuildings' (Parcel 157). The adjacent land and buildings, now Bridge Yard, had the same owner and occupier and was called 'Cottages and Garden' (Parcel 159). To the south, the present Water Hall was called 'House, barn, yards and gardens' (Parcel 41) and was also owned by the Earl of Leicester, though the occupier was Samuel Andrews (NRO DN/TA218).

By 1891 when the Ordnance Survey mapped the area the building complex had diminished in size to the T-shaped

structure that presently occupies the site (Fig. 4).

3. AIMS

In accordance with the specification, the aim of the work was to provide an assessment of the building prior to redevelopment.

4. METHODS

Assessment of the building involved recording of the structure. This was undertaken to Level II standard, according to the Royal Commission specification. This involved:

- the production of a dimensioned plan (Fig. 5)
- general photographic views of the exterior of the building and the overall appearance of principle circulation areas
- a written record of the building's type, materials, possible dates
- photographic coverage of the external appearance and effect of the design of the buildings.
- photographic coverage of internal and external structural and decorative details relevant to the design, development and use of the buildings (RCHME 1996)

Photographic recording was undertaken with a manual 35mm camera fitted with a 28-70mm macro lens. Monochrome print film was used. An index of the photographs was compiled on Archaeological Project Services pro forma recording sheets.

5. RESULTS (Figs. 5 and 6)

Of red brick with a red pantile pitched roof, the building is externally divided by a

plat-band into two storeys. It is five bays wide with the central bay extended to the west by a porch. Internally, the barn is open to the roof. Part of the roof, over the 3rd and 4th bays from the south, has collapsed (Plate 2).

Exterior

The north and south elevations are closely comparable, each with a very slight plinth. Both elevations have a central ventilation opening at ground floor level. These openings, broadly with the dimensions of a window and with gauged arches of brick rubbers, are filled with a chequerboard pattern of bricks with alternate gaps. Although the southern ventilation opening has had the holes blocked with mortar (Plate 3), the northern is still open (Plate 4).

Above the ventilation openings is a plat-band string course, 3 bricks high. In the upper part of the gables, located centrally, are breather slits with angled tops and circular bottoms. Both gables, which are raised, are tumbled, generally with two sets of triangular brick tumbles, though the east side of the southern gable has three. There are paired tie straps of iron near the tops of both gables. Above the uppermost tumbles and breathers in both walls the apices of the gables are infilled with brick of a different type from the rest of the elevations.

The main differences between these two gables are in the numbers and positions of sockets from removed elements. In the south wall there is a series of four, not equidistant, sockets on the line of the plinth. There are several other sockets, of varying dimensions, at other positions in this wall, though apart from two small holes in a pair near the western side of the elevation, no patterns are obvious. In the northern gable are two large sockets set either side of the ventilation opening (Plate 4).

The eastern elevation, which is on a very slight plinth, is divided into five bays with a central entry of high, planked double doors, these having collapsed (Plates 2 and 5). Over the doors is a segmental arch of brick rubbers, though these have a different appearance to the brick used elsewhere in the elevation.

On either side of the entry are two ventilation openings, of window-form. All four have gauged arches of brick rubbers. Three of the openings are blocked, those in the two southern bays by machine-made brick. In the first bay north of the entry, the ventilation opening is covered over with a blocking of handmade brick, while in the most northerly bay the chequerboard ventilation holes remain open.

Above the ventilation openings the façade is split into two storeys by a plat-band, three bricks high. In the upper storey, set above and between the 1st and 2nd, and 3rd and 4th, ventilation openings, are two timber-shuttered openings (Plate 2). Above these the eaves are decorated with brick dentilation.

The western elevation is interrupted by a porch that will be described separately, below. Otherwise, the eastern elevation is fairly plain. There is a low, corrugated iron lean-to structure against the southern part of the elevation (Plate 6). High up on both the north and south parts of the elevation is a horizontal line of intermittent timber lacing (Plates 7 and 8). Toward the south end of the elevation, above the lean-to, is a socket. At and just below eaves level in the southern part of the wall is an irregular strip of brick that is different to the other brick used in the façade (Plate 7).

In the middle of the western façade, and extending out from it, is an advanced entry bay or porch with a hipped roof of red pantile. In the western face are large, high, planked double doors with a segmental

arch of brick rubbers, these bricks being of different appearance to those elsewhere in the elevation (Plate 9). At the apex of this arch is a dated keystone, worn and lichen covered but on which the initial 'W' and 1790 are evident (Plate 10).

The southern part of this western face of the porch is on a flint cobble foundation (Plate 11). Additionally, in the middle of that section are two incised bricks, set approximately 1.5m and 3.5m from ground level (Plate 12). On the lower is incised 'F.B 1790' (Plate 13), while the upper is marked 'R.B 1790' (Plate 14). The lower brick measures 230mm x 60mm x 110mm.

Both the south and north walls of the porch are essentially blank. However, both have scars of removed walls on their west sides, and scars of pitched roofs coming down to these (Plates 15 and 16). Also, the south wall has a higher scar of a pitched roof, descending from the main eaves line of the building. All three sides of the porch have dentilled eaves (Plate 9).

Interior

The interior of the barn is open to the roof and tie-beams divide the building into five bays (Plate 17). A collapsed timber has a wooden peg and carpenter's mark reading 'VII' (Plate 18).

Brick provides the flooring of all the bays bar the central, which is in concrete with brick edging (Plates 19 and 20). This concrete flooring, which extends into the porch, is slightly higher than the brick floors to north and south. In the northwestern corner of the building an area of about 2m x 2m of the brick flooring is disturbed and slightly sunken (Plate 19).

Six tie-beams cross the building, one each immediately alongside the north and south walls. From the south end, the 1st, 4th and 6th are chamfered on one side, and the 3rd and 5th on both sides (Plate 21). There is

no chamfering on the second beam. Beams are also present across the extension into the porch (Plate 22), and above the porch entry, the latter chamfered on one side, the former not chamfered. All of the chamfered beams have stops that are similar to lamb's tongue stops.

The north and south internal elevations are closely similar, with the ventilator openings and breather slits observed on the exterior (Plates 17 and 23). Brick blocking covers the interior of the southern ventilator opening. Above and to either side of this opening are two sockets (Plate 24).

The eastern internal elevation largely matches the exterior. However, above the entry and below the eaves, is a small rectangular recess, about 1.2m wide, 0.5m high and 0.25m deep, with a timber lintel (Plate 25). There are also two sockets between the 1st and 2nd ventilator openings from the south. Each of the three ventilator openings from the south retains broken bricks as remnants of the chequerboard vents.

The western internal wall is also similar to the exterior. However, there are lines of sockets, particularly in the southern part. Here, there are two horizontal lines of three, not directly above each other and, below, an additional pair staggered further to the north. Another set of three horizontal sockets occurs high on the northern section of wall, level with the highest line of sockets in the southern section. In addition, the tops of the junctions of the walls with those of the porch (beneath the beam junctions) are in different brick to the rest of the walls. This variation in brick extends southwards from the south side of the porch (Plate 26).

Most of the interior of the porch is plain, though there are two small alcoves in the north and south walls (Plate 27). These

niches are about 1.5m from ground level, about 0.4m high and wide and 0.2m deep, and topped with gauged arches of brick rubbers.

6. DISCUSSION

At present the barn at Water Hall Farm is disused and partially derelict.

In form, the building is a conventional three-part barn for hand flail threshing, the central bay having been the threshing floor. The large, opposed doorways in the west and east sides of the building ensured that the threshing floor was well illuminated by natural light, and this light extended further into the barn. A large porch is located on the west side and this would have protected the threshing floor from the weather. The large doorways also permitted entry by carts and the porch would have allowed such carts to be left under shelter (Brunskill 1999, 39-42).

Storage bays were located on either side of the threshing floor. It is likely that one side of the barn held unthreshed sheaves and the other threshed straw. The two wooden shuttered openings at first floor level on the west side are probably pitching doors (Plate 28). These would have eased loading the unprocessed crop into the building from a cart positioned outside (Barnwell and Giles 1997, 60). Therefore, it would seem probable that, initially at least, both parts of the barn either side of the threshing floor was used for storing the unthreshed sheaves. It should be noted, however, that pitching doors are more characteristic of chaff houses, and such buildings are very similar to the barn, being tall but lacking a first floor and having a brick floor. Chaff houses were normally placed alongside stables as chaff was the main horse feed, used almost exclusively as fodder by the late 19th century (*ibid.*). It may be, therefore, that

the barn had a dual use as a threshing area and chaff house.

The 1840 tithe map depicts the barn at the core of several connected buildings (Fig. 3). It is possible that these included stables and perhaps an engine house, that would have housed a mechanical threshing or chaff chopping machine. However, there was no evident socket in any of the barn walls through which a drive shaft from an external engine would have passed.

In addition to the cartographic evidence, the barn itself embodies traces of attached structures. Scars of removed walls and roof lines on either side of the porch reveal that there were lean-to structures in these areas. The wall scars result from taking out of bricks and suggest that the removed structures were at least partially keyed in to the barn (Plates 11 and 15). A second roof line scar on the south side of the porch (Plate 16) indicates there have been two structures built against this part of the barn and removed at various times. Cartographic evidence establishes that these lean-to structures were removed by 1891 (Fig. 4).

Ventilation was provided to the barn by six window-like openings with chequerboard infills of brick with alternate holes. Only two of these ventilation openings fully survive, at the north end of the eastern elevation and in the north face. In the south elevation the chequerboard pattern of brick vents is still present but infilled with mortar, but the remaining three openings, in the eastern elevation, are all blocked and with the chequerboard vents removed.

In this general area of north Norfolk, chequerboard ventilation windows are not uncommon in agricultural buildings. Closely comparable examples have been observed in various field barns and other farm buildings between Fakenham and

Wells-next-the-Sea.

In addition to the ventilation windows, air passage was also provided by two breather slits high in the north and south gables. These both have widened, rounded openings at the base that may have functioned as owl holes.

A fallen timber within the building has carpenters' mark, which would suggest that the other timberwork in the roof is similarly marked.

Within, and on the exterior of the barn are sockets that probably housed timbers, since removed. None of the internal sockets have matching holes on opposite walls, and seem too far apart to be floor joists. As a consequence, their function is unclear but they do not seem to represent a removed 1st storey floor. There are also alcoves within the porch and above the cart doors, but these are of unclear function.

At the top of the south end of the west wall of the barn the brick is different to that in the walls below (Plates 7 and 26). It seems likely that this brick is a repair to the wall, rather than indicating a raising of the roof in this area. Additionally, the apex of each gable is in different brick to the rest of the walls. This appears to be an infill, perhaps of former ventilation holes. The brick in the two arches is also different from that used in most of the building. However, as the arch over the porch incorporates the datestone it seems probably that this was just use of a different brick for dressing, rather than a later replacement or rebuild of the arches.

At its western end, the south wall of the porch is on a foundation of flint cobble. It is unclear whether this material was the foundation for the entire building, or if it was from an earlier structure.

On the western face of the porch are two inscribed bricks and a dated keystone, all three marked 1790, apparently the construction date of the barn. The bricks are marked with initials, F.B. and R.B. It would seem probably that these different initials represent two members of the same family, though whether these were the brick makers or the owners/occupiers of the barn is unclear. However, the keystone is marked with the initial W (any other initials being obscured), which is most likely to indicate the owner/occupier. Therefore, the initials on the bricks probably signify the brick makers.

Another field barn, about 1.5km to the southeast, is extremely similar to the surveyed building and was probably built to the same plan (Plates 29 and 30). Similarly Listed Grade II, this second barn, to the southeast of Whey Curd Farmhouse, is also a three storey building with a central porch on one side. Constructed of red brick with a red pantile roof, this is on a brick plinth and has a plat-band dividing the exterior into two storeys, a central cart entrance with the doors running to eaves level, tumbled gables and honeycomb brick ventilation windows (DoE 1983, 66). Above the cart entrance is a segmental brick arched head incorporating a keystone dated 1803 and with the letter W evident. This barn was built for William Coke in the style of William Wyatt as part of Whey Curd Farm (DoE 1999). Due to the very close similarities in plan and style between the two barns, and their broad contemporaneity, it is probable that the initials on the keystone of the surveyed barn are 'WC', for William Coke (1752-1842), the 1st Earl of Leicester, who owned the land the barn is built on, and much other in the area.

7. DEVELOPMENT PROPOSALS

Proposals have been made for conversion

of the barn to residential purposes. These proposals are summarised below.

At the northern end will be a small cellar, 5m long by 1.3m deep with its sides 1m in from the walls. This cellar will be accessed from a central sub-circular dining hall.

West of the dining hall, but not separate from it, the present porch will function as a lounge/sitting room. South of the dining area will be a utility area with toilets and other facilities.

The lower part of the southern section of the west wall, and the lower part of the south porch wall will be removed and a single storey kitchen will be added as an extension on the west side.

Above the cellar at the north end of the barn will be a mezzanine floor with two *en suite* bedrooms. Stairs up from this will lead to a C-shaped walkway over the dining area. On the north and south sides of this walkway stairs rise to *en suite* bedrooms, two to the north and one on the south side.

Therefore, the main internal alterations to the barn resulting from the proposals will be the creation of a small cellar; removal of the lower parts of walls on the south of the porch and the southern part of the western barn wall; and the insertion of dividing walls, floors and services.

While the brick floor of the building will be disrupted by the cellar creation, this feature is considered to be of limited significance. Although a modern corrugated iron lean-to that obscures most of the walls will be removed for the kitchen extension, what is evident externally and internally suggests the walls are predominantly plain and do not incorporate any significant features, other than a small niche on the interior of the south porch wall. All the other internal

walls are plain where partition walls and floors will be inserted and, therefore, no significant features will be affected by this aspect of the proposed development.

In terms of external alterations, the ventilation windows will be opened up and glazed, though the size, shape and arches of the windows will be retained. Similarly, the panelled openings at first storey level on the east side will be glazed, though the shape and size of the openings will be maintained and they will be provided with planked covers comparable to the existing ones.

The large entries on either side of the building will be infilled with glazed doors and windows, that in the porch replacing the planked doors presently in place. However, the size and shape of the entries will be maintained and the arches over them will be preserved.

In the west wall of the barn, just below eaves level, sets of windows will be inserted, to north and south of the porch. Additionally, two narrow, tall glazed windows will be inserted half-way up the west wall, north of the porch. Finally, the roof will be repaired.

Therefore, the external alterations that may be deemed to affect features of significance are the substitution by glazing of the two surviving ventilation windows and the replacement of the porch doors by new doors and windows. However, it is considered that the porch doors are only of limited significance. The ventilator windows are of moderate significance in terms of the design and original use of the barn, though only two of the original six survive. It is, perhaps, not imperative that these are preserved.

The most significant features of the barn are probably the inscribed dated bricks and keystone in the porch and, if the extant

roof timbers correspond to the fallen beam, carpenters' marks on the woodwork. These features, however, will not be affected or removed by the proposed alterations but will be preserved. It is considered particularly important that the dated bricks and keystone are preserved.

8. CONCLUSIONS

Building assessment was undertaken at Water Hall Barn, Wighton, Norfolk in order to provide an evaluation of significance of the structure and its fixtures/fittings.

The assessment involved a survey of the barn and this has provided a record of the appearance and arrangement of the structure, together with a brief examination of the history and historical context of the building.

It would appear that the barn is a single phase structure with some repairs and alterations, and associations with other buildings since removed. Original features preserved within the building, which functioned as a threshing barn, include ventilation windows and breather slits, the datestone and inscribed bricks. These latter elements confirm the construction date as 1790 and the datestone suggests the barn was built for the Earl of Leicester. An inscribed fallen beam indicates the likelihood that the roof timbers have carpenters' marks. These various features are considered to have moderate local significance.

Alterations as part of the proposed conversion will largely affect plain walls and flooring and it is considered that these are of limited consequence and do not require preservation. The roof timbering is of moderate value but will not be affected by the conversion works.

Two ventilation windows survive and will be replaced by glazing. Although these are of moderate importance their preservation is not crucial. The most significant features in the barn are two inscribed bricks and a dated keystone. The development proposals indicate that these will not be compromised by the conversions, though it is viewed as fundamental to the history of the building that they are retained and preserved.

9. ACKNOWLEDGEMENTS

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10. PERSONNEL

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Analyst: Gary Taylor

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12. ABBREVIATIONS

APS Archaeological Project Services

DoE Department of the Environment

IFA Institute of Field Archaeologists

NLA Norfolk Landscape Archaeology

NRO Norfolk Record Office

RCHME Royal Commission on the Historical Monuments of England

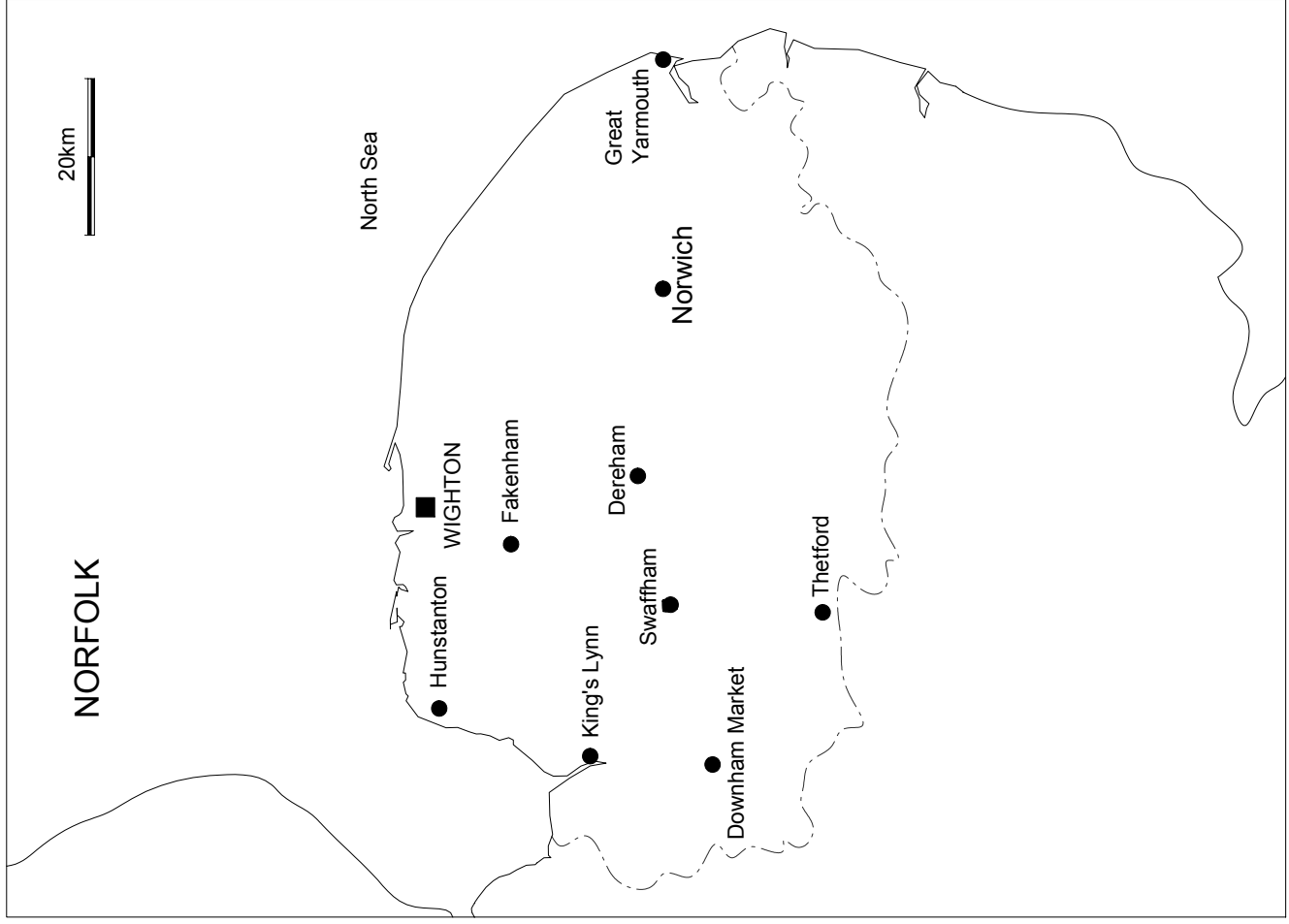
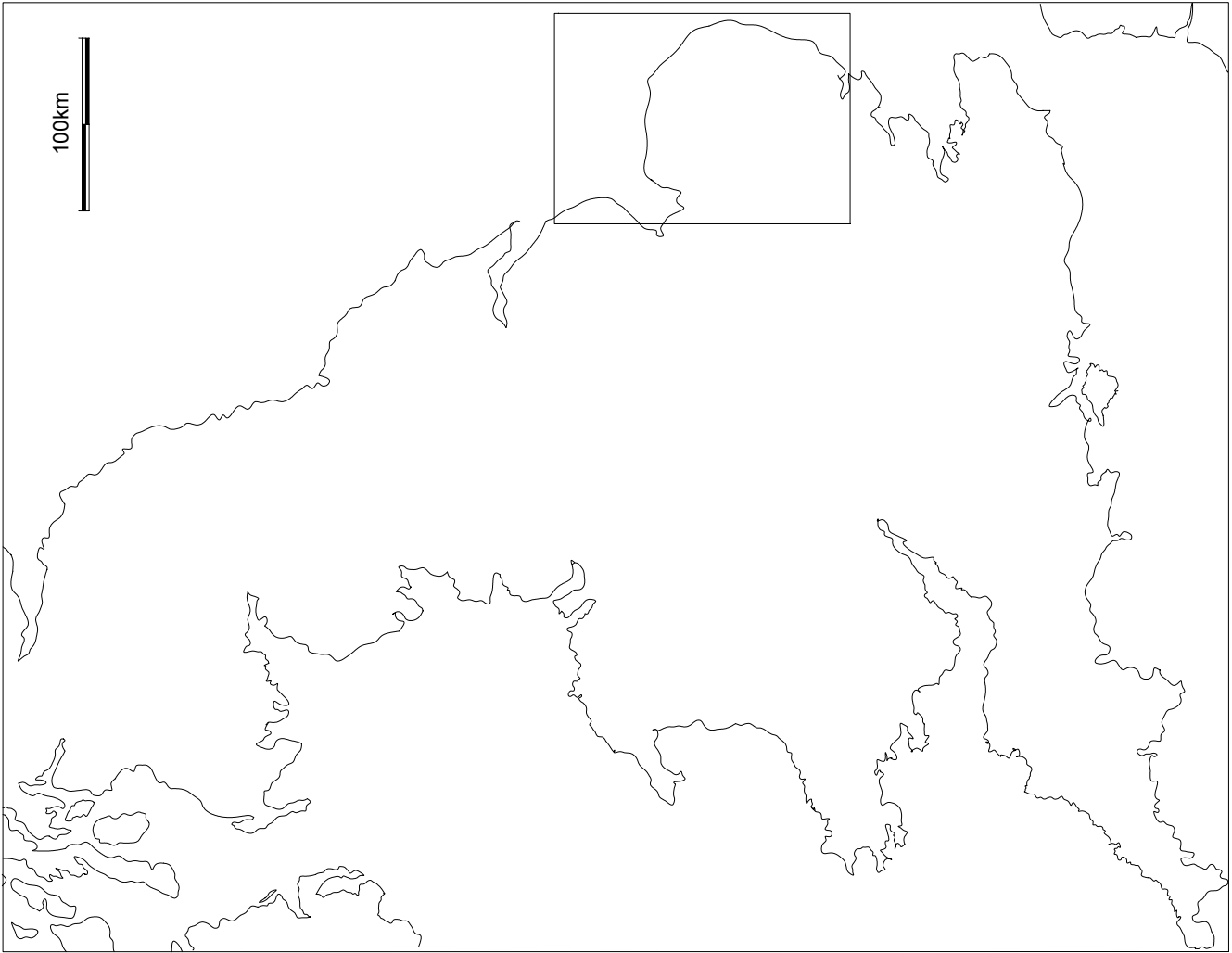
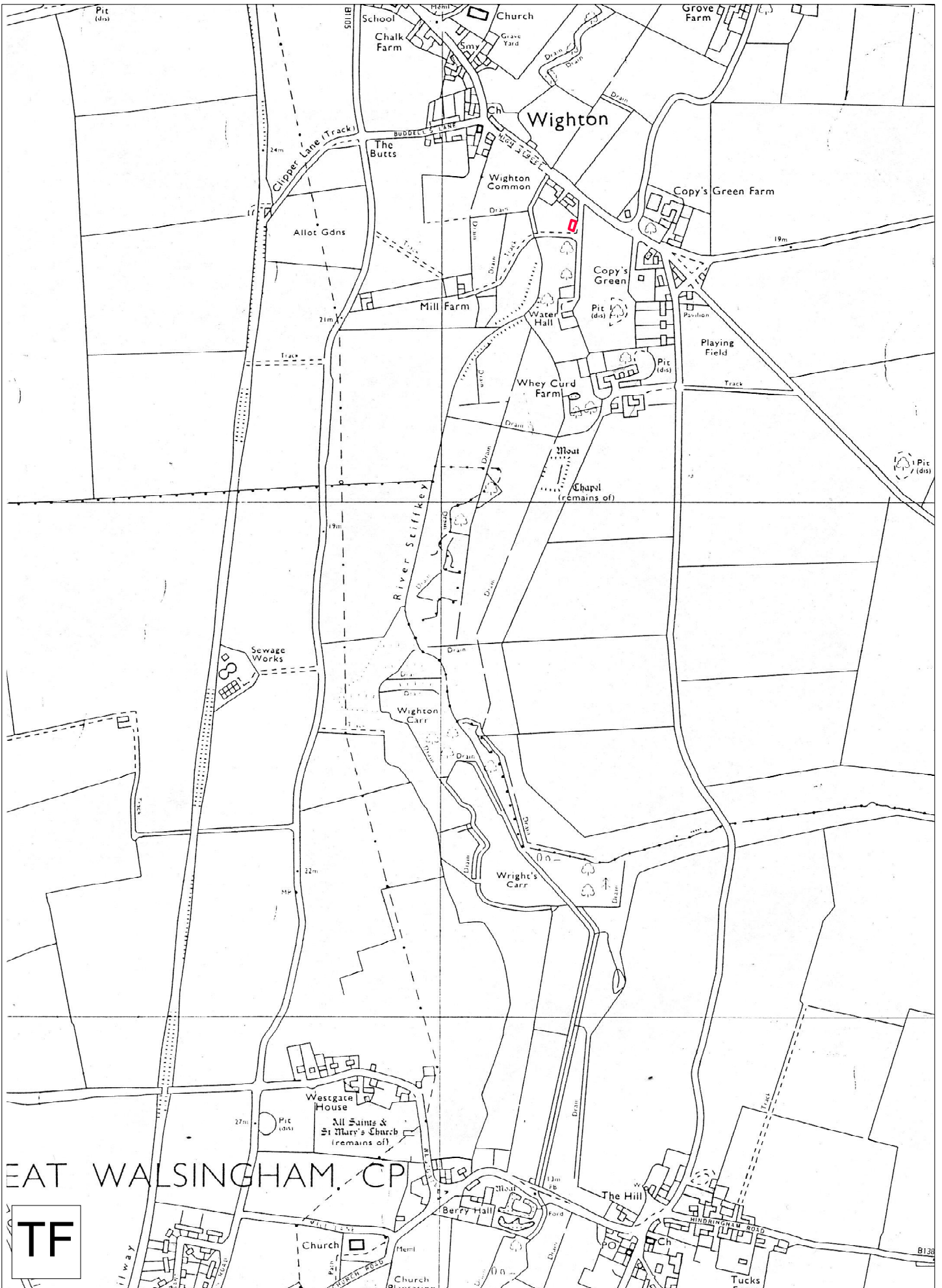


Figure 1 General Location Plan



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Figure 2 Site location plan

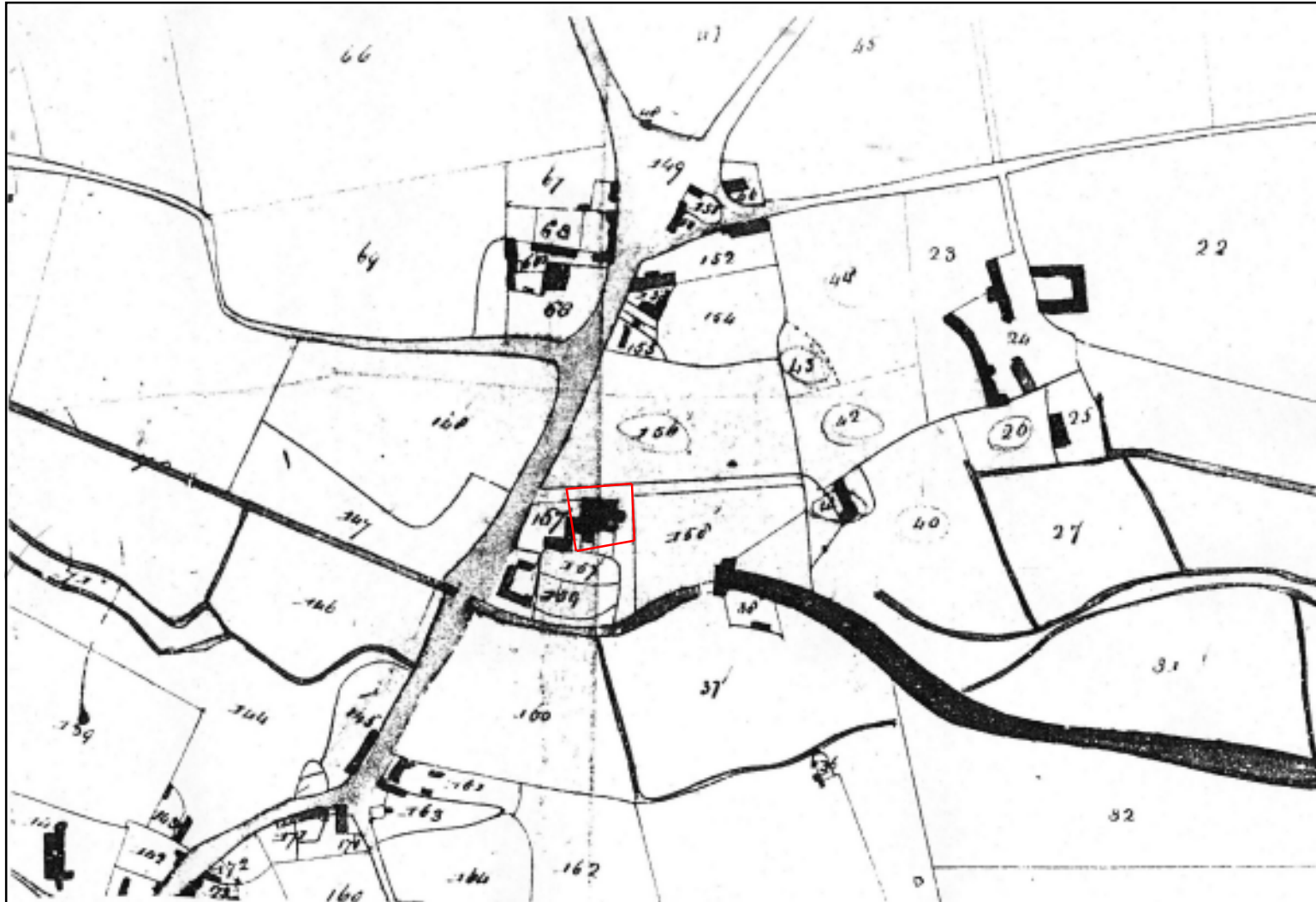


Figure 3 - Extract of 1840 Wighton Tithe Map, showing location of recorded building (north to left of plan)



Figure 4 - Extract from the 1st edition Ordnance Survey Plan, 1891, showing location of recorded building

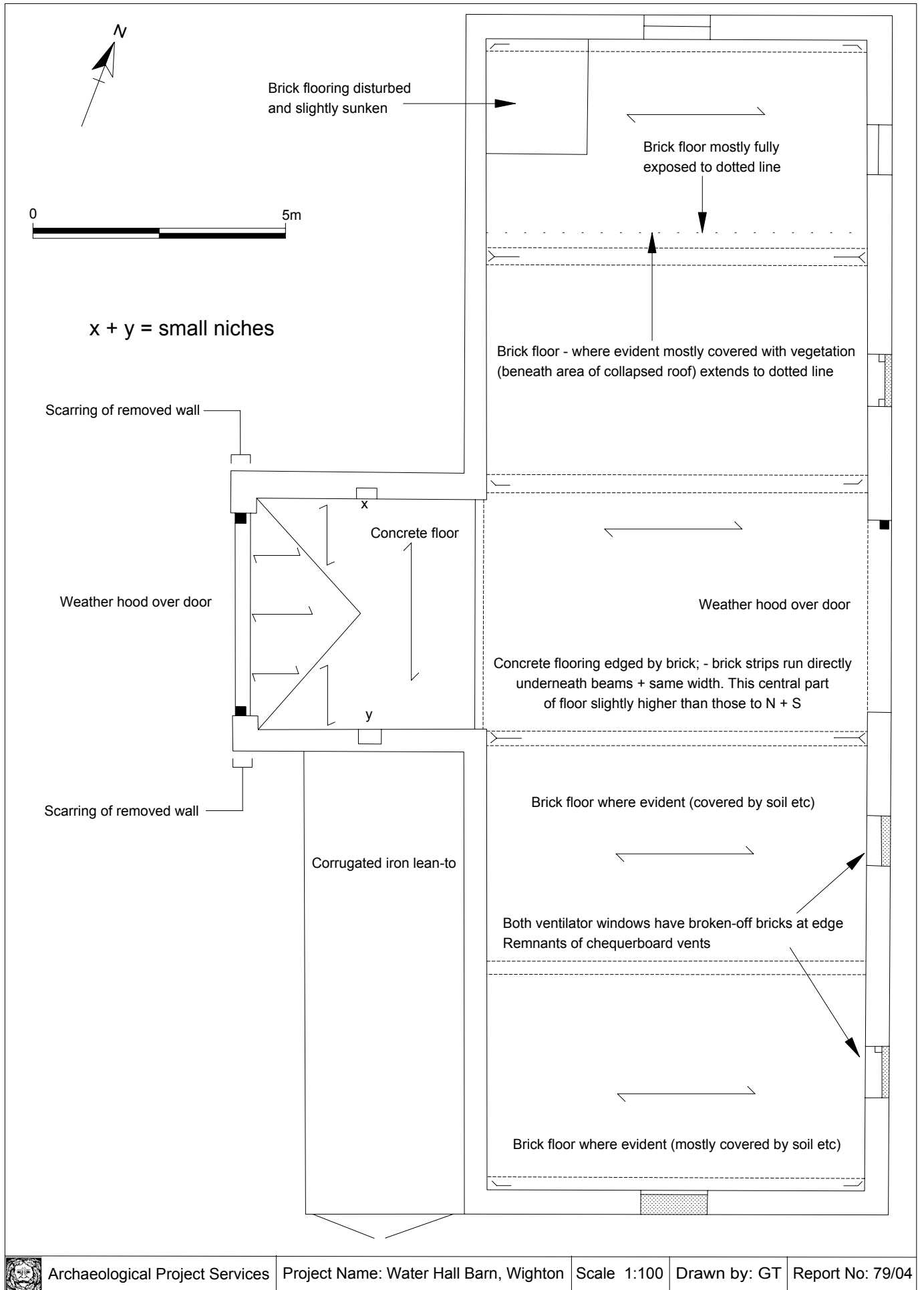


Figure 5 Plan of Water Hall Barn

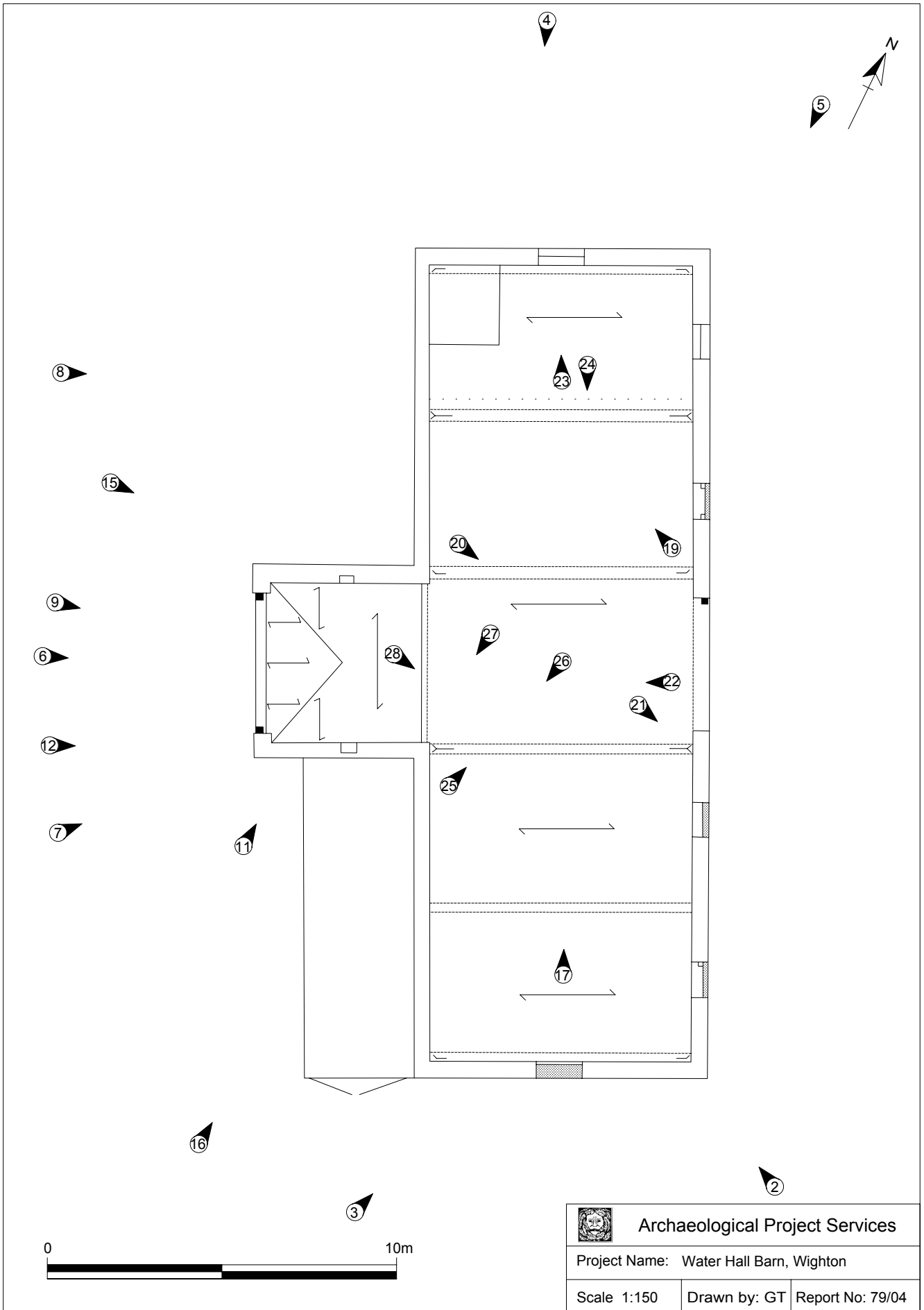


Figure 6 View points of plates



Plate 1 General View of Barn, from River Stiffkey, looking east



Plate 2 South and East Elevations of Barn, looking north



Plate 3 South Elevation, showing blocked ventilator window and breather slit, looking northeast



Plate 4 Northern Elevation, showing ventilator window, breather slit, plat-band and sockets, looking south



Plate 5 Eastern Elevation, looking southwest



Plate 6 Western Elevation, general view showing central porch, looking southeast



Plate 7 Western Elevation, south side, showing timber lacing and variation in brick, looking east



Plate 8 Western Elevation, north side, showing timber lacing, looking east



Plate 9 Western Elevation of Porch, showing arch, keystone and dentil eaves, looking east

Plate 10 Detail of Keystone





Plate 11 Porch, south side, showing flint cobble foundation and scar of removed wall, looking northeast



Plate 12 Porch, Western Elevation, showing positions of inscribed bricks, looking east



Plate 13 Porch, Lower Inscribed Brick, looking east



Plate 14 Porch, Upper Inscribed Brick, looking east



Plate 15 Porch, north side, showing scar of removed wall, looking southeast



Plate 16 Porch,
south side, showing
scars of roof lines,
looking northeast



Plate 17 Barn
Interior,
looking north



Plate 18 Fallen Timber,
showing wooden peg and
carpenters' mark



Plate 19 Brick Floor of northern bay, showing
damaged/recessed area at northeast corner,
looking northeast

Plate 20 Concrete
Floor and Brick
Edging, Central Bay,
looking southeast





Plate 21 Chamfered Beam,
detail, looking southeast



Plate 22 Interior of Porch,
looking west

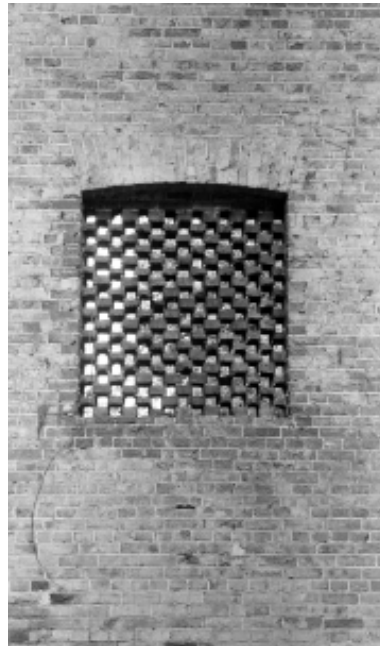


Plate 23 Ventilator
Window in North Wall,
interior, looking north



Plate 24 Barn Interior,
southern part, showing
blocked ventilator window,
looking south



Plate 25 Barn Interior, northern part of
east wall, showing alcove over entry,
looking northeast

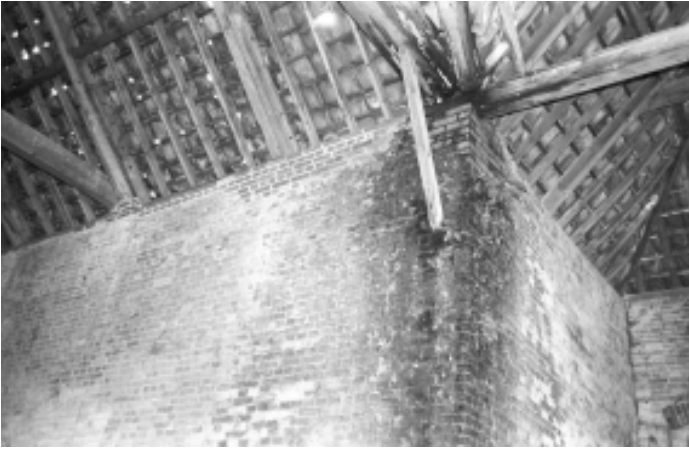


Plate 26 Barn Interior, junction of porch and southern part of east wall, showing variation in brick, looking southwest



Plate 27 Porch Interior, south wall, showing alcove, looking southwest



Plate 28 Barn Interior, southern part of east wall, showing blocked ventilator windows and pitching hole above, looking southeast



Plate 29 General View, Barn at Whey Curd Farm, showing porch, looking west



Plate 30 General View, Barn at Whey Curd Farm, showing cart doors and arch with dated keystone, looking southeast

Appendix 1



Norfolk Landscape Archaeology

**BRIEF FOR
HISTORIC BUILDING EVALUATION
AT**

**WATERHALL FARM
WIGHTON
NORFOLK**

PLANNING AUTHORITY: NORTH NORFOLK DC

PLANNING APPLICATION NO.: 2003 1591

NORFOLK HISTORIC
ENVIRONMENT RECORD NO.: To be Allocated

HER NO. FOR THIS PROJECT: To be Allocated

GRID REFERENCE: TF 9425 3953

MAP EXTRACT ATTACHED: Yes

DEVELOPMENT PROPOSAL: Conversion

ISSUED BY: Edwin Rose
Development Control Officer
Norfolk Landscape Archaeology
Union House, Gressenhall
Dereham, Norfolk NR20 4DR
Tel: 01362 869279
Fax: 01362 860951

DATE: 5 March 2004



If you would like this document in large print, audio, Braille, alternative format or in a different language please contact Edwin Rose on 01362 869279.

Summary

The development proposal affects a Listed post-medieval barn

Planning Permission has been or may be applied for and Norfolk Landscape Archaeology has requested that a decision on the proposals be deferred until an evaluation of the building has been carried out and the results considered.

Historic Building Recording Contractors are reminded that they should submit a copy of their Method Statement or Specification to Norfolk Landscape Archaeology (NLA) for approval, *before* costs are prepared for commissioning clients, in line with the Institute of Field Archaeologists' guidance.

1. Policy Background.

The relevant planning policies can be found in :-

Norfolk County Council's *Norfolk Structure Plan (October 1999)*, policy ENV 13.

North Norfolk District Council's *North Norfolk Local Plan Adopted Version (April 1998)*, policy 45.

and

The Department of the Environment's *Planning Policy Guidance 16, Archaeology and Planning* (November 1990)

and

The Department of the Environment's *Planning Policy Guidance 15, Planning and the Historic Environment* (September 1994).

2. Archaeological Background.

The proposal affects a Listed Building, a barn described as late 18th or early 19th century in date.

3. Planning Background.

Planning permission has been granted in principle for conversion to alternative use, subject to the effect upon the historic structure being

assessed. This Brief provides a Programme of Archaeological Work to that effect.

4. Requirement for Work.

The work will consist of:

An assessment of the date and importance of the building, with attention drawn to any features of especial interest;

An assessment of how the development proposal will affect the historic fabric;

An indication of any important features that especially deserve preservation or recording.

The Historic Building Contractor will prepare a Method Statement or Specification for the PoAW and submit this to NLA for approval *before* costs are prepared for the commissioning client. The PoAW will include, as appropriate, background research, building recording, assessment, analysis, preparation of report, publication and deposition of the project archive.

The archaeological research aims and objectives of the project will be clearly stated, and the Method Statement or Specification will demonstrate how these will be met. Appropriate reference will be made to the following documents:-

Glazebrook, J. (ed) 1997, *Research and Archaeology: a Framework for the Eastern Counties, 1. Resource assessment* (E. Anglian Archaeol. Occ. Pap. 3).

Brown, N. and Glazebrook, J. (eds), 2000, *Research and Archaeology: a Framework for the Eastern Counties, 2. Research agenda and strategy* (E. Anglian Archaeol. Occ. Pap. 8).

Norfolk Landscape Archaeology supports the pilot stage of the Online Access to the Index of Archaeological Investigations (OASIS) project. In order that a record is made of all archaeological events within the county occurring through the planning system the contractor is required to input details of this project online at the following internet address: ads.ahds.ac.uk/project/oasis.

5. Standards.

Method Statements or Specifications prepared by Historic Building Recording Contractors should state that all works will be carried out in full accordance with the *County Standards for Field Archaeology in Norfolk* (NLA 1998) unless otherwise stipulated. Where alternative approaches or techniques are proposed, these should not be employed without the prior written approval of NLA.

Method Statements or Specifications prepared by Archaeological Consultants or Contractors should state that all works will be carried out in full accordance with the appropriate sections of Gurney, D., 2003, '**Standards for Field Archaeology in the East of England**', as adopted by the Association of Local Government Archaeological Officers for the East of England Region and published as *East Anglian Archaeology Occasional Paper 14*. This is available as a PDF file on the web at www.eaareports.org.uk

Archaeological Contractors should note that the **Standards** document stipulates basic *methodological* standards. It is considered axiomatic that all contractors will strive to achieve the highest possible *qualitative* standards, with the application of the most advanced and appropriate techniques possible within a context of continuous improvement aimed at maximising the recovery of archaeological data and contributing to the development of a greater understanding of Norfolk's historic environment. Monitoring officers will seek and expect clear evidence of commitment to the historic resource of Norfolk, with specifications being drawn up within a context of added value.

6. Other matters

Contractors are reminded that they should submit a copy of their Method Statement or Specification to NLA for approval, *before* costs are prepared for commissioning clients, in line with the Institute of Field Archaeologists' guidance.

The Method Statement or Specification should indicate the number of person days allocated to the fieldwork stage of the project.

NLA will be responsible for monitoring progress and standards throughout the project. The contractor will give NLA not less than two week's written notice of the commencement of the work so that arrangements for monitoring the project can be made.

Any subsequent variation to a Detailed Project Specification or Method Statement must be agreed with NLA prior to its implementation.

This brief is valid for a period of one year from the date of issue. After that time, it may need to be revised to take account of new discoveries, changes in policy or the introduction of new working practices or techniques.

Three copies of the Report should be supplied to NLA for the attention of the Development Control Officer within eight weeks of the completion of the fieldwork on the understanding that this will become a public document after an appropriate period of time (generally not exceeding six months). Two copies will be deposited with the Norfolk Historic Environment Record, and the third will be forwarded to the Local Planning Authority

Details of archaeological contractors may be found in the Institute of Field Archaeologists Yearbook and Directory, available from IFA, University of Reading, 2 Earley Gate, P O Box 239 Reading RG6 6AU tel. 0118 931 6446 fax: 0118 931 6448 Email admin@archaeologists.net
Website: www.archaeologists.net

NLA does not see Contractors' costings nor do we give advice on the costs of archaeological projects. This is between you and the archaeological contractor(s). You may wish to obtain a number of quotations or to employ the services of an archaeological consultant.

NOTES FOR APPLICANTS/DEVELOPERS

NLA is responsible for safeguarding the County's archaeological heritage. NLA is consulted by Planning Authorities and provides advice on archaeological work that may be required as a result of development proposals. Early consultation is vital. You need to know as soon as possible if a development site is of archaeological interest. Contact NLA at the earliest opportunity.

An Archaeological Project will usually consist of one or more of the following:-

Desk-based assessment: a report drawing together existing information about a site from a wide range of sources.

Survey: usually fieldwalking and metal-detecting, sometimes non-intrusive geophysical surveys (e.g. magnetometer survey)

Evaluation: survey and/or trial-trenching or test-pitting, intended to be a low-key and low-cost assessment of a site.

Excavation: larger-scale excavation

Watching brief or monitoring: the presence of an archaeologist during the development to record any features exposed

Post-excavation: analysis, and the preparation of a report and archive of records and finds at the end of any archaeological project

A phased approach to fieldwork is frequently adopted, with one stage leading on to another (if necessary) after each phase is reported upon and reviewed.

If an evaluation is required or if Planning Permission is granted subject to a condition for a programme of archaeological work, NLA will provide a **Brief** for the archaeological project. This outline of the project is forwarded to you by NLA or the Planning Authority.

You should then ask one or more Archaeological Contractors to prepare a **Method Statement** or **Specification** which will detail how the project is to be undertaken, and how the brief will be fulfilled. This will be sent to NLA for approval on behalf of the Planning Authority, after which the Contractor will give you details of costs.

NLA does not see Contractors' costings, nor do we give advice on the costs of archaeological projects. This is between you and the archaeological contractor(s). You may wish to obtain a number of quotations or to employ the services of an archaeological consultant.

For further information or advice contact:

Norfolk Landscape Archaeology
Union House, Gressenhall, Dereham, Norfolk NR20 4DR
Tel: 01362 861187 Fax: 01362 860951

Appendix 2

**WATERHALL FARM,
WIGHTON,
NORFOLK**

**SPECIFICATION FOR
BUILDING ASSESSMENT**

**PREPARED FOR
IAN J M CABLE ARCHITECTURAL DESIGN**

**BY
ARCHAEOLOGICAL PROJECT SERVICES
Institute of Field Archaeologists'
Registered Organisation No. 21**

APRIL 2004

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SPECIFICATION FOR BUILDING ASSESSMENT AT WATERHALL FARM, WIGHTON

1 SUMMARY

- 1.1 *A programme of building assessment is required at a barn at Waterhall Farm, Wighton, Norfolk.*
- 1.2 *The barn is a Listed Building of late 18th-early 19th century date.*
- 1.3 *The building assessment will be undertaken prior to conversion of the structure. A basic record of the building and features of special significance will be prepared in writing, graphically and photographically. A brief programme of historic research will also be undertaken in order to determine the date, development and associations of the building. This will enable an informed assessment on the date and significance of the building and its features to be made.*
- 1.4 *On completion of the fieldwork a report will be prepared detailing the results of the investigation. The report will consist of a narrative supported by illustrations and photographs.*

2 INTRODUCTION

- 2.1 This document comprises a specification for historic building recording prior to conversion of a barn at Waterhall Farm, Wighton, Norfolk.
- 2.2 This document contains the following parts:
 - 2.2.1 Overview.
 - 2.2.2 Stages of work and methodologies.
 - 2.2.3 List of specialists.
 - 2.2.4 Programme of works and staffing structure of the project

3 SITE LOCATION

- 3.1 Wighton is situated 10km north of Fakenham in the North Norfolk district of Norfolk. Waterhall Farm is about 300m southeast of the church in the centre of the village, on the east bank of the River Stiffkey, at National Grid Reference TF 9425 3953.

4 PLANNING BACKGROUND

- 4.1 A planning application (2003 1591) was submitted to North Norfolk District Council for conversion of a barn to alternative use. Permission has been granted in principal subject to the effect on the historic structure being assessed.

5 ARCHAEOLOGICAL AND HISTORICAL BACKGROUND

- 5.1 The barn at Waterhall Farm is a Listed Building of late 18th or early 19th century date. It stands close to Bridge Yard, a pair of cottages of early 18th century date.

6 AIMS AND OBJECTIVES

- 6.1 The aims of the work will be to provide an assessment of the standing building site prior to redevelopment.
- 6.2 The objectives will be to prepare:

SPECIFICATION FOR BUILDING ASSESSMENT AT WATERHALL FARM, WIGHTON

- 6.2.1 an assessment of the date and importance of the building;
- 6.2.2 an assessment of the significance of any features of special interest;
- 6.2.3 an assessment of how the proposed development will affect the historic fabric.
- 6.2.4 an indication of any important features that especially deserve preservation or recording.

7 BUILDING ASSESSMENT

- 7.1 Building investigation will be undertaken prior to any conversions of the existing buildings. An assessment of the building, with particular attention to any features of especial interest, will be undertaken and will be similar to an RCHME (1996) Level 1 survey, with comments and assessment on the structure. Subject to accessibility and Health and Safety considerations, the record will include:
 - 7.2 Details of the precise location, status, description of the building's type, materials and possible date.
 - 7.3 A photographic survey showing the building in its context, exterior and interior views and details of features and fittings of historic interest.
 - 7.4 Plans (sketched or dimensioned) of all main floors incorporating details of the form and location of any structural features or fittings of historic interest.
 - 7.5 In addition, historic research will be undertaken to clarify the history of the building, its probable construction date, and associations.
 - 7.6 Post-medieval farms have been identified as a crucial but understudied part of the East Anglian landscape. Additionally, the built environment and its social aspect has been identified as a major historic resource with substantial research potential (Glazebrook 1997; Brown and Glazebrook 2000)

8 SITE OPERATIONS

- 8.1 General considerations
 - 8.1.1 All work will be undertaken following statutory Health and Safety requirements in operation at the time of the investigation.
 - 8.1.2 The work will be undertaken according to the relevant codes of practise issued by the Institute of Field Archaeologists (IFA), under the management of a Member of the institute (MIFA). Archaeological Project Services is IFA registered organisation no. 21.
 - 8.1.3 All work will be carried out in accordance with *Standards for Field Archaeology in the East of England, 2003* (Gurney 2003).
 - 8.1.4 The building recording would be undertaken by staff with experience of such examinations up to RCHME Level 3 standard.
 - 8.1.5 Any and all artefacts found during the investigation and thought to be 'treasure', as defined by the Treasure Act 1996, will be removed from site to a secure store and promptly reported to the appropriate coroner's office.

9 REPORTING

- 9.1 On completion of the fieldwork, a report detailing the results of the building assessment will be

SPECIFICATION FOR BUILDING ASSESSMENT AT WATERHALL FARM, WIGHTON

prepared. This will consist of:

- 9.1.1 A summary of the assessment results.
- 9.1.2 A description of the history and historical setting of the building, with reference to documentary and cartographic evidence.
- 9.1.3 A text describing the results of the building assessment.
- 9.1.4 Location plans of the site and building.
- 9.1.5 A plan of the building, showing the location of features of special interest.
- 9.1.6 An assessment of how the proposed development will affect the historic fabric.
- 9.1.7 An indication of any important features that especially deserve preservation or recording.
- 9.1.8 Appropriate photographs of the buildings and specific features.

10 REPORT DEPOSITION

- 10.1 Copies of the report will be sent to the client and Norfolk Landscape Archaeology (3 copies, 2 for Norfolk Historic Environment Record and the third for the Local Planning Authority).

11 ARCHIVE

- 11.1 The documentation, finds, photographs and other records and materials generated during the evaluation will be sorted and ordered in accordance with the procedures in the Society of Museum Archaeologists' document *Transfer of Archaeological Archives to Museums* (1994), and any additional local requirements, for long term storage and curation. This work will be undertaken by the Finds Supervisor, an Archaeological Assistant and the Conservator (if relevant). The archive will be deposited with the receiving museum as soon as possible after completion of the project, and within 12 months of that completion date.
- 11.2 The archive will be microfilmed. The silver master will be transferred to the RCHME and a diazo copy will be deposited with the Norfolk Sites and Monuments Record.
- 11.3 Prior to the project commencing, Norfolk Museums Service will be contacted to obtain their agreement to receipt of the project archive and to establish their requirements with regards to labelling, ordering, storage, conservation and organisation of the archive.

12 PUBLICATION

- 12.1 A report of the findings of the investigation will be presented to the editor of the journal *Norfolk Archaeology*. If appropriate, notes on the findings will be submitted to the appropriate national journal, *Post-medieval Archaeology*.
- 12.2 Details of the investigation will also be input to the Online Access to the Index of Archaeological Investigations (OASIS).

13 CURATORIAL RESPONSIBILITY

- 13.1 Curatorial responsibility for the archaeological work undertaken on the site lies with Norfolk Landscape Archaeology. They will be given written notice of the commencement of the project.

14 VARIATIONS AND CONTINGENCIES

- 14.1 Variations to the proposed scheme of works will only be made following written confirmation of acceptance from the archaeological curator.

SPECIFICATION FOR BUILDING ASSESSMENT AT WATERHALL FARM, WIGHTON

- 14.2 In the event of the discovery of any unexpected remains of archaeological/historical importance, or of any changed circumstances, it is the responsibility of the archaeological contractor to inform the archaeological curator.
- 14.3 Where important archaeological/historical remains are discovered and deemed to merit further investigation additional resources may be required to provide an appropriate level of investigation, recording and analysis.
- 14.4 Any contingency requirement for additional fieldwork or analysis outside the scope of the proposed scheme of works will only be activated following full consultation with the archaeological curator and the client.

15 PROGRAMME OF WORKS AND STAFFING LEVELS

- 15.1 The building assessment will be undertaken prior to the development and is expected to take 2 person days.
- 15.2 An archaeological supervisor and assistant with experience of building recording will undertake the work.
- 15.3 Analysis and report production will be undertaken by the archaeological supervisor, or a post-excavation analyst as appropriate, with assistance from an illustrator.

16 INSURANCES

- 16.1 Archaeological Project Services, as part of the Heritage Trust of Lincolnshire, maintains Employers Liability Insurance of £10,000,000, together with Public and Products Liability insurances, each with indemnity of £5,000,000. Copies of insurance documentation can be supplied on request.

17 COPYRIGHT

- 17.1 Archaeological Project Services shall retain full copyright of any commissioned reports under the Copyright, Designs and Patents Act 1988 with all rights reserved; excepting that it hereby provides an exclusive licence to the client for the use of such documents by the client in all matters directly relating to the project as described in the Project Specification.
- 17.2 Licence will also be given to the archaeological curators to use the documentary archive for educational, public and research purposes.
- 17.3 In the case of non-satisfactory settlement of account then copyright will remain fully and exclusively with Archaeological Project Services. In these circumstances it will be an infringement under the Copyright, Designs and Patents Act 1988 for the client to pass any report, partial report, or copy of same, to any third party. Reports submitted in good faith by Archaeological Project Services to any Planning Authority or archaeological curator will be removed from said planning Authority and/or archaeological curator. The Planning Authority and/or archaeological curator will be notified by Archaeological Project Services that the use of any such information previously supplied constitutes an infringement under the Copyright, Designs and Patents Act 1988 and may result in legal action.
- 17.4 The author of any report or specialist contribution to a report shall retain intellectual copyright of their work and may make use of their work for educational or research purposes or for further publication.

18 BIBLIOGRAPHY

Brown, N. and Glazebrook, J. (eds), 2000 *Research and Archaeology: A Framework for the Eastern Counties*, 2. *Research agenda and strategy*, East Anglian Archaeology Occasional Papers 8

SPECIFICATION FOR BUILDING ASSESSMENT AT WATERHALL FARM, WIGHTON

Glazebrook, J (ed), 1997 *Research and Archaeology: A Framework for the Eastern Counties, 1. resource assessment*, East Anglian Archaeology Occasional Papers 3

Gurney, D, 2003 *Standards for Field Archaeology in the East of England*, ALGAOEE

RCHME, 1996 *Recording Historic Buildings, A Descriptive Specification* (3rd ed)

Specification: Version 1, 26-04-04

Appendix 3

GLOSSARY

Advanced entry bay	A small cell or block that extends forward from the main front wall of a building and contains a doorway or other entrance.
Bay	Regular structural subdivision of a building; the bays may be marked by roof-trusses, beams etc.
Breather slit	Narrow vertical slit to provide ventilation.
Chaff House	Room for storage of animal fodder.
Dentilation	With dentils – small blocks forming a long, closely set, horizontal series under the cornice.
Gauged arch	Flat arch with a slightly cambered soffit (<i>q.v.</i>), often made of brick rubbers (<i>q.v.</i>).
Peg	Tree-nail (wooden pin) used to fix a joint.
Plat-band	Flat, square-face band with a projection less than its height.
Rubber	Soft brick that can be sawn and rubbed to the required shape, used for making gauged arches (<i>q.v.</i>).
Segmental heads/arches	Arch with its centre below the springing-line, thereby forming a very gentle arc compared to the width of the opening it spans.
Soffit	The underside of an arch, vault, or any exposed architectural element.
String course	Horizontal course or moulding projecting from the surface of a wall.
Tie beam	Main transverse beam in a roof truss connecting the feet of the principal rafter and preventing the spreading of the two sides of a sloping roof.
Tumbled gable	Gable in which bricks by the eaves are laid at 90 ⁰ to the slope of the roof line, forming a pattern of a sequence of triangles where these bricks taper into the horizontal courses.
Ventilator openings	Openings through a wall to provide ventilation. Usually formed by omitting bricks, and arranged in various patterns.

Appendix 4

THE ARCHIVE

The archive consists of:

- | | |
|---|--|
| 1 | Measured Drawing |
| 1 | Sheet of sketch drawings |
| 2 | Sheets of annotated architect's drawings |
| 2 | Sheets of rubbings |
| 5 | Daily Record Sheets (for 2 days) |
| 2 | Photographic record sheets |

All primary records are currently kept at:

Archaeological Project Services
The Old School
Cameron Street
Heckington
Sleaford
Lincolnshire
NG34 9RW

Responsibility for the ultimate destination of the project archive is held by:

Norfolk Landscape Archaeology
Norfolk Museums Service
Union House
Gressenhall
Dereham
Norfolk
NR20 4DR

The archive will be deposited in accordance with the document titled *County Standards for Field Archaeology in Norfolk*, produced by Norfolk Landscape Archaeology.

Norfolk Landscape Archaeology Site Code:

39775WGT

The discussion and comments provided in this report are based on the archaeology revealed during the site investigations. Other archaeological finds and features may exist on the development site but away from the areas exposed during the course of this fieldwork. *Archaeological Project Services* cannot confirm that those areas unexposed are free from archaeology nor that any archaeology present there is of a similar character to that revealed during the current investigation.

Archaeological Project Services shall retain full copyright of any commissioned reports under the *Copyright, Designs and Patents Act 1988* with all rights reserved; excepting that it hereby provides an exclusive licence to the client for the use of such documents by the client in all matters directly relating to the project as described in the Project Specification.