

Archaeological Services & Consultancy Ltd

HISTORIC BUILDING ASSESSMENT: CLARENDON ARMS CHANDLERS CROSS HERTFORDSHIRE

on behalf of Wakelin Associates (agents)



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MARCH 2007

ASC: 895/CCC/1

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CONTENTS

Summary.....	5
1. Introduction	5
2. Aims & Methods	8
3. Historical Background	9
4. Description	13
5. Conclusions	29
6. Acknowledgements	31
7. Archive	31
8. References	32

Appendices:

1. ASC Method Statement.....	33
2. EH Survey Guidelines	36
3. List of Photographs.....	39
4. OASIS Form.....	47
5. SMR Summary Sheet	49

Figures:

1. General location	4
2. Site plan.....	7
3. Extract from the Watford Tithe Map, 1842.....	11
4. Extract from the Second Edition Ordnance Survey 25" sheet, 1898.....	11
5. Extract from the Ordnance Survey 25" sheet, 1924	12
6. Extract from the Ordnance Survey 1:2,500 sheet, 1962.....	12
7. <i>Clarendon Arms</i> elevations	25
8. <i>Clarendon Arms</i> floor plans	26
9. <i>Clarendon Arms</i> sections.....	27
10. Coach House elevations, plans and sections	28
11. Suggested phase plan.....	30
12. Ground floor photo locations.....	40
13. First floor photo locations	41
14. External photo locations	41

Plates:

Cover: Clarendon Arms from east, general view

1. <i>Clarendon Arms</i> , east elevation.....	19
2. East elevation: porch over main entrance.....	20
3. East elevation: detail of canopy support.....	20
4. South elevation	20
5. North elevation	20
6. West elevation	20
7. C1, looking north.....	20
8. G1a, looking south-west.....	21
9. G1b, looking north-east.....	21
10. G1b, fireplace and chimney breast	21
11. G1c, looking north-east	21
12. G1b, bay window, looking east	21
13. G2, looking north.....	21
14. G3a & G3b, looking west.....	22
15. G4, looking north.....	22
16. G7, looking north-west.....	22
17. F1, looking south-west	22
18. F3, looking north-east.....	22
19. F4, looking south-west	22
20. F4, fireplace, looking west	23
21. F5, looking east	23
22. F6, looking north-west.....	23
23. F7, looking south-east	23
24. F7, fireplace, looking south	23
25. F8, looking north-east.....	23
26. Roof structure above F7, looking south	24
27. Roof structure above F6, looking south	24
28. Coach House, east elevation.....	24
29. Coach House, west and south elevations.....	24
30. Coach House, ground floor interior	24
31. The Bothy, south elevation.....	24

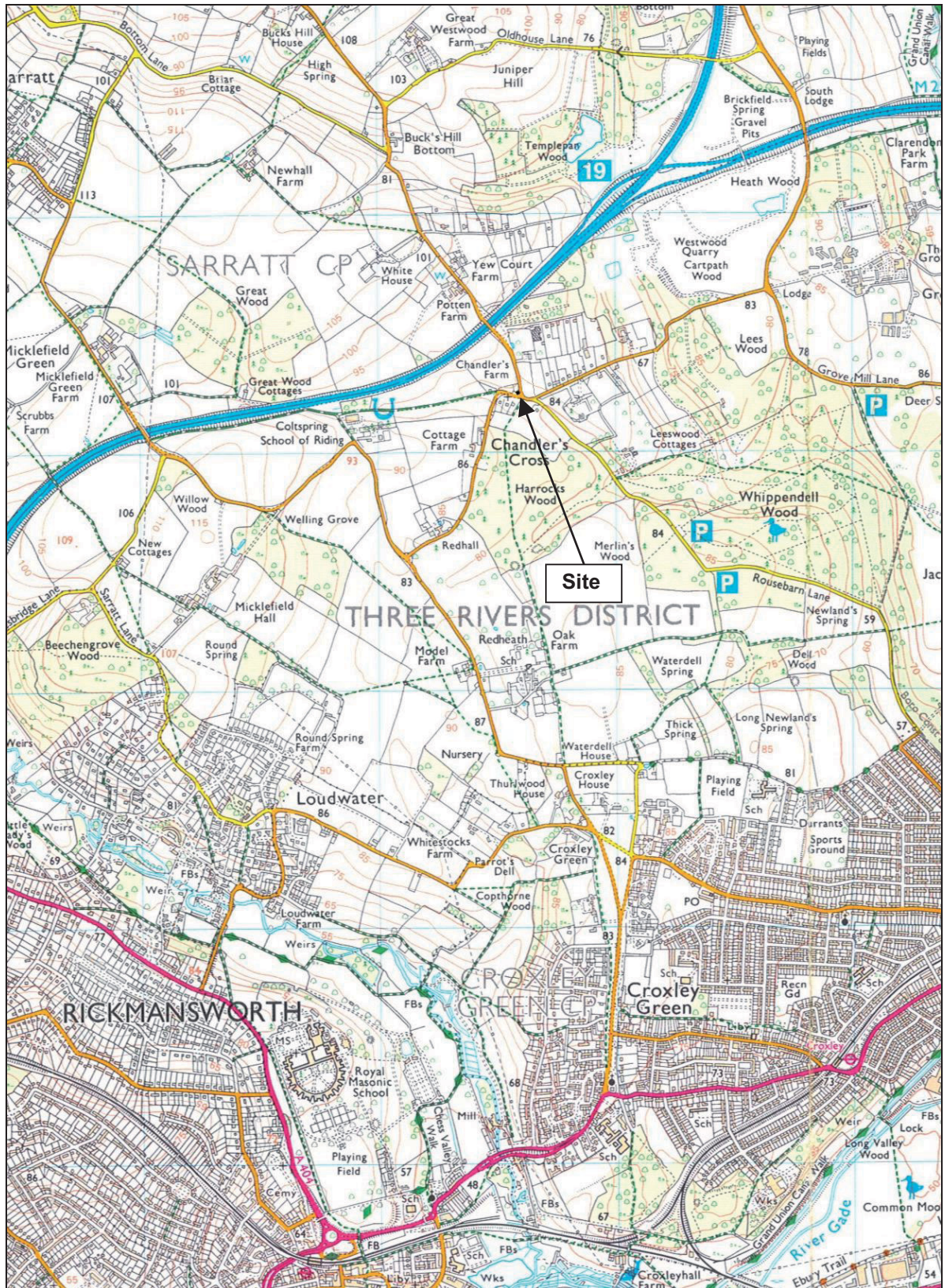


Figure 1: General location (scale 1:25,000)

Summary

In March 2007 an historic building assessment was undertaken of the Clarendon Arms, Chandlers Cross, to inform proposals for refurbishment. This public house was built in the first half of the 19th century by a local brewery, Clutterbuck's: the precise date remains uncertain. It was extended in the second half of the century, and two ranges of outbuildings were constructed to the west, including the present Coach House. In the early-mid 20th century two large slate-clad canopies were added to the east-facing frontage of the pub, to provide a covered drinking area. A second extension was added to the pub in c.1973, to provide a modern kitchen and toilet facilities. The latter had hitherto been located in the Coach House. In 1978 the two adjoining properties, known as Church Cottages, were purchased by the brewery and demolished, and the land was used to extend the pub car park. The small outbuilding, known as The Bothy, originally stood at the rear of one of those gardens. As a result of successive alterations and refurbishments, no features or fittings of any great age or significance were identified by the assessment.

1 Introduction

1.1 In March 2007 *Archaeological Services and Consultancy Ltd (ASC)* carried out an historic building assessment of the *Clarendon Arms* public house, Chandlers Cross, Hertfordshire. The project was commissioned by the client's agents, *Wakelin Associates*, and was carried out according to a standard method statement prepared by ASC (Appendix 1 & 2), to satisfy the requirements of the local planning authority (LPA), *Three Rivers District Council*.

1.2 *Planning Background*

This building assessment has been required under the terms of *Planning Policy Guidance Note 15 (PPG15)*, to inform proposals for the refurbishment of buildings on the site.

1.3 *Location*

The Clarendon Arms public house is situated in the hamlet of Chandlers Cross, in the civil parish of Sarratt, in the administrative district of Three Rivers, at National Grid Reference (NGR) TQ 0658 9824 (Fig. 1). It stands at the junction of Redhall Lane, Chandlers Lane and Rousebarn Lane.

1.4 *Description*

The site (Fig. 2) consists of a triangular area of about 0.2ha, largely occupied by an extensive car park. There are three buildings on the site: the pub itself, located at the south-east corner; a two-storey building known as the 'Coach House', in the centre of the south side, and a small building ('The Bothy') on the north side. The entrance to the car park is at the west end of the site, from Redhall Road. On the south side of the site, west of the Coach House, is a narrow strip of grass, formerly the site of Church Cottages.

1.5 *Geology & Topography*

The site lies at an elevation of *c.*77m AOD, on the north side of a valley that follows the course of Rousebarn Lane north-westward, turning to the west at the aforementioned road junction. The site rises from south to north by about three to four metres: both the pub and the Coach House are terraced into the slope.

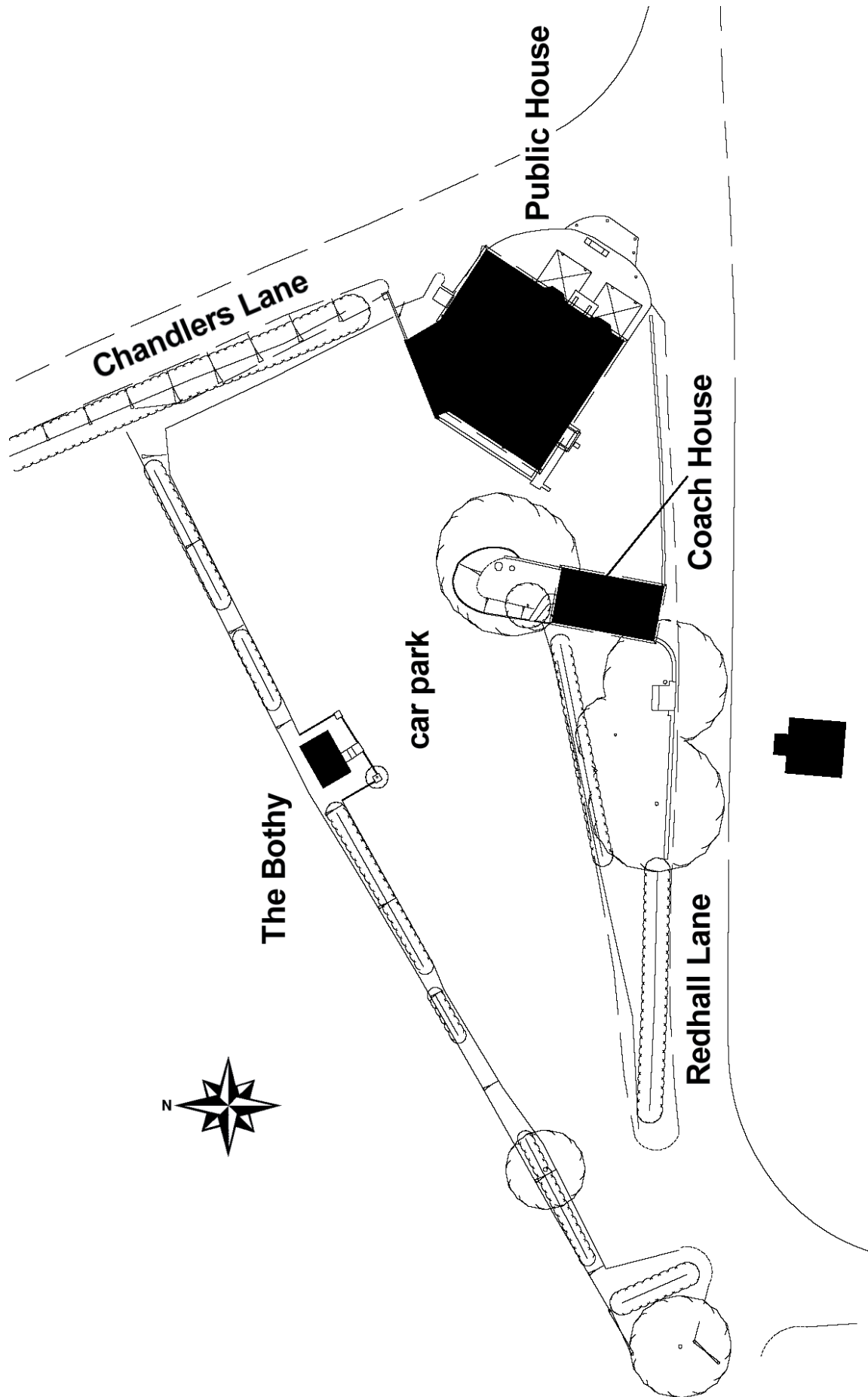


Figure 2: Site plan (scale 1:500)

2 Aims & Methods

2.1 Aims

As described in the method statement (Appendix 1), the aims of the building assessment were:

- To compile a basic record of the structure(s) concerned, prior to refurbishment, conversion or demolition
- To ascertain the structural history and development of the building, within its local context
- To provide sufficient information on the historic and architectural significance of the building to inform proposals relating to its refurbishment / conversion / development.

2.2 Standards

The work conforms to the method statement, to the relevant sections of the Institute of Archaeologists' *Code of Conduct* (IFA 2000) and *Standard & Guidance Notes* (IFA 2001), to current English Heritage Guidelines (EH 2006), to the Association of Local Government Archaeological Officers East of England Region *Standards for Field Archaeology in the East of England* (ALGAO 2003), and to the relevant sections of ASC's own *Operations Manual*.

2.3 Methods

The work was carried out according to the method statement, which describes:

- A programme of historical research, using all readily available sources (eg. Sites & Monuments Record, County Record Office, local libraries, planning records)
- A survey of the building, normally to EH Level 1 or 2 (see Appendix 2 for details).
- Preparation of an assessment report, based on the results of the above.

2.4 Constraints

There were no significant constraints to the assessment. Detailed drawings of the buildings in CAD format provided by the client's agents were used as a basis for the assessment.

3 Historical Background

3.1 This section was compiled from information held by the *Hertfordshire Archives & Local Studies Library* (HALS), ASC's own library, and information collected from a number of sources, including oral accounts, by the client. The primary sources for the latter are a Land Search conducted by the clients, and an oral account from Chris Bateman, whose family moved to the *Clarendon Arms* in 1956, and who was later landlord until 2004.

3.2 *Historical Evidence*

There seems to be some uncertainty regarding the date when the *Clarendon Arms* was built. According to information provided by the client, extant unregistered deeds for the property give its date as 1812. However, Jolliffe and Jones (1995) state that the public house was built in 1840. However, the two sources do agree that it was built by Clutterbuck's Brewery, based in Kings Langley. The owner, Peter Clutterbuck, lived in the nearby *White House*. The first licensee was Jeremiah Pope.

There appear to have been some changes in the name of the pub. In 1851, when the licensee was James Meagher, the name is recorded in the Post Office Directory for Hertfordshire as *Chandlers Cross public house*. In 1870, when the tenant was David Green, it was called the *Clutterbuck Arms*. The present name had been adopted by 1891 (Jolliffe & Jones 1995). It relates to The Hon. Thomas Villiers, created Earl of Clarendon in 1776, who lived at The Grove, 2km to the north-west.

According to Chris Bateman, the original public house comprised the eastern end of the present building, and the single-storey extension to the north. There was a single cellar (C1), with a sloping roof. He says that the central part of the present building was added in 1956. The client notes that the pub toilets were originally located in the ground floor of the Coach House, moving to their present location in 1973, when the westernmost part of the pub was constructed. In c.1978 the brewery (by now, Ind Coope) purchased the adjoining Church Cottages. These were demolished, and the land used to create the present car park (planning application 8/429/85). This application also covered the construction of a two-bedroom house incorporating increased cellarage beneath adjacent to the pub, but this was never acted upon.

3.3 *Cartographic Evidence*

The earliest available map showing the *Clarendon Arms* is the Watford Tithe Map of 1842 (HALS DSA4/111/2: Fig. 3). This shows the building in its original form, comprising the eastern end of the present building, and the single-storey extension to the north. At its south-west end is a much smaller rectangular structure. This is too close to the pub to be the Coach House. Apart from the pub and outbuilding, there are no other structures in the immediate vicinity.

The next maps to show the site in detail are the First and Second Edition 25" Ordnance Survey sheets of 1883 and 1894. Both give the same picture: the latter is reproduced here (Fig. 4). This clearly shows that the *Clarendon Arms* had been extended by this date, not 1956 as suggested above. The map also shows the Coach House, with an east-west range of outbuildings linking it to the pub. The outline of

the present covered yard is also present. To the west of the site, Church Cottages had been constructed, along with three outbuildings against the north boundary of their gardens. The middle one of these appears from its location and size to be *The Bothy*. It should also be noted that the site is named *Clarendon Arms* on both the First and Second Edition maps, indicating that this name was already in use in 1883.

The 1924 Ordnance Survey 25" sheet (Fig. 5) shows no significant change to the site. Perhaps more significant for the occupants of Chandlers Cross at this time was the establishment of the corrugated iron Mission Church on the south side of Redhall Lane, opposite the Coach House!

By 1962, Chandlers Cross had grown in size: the relevant 1:2,500 Ordnance Survey sheet (Fig. 6) shows a number of large detached houses in the vicinity of the *Clarendon Arms*. The main changes to the pub at this time are the demolition of the east-west range of outbuildings (presumably to accommodate increased parking) and, perhaps more significantly, the addition of the two slate-roofed canopies to the east elevation of the pub. In the garden to the rear, a large outbuilding has been constructed.



Figure 3: Extract from the Watford Tithe Map, 1842 (not to scale)

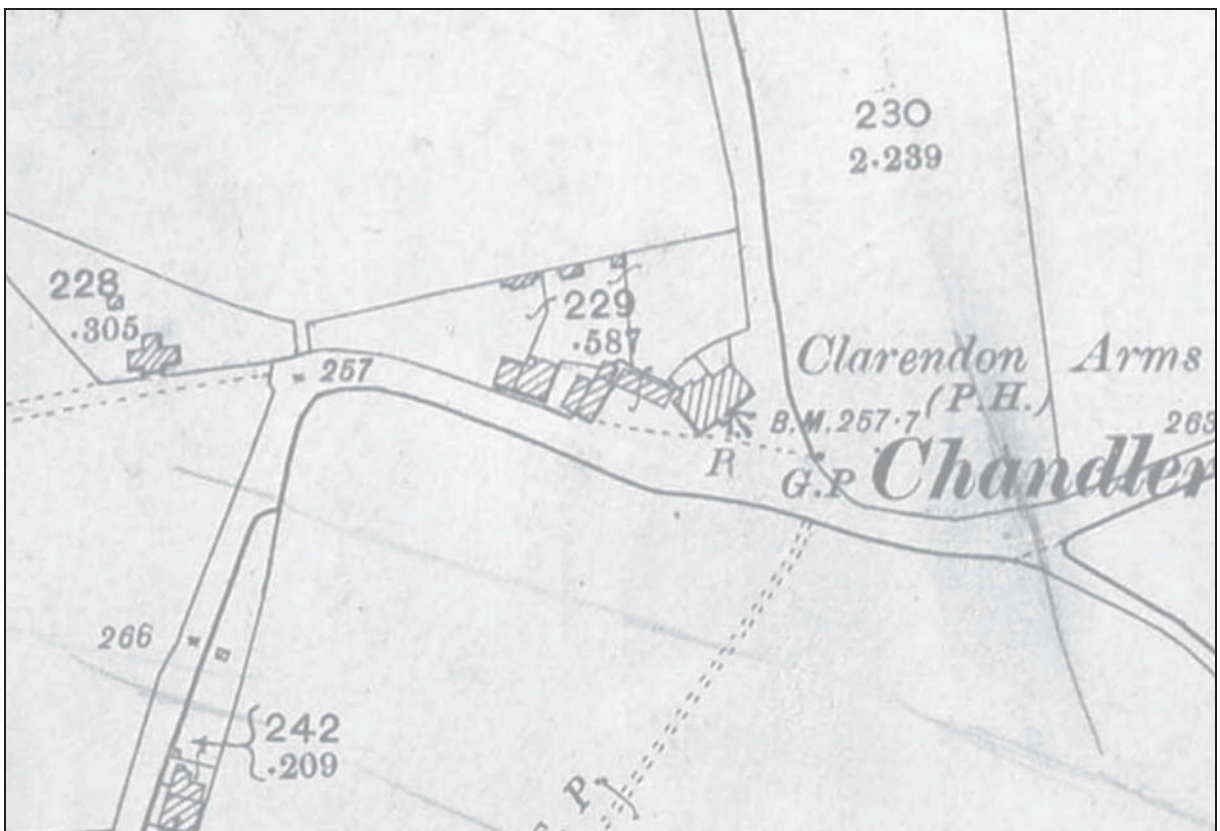


Figure 4: Extract from the Second Edition Ordnance Survey 25" sheet, 1898 (not to scale)

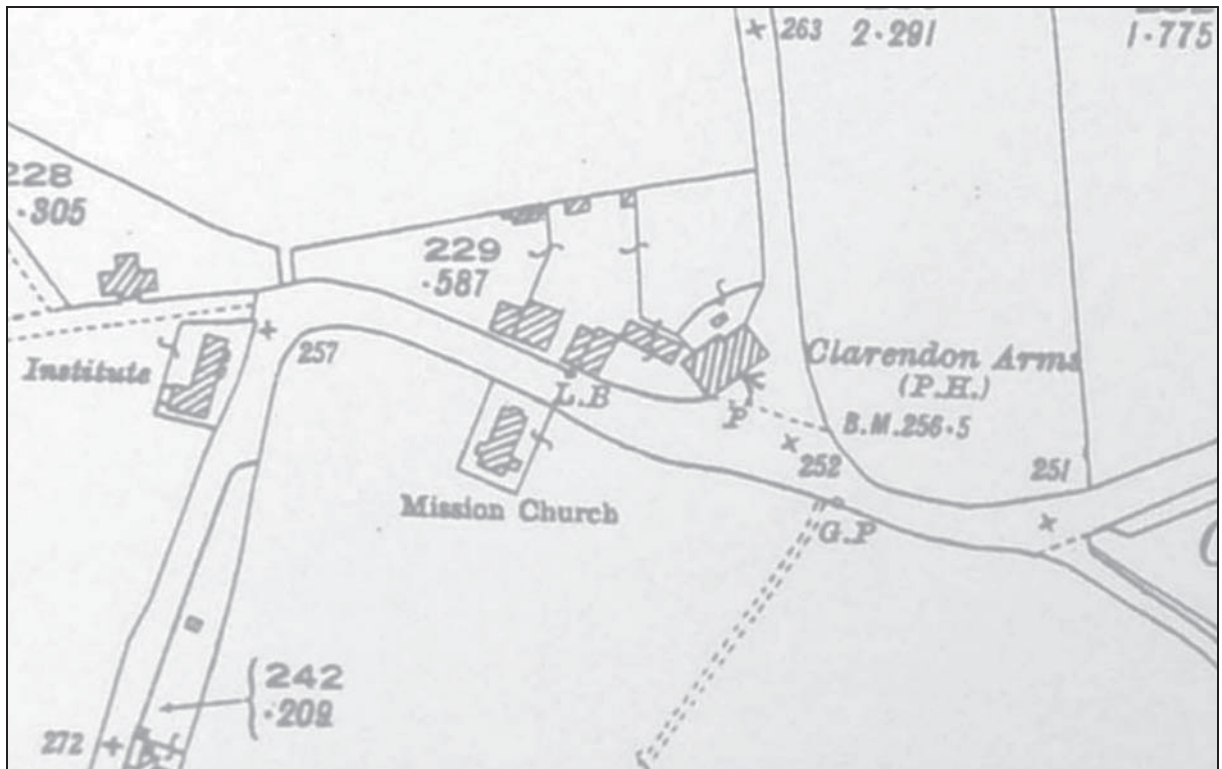


Figure 5: Extract from the Ordnance Survey 25" sheet, 1924 (*not to scale*)

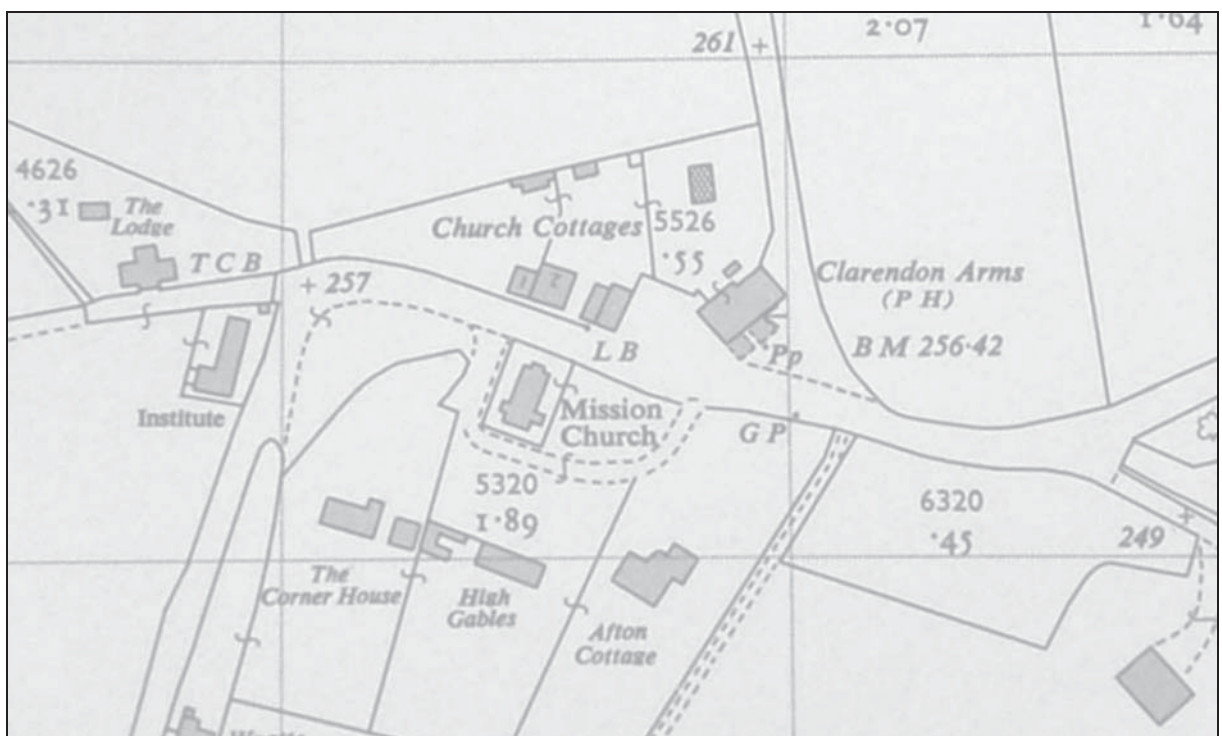


Figure 6: Extract from the Ordnance Survey 1:2,500 sheet, 1962 (*not to scale*)

4 Description

4.1 General

The buildings on the site are all constructed of brick, with slate roofs. Most of the brickwork on the public house and Coach House is covered with a heavy layer of white paint, so it was not possible to identify variations in brick types, or to take consistent measurements.

4.2 *The Clarendon Arms PH*

The *Clarendon Arms* itself is an L-shaped building, c.14.5m square. Its southern part comprises a two-storey structure 14.3 × 9.7m under a tripartite hipped gable roof. To the north of this projects a single storey structure, 7.5 × 5.0m, under a bipartite hipped gable roof. In the north-west corner, in the angle between the above structures, is a covered yard area. The building faces south-east, towards the adjacent road junction. The rear of the building is terraced into the slope.

4.2.1 *East Elevation* (Fig. 7, Plates 1-3)

The frontage of the two-storey section is symmetrical, comprising a central entrance door under a timber-framed, slated porch, flanked by three-sided single-storey bay windows, fitted with wooden sash frames. Extending forwards above the bays are two large slate-clad timber-framed canopies, forming a covered seating area in front of the building. At first-floor level above each bay is an 8-over-8 sash window. Brickwork is all Flemish Bond.

The frontage of the single-storey north elevation contains an entrance door and a fixed 20-light window.

4.2.2 *South Elevation* (Fig. 7, Plate 4)

The lower part of the south elevation has been rendered, to varying heights. The west bay has an entrance door under a felted porch, with an 8-over-8 sash window to the west and a smaller 8-over-8 sash window above. The central bay has a fixed 16-light window on the ground floor, and a similar-sized 4-over-12 toplight casement above. There are traces of a blocked window on the ground floor, east of the existing window. The east bay has no evidence for openings, past or present. Brickwork of the east and central bays is in Flemish Bond, changing to Stretcher Bond on the west bay, below the valley between the adjoining roofs.

4.2.3 *North Elevation* (Fig. 7, Plate 5)

This elevation, facing directly onto Chandlers Lane, is largely devoid of openings. There are 16-light casements at first-floor level in the central and west bays of the main part of the building, and double-width loading doors at ground level giving access to the covered yard. Brickwork is Flemish Bond, except on the west bay, where it changes to Stretcher Bond. The lower part of the north wall of the single-storey section is rendered.

4.2.4 *West Elevation* (Fig. 7, Plate 6)

The lower part of this elevation is largely obscured by terracing. At first-floor level there are three 16-light casements. The five windows on the ground floor are all small modern casement or fixed windows, related to the toilets and kitchen. Brickwork on this elevation is unpainted, and consists of reclaimed bricks laid in Stretcher Bond.

4.2.5 *Cellar* (Fig. 8)

Room C1 (Plate 7)

Size: 3.76 × 2.82m, height 2.15m

Location: North side, below G7.

Description: Lower cellar. Concrete floor, brick walls, painted black (lower), and white (upper). Ceiling is lower surface of concrete slabs supporting floor of G7 above. Barrel drop/chute to north, from trapdoor in Chandlers Lane. Steep concrete stairs to G3a and G7 in south-west corner: large square sump in south-east corner.

4.2.6 *Ground Floor* (Fig. 8)

Rooms G1a, b and c form a single open area containing the bar

Room G1a (Plates 8, 9)

Size: 4.95 × 3.55m, height 2.33m

Location: South side, between G1b and G4

Description: Bar area. Concrete floor (covering removed). Walls matchboarded and varnished/stained to full height, with torus skirtings. Entrance from lobby G4 to west. Door to kitchen G3a to north. Original north wall removed, replaced by RSJ. East wall pierced by opening to G1b, and reduced to form counter, with RSJ support above. Window to south. Bar terminates in north-east corner.

Room G1b (Plates 9, 10)

Size: 4.92 × 3.78m (exc. bay), height 2.36m

Location: South-east corner, between G1a and G1c.

Description: Bar area. Parquet floor. Lower part of walls matchboarded, with torus skirtings, upper part painted. Entrance from G1a to west, linked to G1c to north. Original north wall removed, replaced by RSJ. Modern stone-clad feature chimney breast to south, with small iron fire-basket. Bay window to east. Bar in north-west corner: hinged section provides access to serving area behind bar.

Between G1b and G1c is a small lobby, 1.25 × 1.02m, the remnant of the original entrance passage running westward from the front door. The floor is part boarded, apparently above the original cellar entrance.

Room G1c (Plates 11, 12)

Size: 4.40 × 3.80m (exc. bay), height 2.36m

Location: East side, between G1b, G2 and G3a

Description: Bar area. Concrete floor (covering removed). Lower part of walls matchboarded, with torus skirtings, upper part painted. Linked to G1b to

south, G2 to north. South wall largely removed and replaced by RSJ. Blocked doors to G3a and stairwell to west. Bay window to east. Bar runs north-south across room.

Room G2 (Plate 13)

Size: 4.27 × 3.60m, height 2.77m

Location: North-east corner, between G1c and G7

Description: Bar area ('snug' or saloon). Solid floor, carpeted, 0.25m above G1. Walls matchboarded to full height. Varnished/stained lower, painted upper. Linked to G1c to south by separate accesses from either side of bar. Window and external door to east, feature fireplace with brick surround and wood mantel to north. Difficult to examine in detail, as room filled with bar furniture.

Rooms G3a and b form a single open area containing the kitchen area

Room G3a (Plate 14)

Size: 3.64 × 2.85m, height 2.27m

Location: Centre, between G1a, G1c, G3b and G7

Description: Kitchen (cooking/serving area). Composition floor, walls tiled white throughout. Hardboard ceiling. Original west wall replaced by RSJ, linking G3a and G3b. Doors to north (C1, G7) and south (stairwell and G1a), blocked door to east (G1c). No windows. Cookers to north, preparation/serving area to south.

Room G3b (Plate 14)

Size: 4.25 × 2.86m, height 2.30m

Location: North-west corner, between G3a, G4 and G6

Description: Kitchen (preparation/scullery area). Composition floor, walls tiled white throughout. Plasterboard ceiling. Original east wall replaced by RSJ, linking G3a and G3b. Door to north (covered yard), pantry to south. Barred casement window to north, two small 1-over-1 casements to west. Sinks to north and west, preparation area to south.

Room G4 (Plate 15)

Size: 4.23 × 1.49m, height 2.14m

Location: South, between G1a and G5/G6

Description: Entrance lobby. Solid floor, carpeted. Walls papered, plain modern skirtings. Entrance to G1a to east, external door with flanking glazed panels to south, doors to G5 and G6 to west, door to former corridor (latterly a cupboard) to north.

Room G5

Size: 2.65 × 2.46m, height 2.14m

Location: South-west corner, between G4 and G6

Description: Gents' toilets. Composition floor, fully tiled walls. Double entrance door to east, small windows to west. WC, urinals, hand basin. Not recorded in detail.

Room G6

Size: 3.50 × 2.65m, height 2.14m

Location: West, between G3b and G5

Description: Ladies' toilets. Composition floor, fully tiled walls. Double entrance door to east, small window to west. 2 x WC, hand basins. Not recorded in detail.

Room G7 (Plate 16)

Size: 3.80 × 3.12m, height 2.14m

Location: North, between G2 and G3a. Above lower cellar

Description: Upper cellar. Concrete floor, about 1m higher than general ground floor level, approached by steep concrete stair from G3a to south. Brick walls, painted black (lower), and white (upper), partly lined with board. Double doors and ramp to covered yard to west.

4.2.7 *First Floor* (Fig. 8)

Room F1 (Plate 17)

Size: 4.28 × 3.78m, height 2.33m

Location: South-west corner, between F2 and F4

Description: Bedroom. Chipboard floor, walls papered and painted, modern chamfered skirtings and architrave, with modern flush panelled door. Plasterboard ceiling. Door to north (F5), windows to west (16-light casement) and south (8-over-8 sash). Hand basin in north-west corner.

Room F2

Size: 3.22 × 2.19m, height 2.31m

Location: West, between F1, F3 and F5

Description: Bathroom. Modern tiled floor and walls. Architrave and door as F1. Door to east (F5). Window to west (8-over-8 sash). Built-in cupboard in north-west corner. Modern bathroom fittings.

Room F3 (Plate 18)

Size: 4.25 × 2.90m, height 2.33m

Location: North-west corner, between F2 and F6

Description: Bedroom. Chipboard floor, walls papered and painted, modern chamfered skirtings and architrave, with modern flush panelled door. Plasterboard ceiling. Door to south (F5), windows to west (16-light casement) and north (16-light casement). Hand basin in north-east corner.

Room F4 (Plates 19, 20)

Size: 3.80 × 3.67m, height 2.25m

Location: South side, between F1, F5 and F7

Description: Bedroom. Floor boarded, north-south, c.200mm wide boards. Walls papered and painted, with plain skirtings and a plain dado rail. Doors and architrave as for F1. Two doors to north (F5), window to south (4-over-12 toplight casement). Chimney breast to west, with small arched cast-iron fireback in plain surround. Ceiling is lath & plaster, with added 3-by-3 lattice of planed timber beams, set into walls. Possibly intended to support sagging ceiling, rather than just a decorative feature.

Room F5 (Plates 21)

Size: 6.2 × 2.1m (max), height 2.19m

Location: Centre, between all other first floor rooms

Description: Stairwell and landing. Enclosed staircase c.0.8m wide, 11 steps, turns through 90° at top. Modern rails and banisters, with twisted wrought iron spindles. Landing boarded, as F4. Walls papered and painted, ceiling lath & plaster. Small ceiling hatch at west end (access to tanks). Cupboard at east end, with 3-plank door.

Room F6 (Plate 22)

Size: 3.71 × 2.87m, height 2.25m

Location: North, between F3, F5 and F8

Description: Bathroom. Floor boarded, as F4. Walls tiled to differing heights: walls papered and painted above tiling. Door to south (F5); modern flush-panelled door in moulded narrow architrave. 16-light casement to north. Alcove in west wall is blocked window. Ceiling lath & plaster. Modern bathroom fittings.

Room F7 (Plates 23, 24)

Size: 4.62 × 3.59m, height 2.27m

Location: South-east corner, between F4 and F8

Description: Office. Floor boarded north-south. Plain skirtings: moulded architrave as in F6, with flush panelled modern door to north (F5). Window to east (8-over-8 sash). Chimney breast centrally located in south wall, with small arched cast-iron fireback in plain surround, as in F4 but without mantelpiece. Modern built-in cupboards with louver doors either side of chimney breast. Ceiling lath & plaster.

Room F8 (Plate 25)

Size: 4.61 × 3.95m, height 2.25m

Location: North-east corner, between F6 and F7

Description: Office/store. Floor boarded north-south. Plain skirtings: moulded architrave as in F6, with flush panelled modern door to south (F5). Window to east (8-over-8 sash). Chimney breast located in north wall, towards north-east corner. Fireplace removed and boarded over. Cupboard in south-east corner, adjacent to that in east end of F5. Second built-in cupboard in north-west corner is modern. Ceiling lath & plaster, papered and painted.

4.2.8 *Roof* (Plates 26, 27)

It was possible to examine only the roofs over the main part of the building, through the hatch in F5, and holes made for that purpose by the client's structural engineer. As previously noted, this roof is in three sections, above F1-F3, F4-F6, and F&-F8 respectively. The arrangement of roof timbers is similar in all three, with rafters running from the eaves to ridge boards, the junctions of which are supported by substantial vertical posts rising from the ceiling joists. All are constructed of sawn timber. The timbers in the F1-F3 roof are evidently newer than those elsewhere, and the roof is felted under the slates. The F4-F6 roof appears older, and is fully boarded, probably as

originally constructed. The F7-F8 roof timbers also appear to be older, but this roof has evidently been re-slatted, with modern felt beneath the slates. Externally, it was not possible to discern any differences between the three roofs.

4.3 *The Coach House*

While the public house itself was the focus of the assessment, a basic record was also compiled of the Coach House, as it forms an integral part of this group of buildings. It is constructed similarly to the public house, having brick walls (Flemish Bond) under a slated hipped gable roof.

4.3.1 *East Elevation* (Fig. 10, Plate 28)

The front of the building, this elevation contains both entrances to the ground floor, and most of the windows. Commencing at the south-east corner, there is a set of double doors beneath a shallow brick arch, apparently an original feature. To the north of this, a modern casement window has been inserted, replacing an earlier opening, the arched lintel of which survives. Moving north again, a second single-width door under a curved brick lintel provides access to the northern room. This door could be original: the external paint finish obscures detail. Above the door, a modern diamond-leaded casement has been inserted. North of the door, the brickwork is obviously reconstructed, laid mostly in Stretcher Bond. A substantial concrete lintel has been inserted on a level with the top of the doors, though for what purpose is uncertain. A modern small casement window has been inserted in this reconstructed section of wall.

4.3.2 *South Elevation* (Fig. 10, Plate 29)

This elevation, which faces the road, appears to be of one build. A modern aluminium-framed window has been inserted at first-floor level. Below this, close to the west and east corners, are two circular tie-plates.

4.3.3 *West Elevation* (Fig. 10)

This elevation, the only one remaining unpainted, is comprised of plain brickwork, pierced only by a blocked opening, presumably a window, at ground level.

4.3.4 *North Elevation* (Fig. 10)

Only the upper part of this elevation, containing the modern door giving access to the upper floor, is visible.

4.3.5 *Ground Floor* (Fig. 10, Plate 30)

The ground floor is divided into two spaces, each accessed by a door to the east. The south room occupies about one third of the floor space, with double doors and no windows. The floor is concrete, and the walls have been roughly clad with hardboard. It was most recently used as a store. The northern room is subdivided by a brick partition. The floor is concrete, and the walls are

white-painted brick. Its most recent use was as a store. It formerly housed the gents toilets, until the present in-house facilities were constructed.

4.3.6 *First Floor* (Fig. 10)

This floor was not examined. It is currently used as an office, and is divided into two rooms. The north room is entered from the car park to the north, and has an eastward-facing 3-light casement. The south room has a south-facing wide 4-light toplight casement window.

4.4 *The Bothy* (Plate 31)

Situated on the north side of the car park, this small single-storey structure (c.4.0 × 2.8m) is constructed of buff brick, laid in Flemish Bond, under a slate roof incorporating some elaborate ceramic ridge tiles. Internally it consists of a single room, with entrance door and window to the south, and a fireplace at the east end. It has most recently been used as a store shed: its name (*bothy* is a Scots name for a shepherd's hut) almost certainly owes more to local folklore than to identifying its function.



Plate 1: *Clarendon Arms*, east elevation



Plate 2: East elevation: porch over main entrance



Plate 3: East elevation: detail of canopy support



Plate 4: South elevation



Plate 5: North elevation



Plate 6: West elevation



Plate 7: C1, looking north



Plate 8: G1a, looking south-west



Plate 9: G1b, looking north-east



Plate 10: G1b, fireplace and chimney breast



Plate 11: G1c, looking north-east



Plate 12: G1b, bay window, looking east



Plate 13: G2, looking north



Plate 14: G3a & G3b, looking west



Plate 15: G4, looking north



Plate 16: G7, looking north-west



Plate 17: F1, looking south-west



Plate 18: F3, looking north-east



Plate 19: F4, looking south-west



Plate 20: F4, fireplace, looking west



Plate 21: F5, looking east



Plate 22: F6, looking north-west. Note blocked window to left



Plate 23: F7, looking south-east



Plate 24: F7, fireplace, looking south



Plate 25: F8, looking north-east



Plate 26: Roof structure above F7, looking south



Plate 27: Roof structure above F6, looking south



Plate 28: Coach House, east elevation



Plate 29: Coach House, west and south elevations



Plate 30: Coach House, ground floor interior



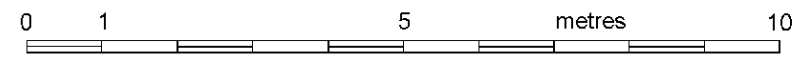
Plate 30: The Bothy, south elevation



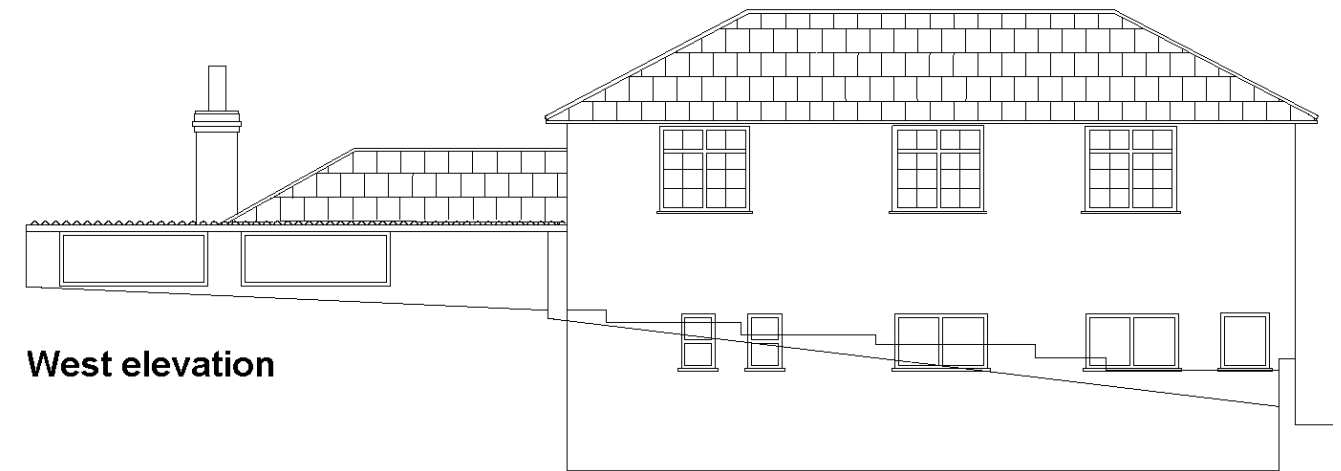
East elevation



South elevation



North elevation



West elevation

Figure 7: Clarendon Arms elevations (scale 1:100)

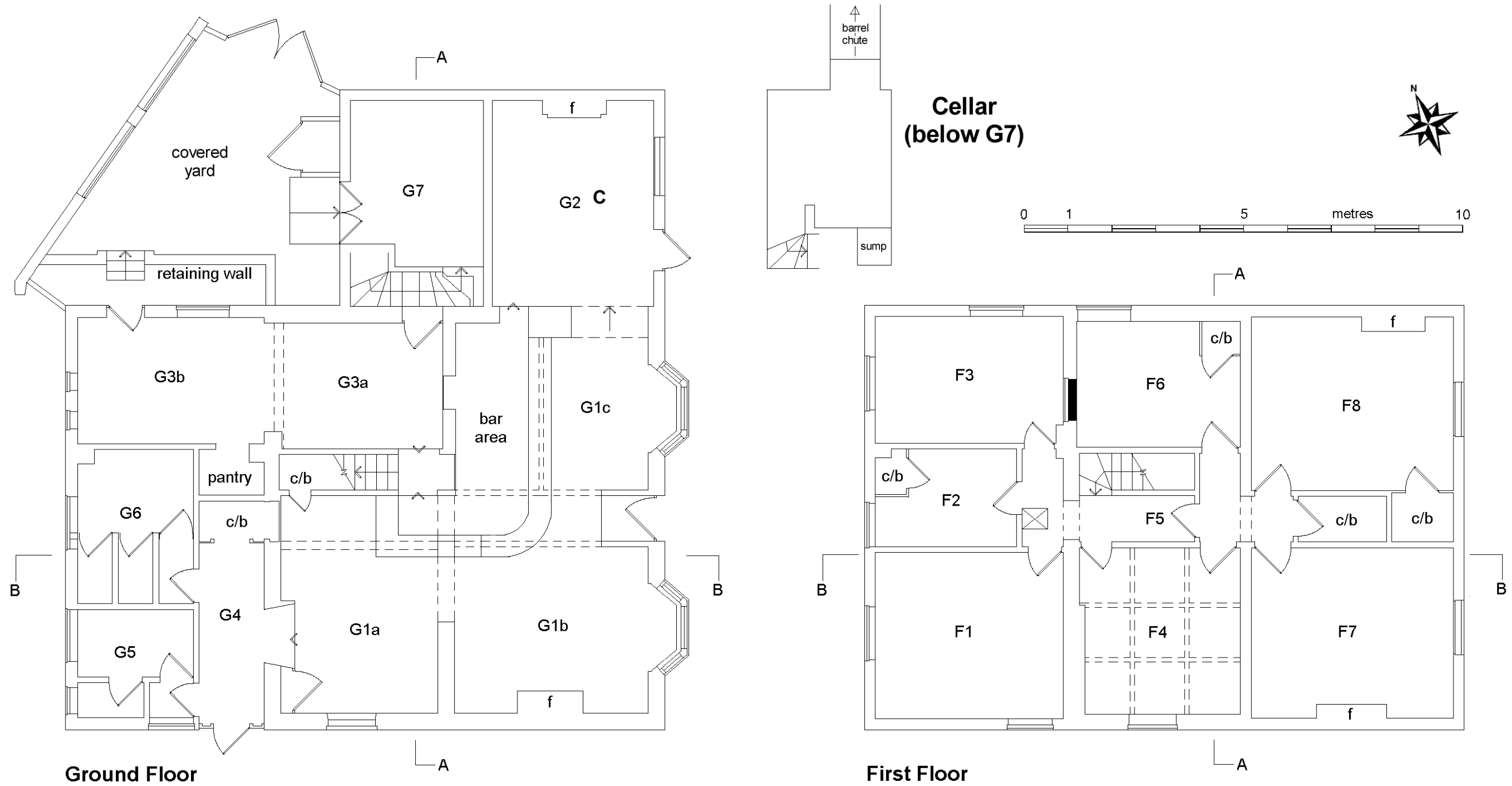


Figure 8: Clarendon Arms floor plans (scale 1:100)

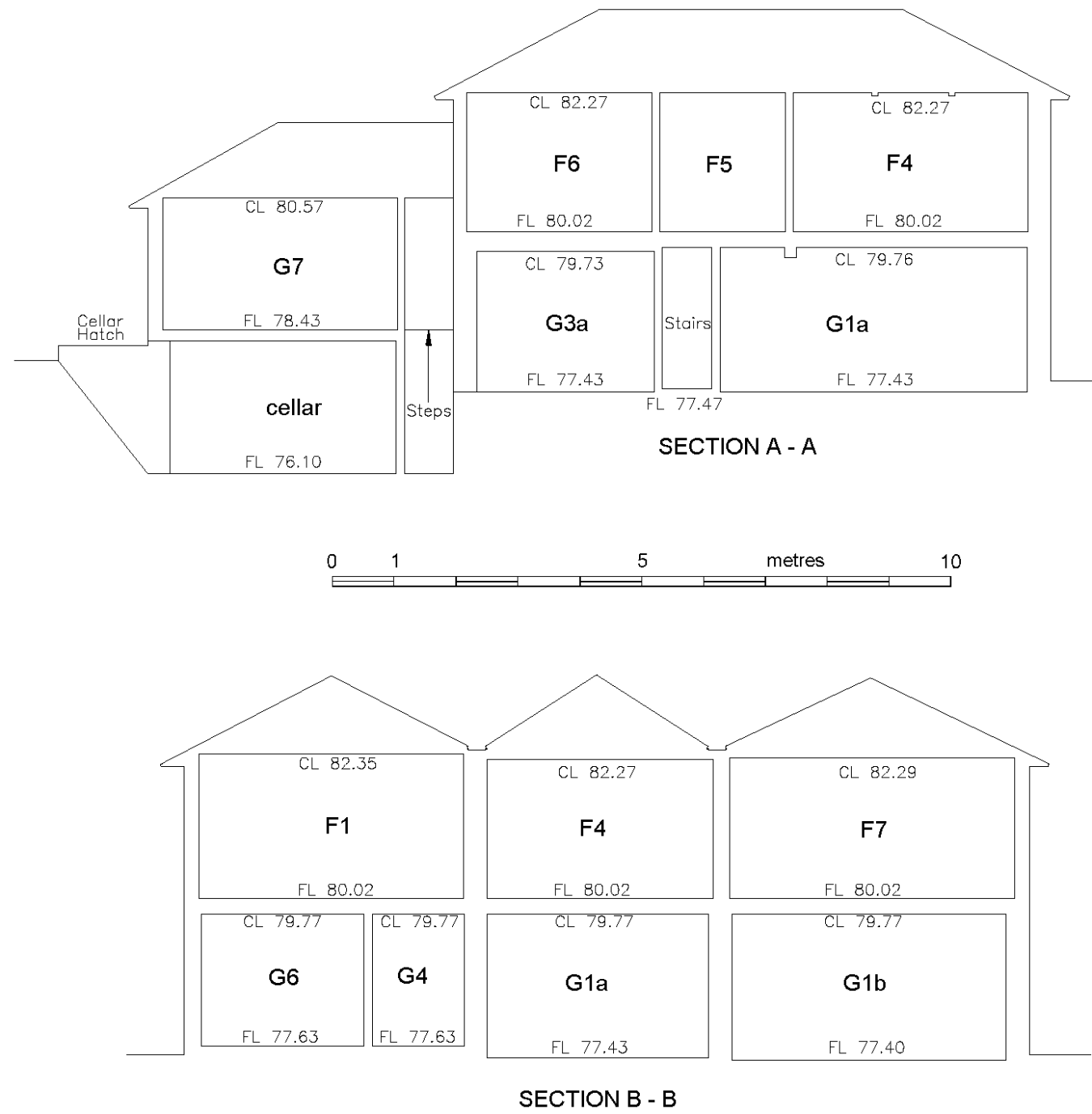


Figure 9: Clarendon Arms sections (scale 1:100)

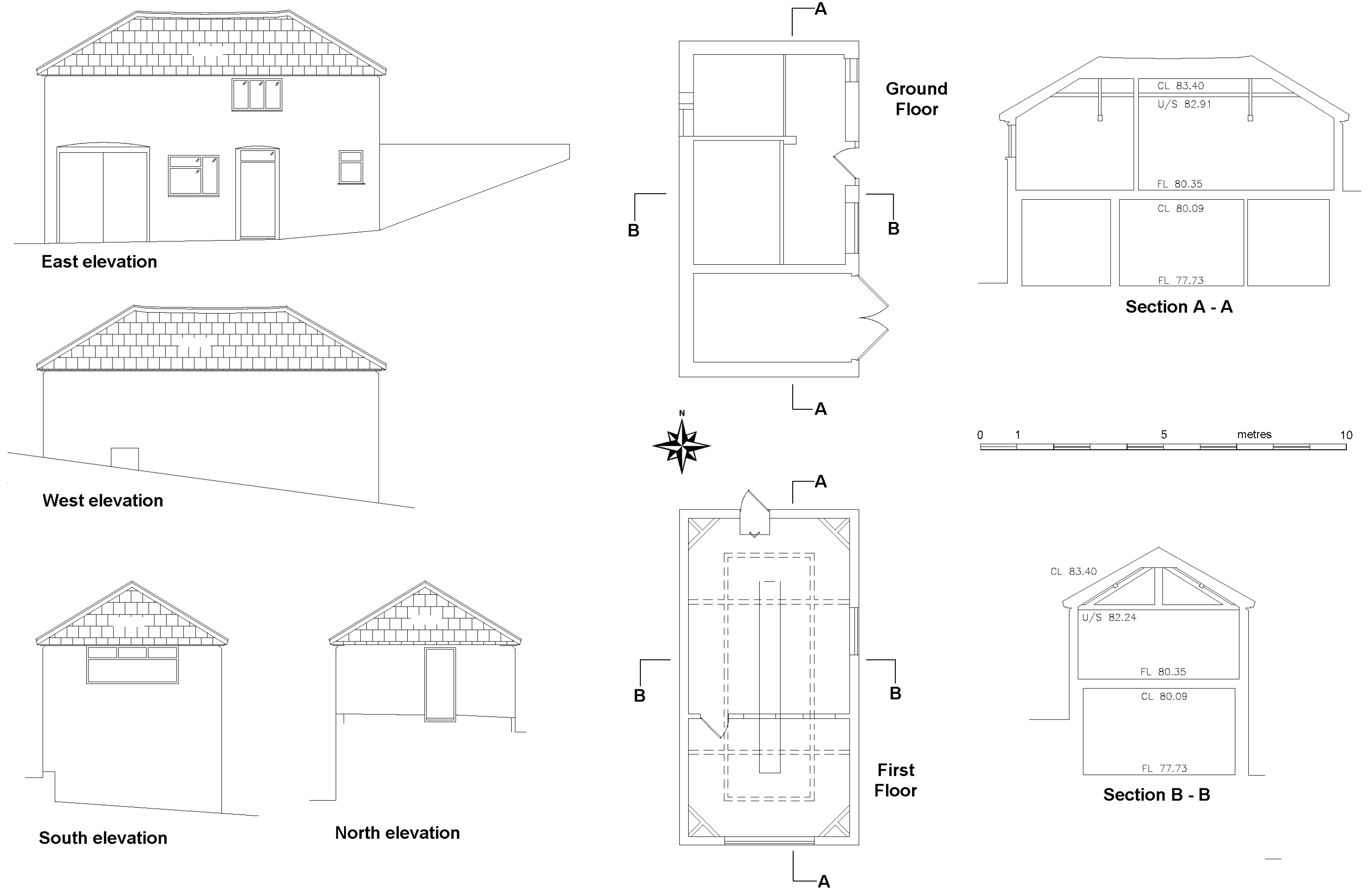


Figure 10: Coach House elevations, plans and sections (scale 1:100)

5 Conclusions

- 5.1 The construction date for the *Clarendon Arms* remains uncertain. From the cartographic evidence it was certainly in existence by 1842, but it has not been possible to determine which of the suggested dates, 1812 or 1840, is correct. Examination of the structure has not revealed any definitive information on this aspect.
- 5.2 As constructed, the public house was a two-storey structure comprising two rooms on each floor (G1b, G1c, F7, F8), separated by a central passageway/stairwell. To the north was a single storey extension, comprising the present room G2, and the adjoining cellar. This structure is shown on the Tithe Map of 1842.
- 5.3 From the available cartographic evidence it is clear that the first extension to the pub was constructed in the late 19th century prior to 1883 and not, as suggested by Chris Bateman, in 1956. This is further supported by the roof structure above rooms F4-6, which is boarded in a fashion typical of 19th-century construction. A boarded roof built in 1956 would almost certainly have incorporated exterior plywood, rather than the broad, crudely planed boards that are present. This extension would have almost doubled the size of the building, adding two rooms on each floor (G1a, G3, F4, F6), and extending the central corridor and stairwell. The present stairs (F5) probably date from this time.
- 5.4 The next significant alteration to the building appears to have been the addition of the two slate-roofed canopies to the front of the *Clarendon Arms*. From the available cartographic evidence this was done between 1924 and 1962. There is nothing in the style of construction to suggest a more precise date for this.
- 5.5 The final extension, to the west end of the building, dates from c.1973, bringing the building to its present size. It was evidently constructed as far as possible to blend in with the existing structure. Subsequent development appears to have been related to opening up and enlarging the bar area, and providing modern kitchen and toilet facilities. The development phases described above are illustrated in Fig. 11.
- 5.6 The survey undertaken for this assessment has revealed few surviving features of notable age or significance in the *Clarendon Arms*. Upstairs, the surviving cast-iron fireplaces in F4 and F7 are typical 19th-century small domestic installations. Downstairs, there is really nothing that can be described as being of significance. This is hardly surprising, considering the regularity with which tied public houses are refurbished by the breweries, and the profusion of styles used for this.
- 5.7 The Coach House was built between 1842 and 1898, one of a group of outbuildings to the west of the pub. Examination of its fabric suggests it has undergone a number of alterations since, none of which can be closely dated. It housed the toilets for the *Clarendon Arms* until 1973, after which it has been used as a store and office. Again, no features of historic or architectural significance were revealed in it by the assessment survey.

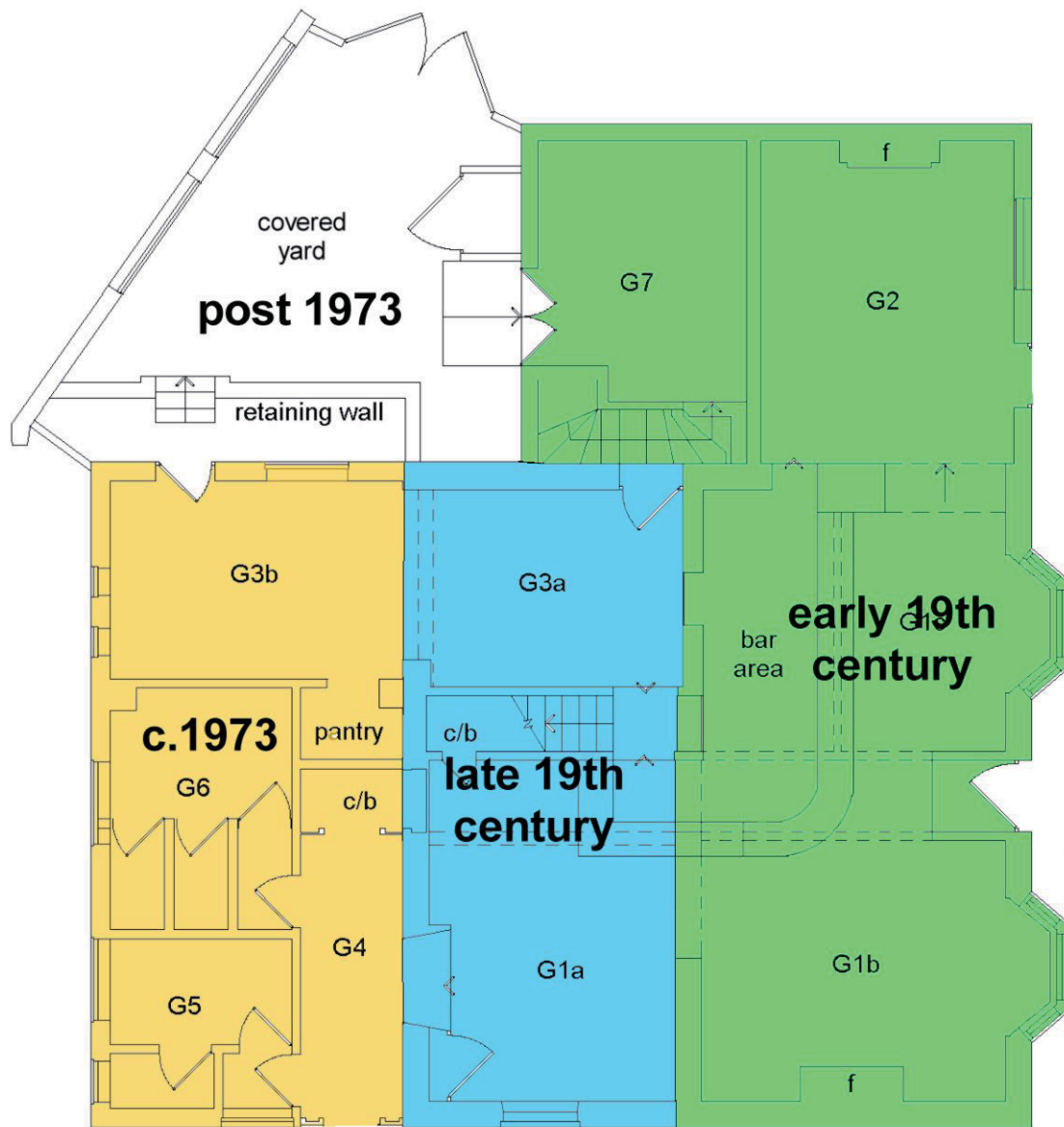


Figure 11: Suggested phase plan *(not to scale)*

6 Acknowledgements

The writer would like to thank Jane Wakelin of Wakelin Associates for commissioning this assessment, and for her assistance. Thanks are also due to Stuart Champion and Shaun Gamble for their assistance and hospitality on site, and to the staff of the Hertfordshire Archives and Local Studies Library for their assistance with background research.

Recording for the assessment was carried out by the writer, assisted by Caroline Barclay who, along with Karin Semmelmann, also provided assistance with the report. Editing was carried out by David Fell, BA MA MIFA.

7 Archive

7.1 The project archive will comprise:

1. Report
2. Historical & Survey notes
3. Architect's survey drawings
4. List of photographs
5. B/W prints
6. B/W negatives
7. CDROM with copies of all digital files.

7.2 The archive will be deposited with Hertfordshire Archives & Local Studies Library, Hertford.

8 References

Standards & Specifications

ALGAO 2003 *Standards for Field Archaeology in the East of England*. East Anglian Archaeology Occasional Paper 14.

EH 2006 *Understanding Historic Buildings: a guide to good recording practice*. English Heritage (London).

IFA 2000a Institute of Field Archaeologists' *Code of Conduct*.

IFA 2000b Institute of Field Archaeologists' *Code of Approved Practice for the Regulation of Contractual Arrangements in Field Archaeology*.

IFA 2001 Institute of Field Archaeologists' *Standards & Guidance documents (Desk-Based Assessments, Investigation and Recording of Standing Buildings)*.

Books and Historical Sources:

Historical information from various sources (including oral) provided by the client

Jolliffe G & Jones A 1995 *Hertfordshire Inns and Public Houses: an historical gazetteer*.

Post Office Trade Directories for Hertfordshire: 1859, 1862, 1874

Maps

1842 Tithe Map (DSA4/111/2) and Award (DSA4/111/1) Watford

1854 Inclosure Map (QS/E/70A) and Award (QS/E/70B) Watford

1868 Inclosure Map (QS/E/71A) and Award (QS/E/71B) Watford

1873 First Edition Ordnance Survey 25in Map Sheet XVIII, 16

1898 Second Edition Ordnance Survey 25in Map Sheet XVIII, 16

1934 Ordnance Survey 25in Map Sheet XVIII, 16

1966 Ordnance Survey 1:2500 Map Sheet TQ0697

Appendix 1: ASC Method Statement for Building Assessment

Aims

- To compile a basic record of the structure(s) concerned, prior to refurbishment, conversion or demolition
- To ascertain the structural history and development of the building, within its local context
- To provide sufficient information on the historic and architectural significance of the building to inform proposals relating to its refurbishment / conversion / development.

Standards

The work will conform to the relevant sections of the Institute of Archaeologists' *Standard & Guidance Notes* (2001) and *Code of Conduct* (2000), to current English Heritage guidelines (EH 1991), and to the relevant sections of ASC's own *Operations Manual*.

Methods

- A programme of historical research, using all readily available sources (eg. Sites & Monuments Record, County Record Office, local libraries, planning records)
- A survey of the building, normally to EH Level 1 or 2 (details attached).
- Preparation of an assessment report, based on the results of the above.

Historic building assessment involves a combination of historical research, written description, measured survey and photography. It may lead to a requirement for more detailed survey and analysis prior to refurbishment, conversion or demolition. As such, it is essential that unrestricted access to the structure being recorded is given to the surveyors, subject to current health and safety requirements and site security.

Historical Research

Background historical research will follow current IFA standards and guidelines for desk-based assessment (IFA 2001). All sources consulted will be listed in the final report.

Written Description

The written description will be prepared from detailed notes and sketches taken on site, augmented by a study of the drawings and photographs, where appropriate. Depending on the nature of the building, the written description will be presented in a logical and consistent format (e.g. overall structure: external details, roof and walls: internal layout: internal description by room), supported by relevant drawings and photographs.

Measured Survey

Measured surveys will normally be carried out using tapes or LDM (laser distance measurement) for vertical and horizontal measurement throughout. A surveyor's level or Total Station EDM may be used to establish floor levels. Where appropriate, reference may be made to available architects' or engineers' drawings, either on paper or in an appropriate CAD format. Plastic film will be used for all field drawings. Scales used will be appropriate to the size and complexity of the structures or features being

recorded: generally 1:50 or 1:100 for floor plans, 1:20 or 1:50 for elevations and sections, and 1:20 or 1:10 for architectural details, plant and machinery, etc.

Photographic Survey

The primary photographic record will normally be compiled in 35mm black & white print format, supplemented by digital photography. A photographic register will be maintained on ASC's *Photographic Record Sheet*, fully cross-referenced. Digital photographs may be used to illustrate the report. Metric scales will be used in photographs where appropriate. Photography will employ natural light wherever possible, but artificial light, flash or floodlighting will be used where necessary.

Reporting

Upon completion of the survey and research stages the assessment report will be prepared, based on the results obtained by the work described above. This will typically include:

- a concise non-technical summary of the results
- information relating to the circumstances of the project
- a summary of the aims of the project and the methods used
- background information about the site, including any desk-based studies
- a description of the results, supported by appropriate illustrative material
- a conclusion, summarising the results and examining their significance
- appendices (copies of record sheets, reference works etc.)
- an SMR summary sheet, if required

Copies of the report will be provided as required to the Client, the Planning Archaeologist, the National Monuments Record, the Local Planning Authority, and any other bodies designated by the Planning Archaeologist or client. Eight copies are normally produced: a charge is indicated for providing additional copies.

In accordance with ASC's normal reporting procedures, interim reports on any significant discoveries made during the project will be submitted to the relevant period journals (e.g. *Britannia*, *Medieval Archaeology*) and to any relevant regional journals (e.g. *CBA Mid-Anglia Bulletin*, *South Midlands Archaeology*) within one year of the project's completion.

Once the final report has been accepted by the Planning Archaeologist, an OASIS fieldwork summary form will be completed and submitted to the Archaeology Data Service.

Archiving

All archaeological projects generate a quantity of records and related material (paper, photographic and electronic records, etc). Together, these constitute the *project archive*. While the report may describe the project's findings in some detail, the archive contains the evidence on which the report is based, and its importance cannot be too highly stressed. By their nature, building surveys cannot always be repeated, so the archive often constitutes the only surviving evidence of the building prior to conversion, etc, and arrangements must therefore be made for its deposition and long-term storage.

On completion of the reporting stages of the project, the archive will be prepared for long-term storage, to an appropriate standard and in a format agreed in advance with the relevant local depository. This will be in accordance with guidelines prepared by the UK Institute of Conservation (Walker 1990) and the Museums & Galleries Commission (MGC 1992).

Unless otherwise instructed, ASC will make arrangements to deposit the archive with the relevant local museum, Record Office or library. Provision has been indicated in the project estimates for the likely costs of deposition.

Staffing

The project will be managed by **Bob Zeepvat** BA MIFA, an established archaeologist with extensive experience in managing archaeological projects, and of work on a wide range of historic buildings and structures. He holds a first degree from the University of Leicester, and has been a validated Member of the Institute of Field Archaeologists since 1986. He has been involved in the management of archaeological projects since the late 1970s, formerly as Senior Field Archaeologist for the *Milton Keynes Archaeology Unit*, and as Project Manager for the *Hertfordshire Archaeological Trust*.

Other staff assigned to the project will normally have appropriate experience of historic building recording and research. Any staff undergoing training on the project will be fully supervised by experienced staff.

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Appendix 2: EH Historic Building Survey Guidelines (EH 2006)

<i>Survey element</i>	<i>EH Level 1</i>	<i>EH Level 2</i>	<i>EH Level 3</i>	<i>EH Level 4</i>	<i>Photographic Survey</i>
Written Account	1 - 4	1 – 3, 6	1-3, 6-9, 11-13, 22: sometimes 5, 14-16, 18-20, 23	1-3, 5-8, 10-22: sometimes 23	1-3
Drawings	sometimes 1	sometimes 1, sometimes one or more of 2-7	2, sometimes one or more of 3 -12	2, sometimes one or more of 3 -12	-
Photography	1, sometimes 2	1, 2, 4	1 - 9	1 - 9	1-9

Written Account:

1. The building's precise location, as a National Grid reference and in address form.
2. A note of any statutory designation (listing, scheduling or conservation area). Non-statutory designations (historic parks and gardens registers, local lists etc) may be added.
3. The date of the record, the name(s) of the recorder(s) and, if an archive has been created, its location.
4. A summary (if no further details are called for) of the building's type or purpose, its materials and possible date(s), in so far as these are apparent from a superficial inspection.
5. A table of contents and a list of illustrations or figures.
6. An expansion of 4, if appropriate, summarising the building's form, function, date and sequence of development. The names of architects, builders, patrons and owners should be given if known. The purpose of such an expansion is to describe the building when no fuller record is necessary, to serve as an introduction to the more detailed body of the record that may follow, and to satisfy those users who may need no more than a summary of the report's findings.
7. An introduction, setting out the circumstances in which the record was made, its objectives, methods, scope and limitations, and any constraints which limited the achievement of objectives. Where appropriate the brief for the work or the project design should be stated or appended.
8. Acknowledgements to all those who made significant contributions – practical, intellectual or financial – to the record or its analysis, or who gave permission for copyright items to be reproduced.
9. A discussion of published sources relating to the building and its setting, an account of its history as given in published sources, an analysis of historic map evidence (map regression) and a critical evaluation of previous records of the building, where they exist.
10. An expansion of 9, if appropriate, drawing additionally on primary documentary sources.
11. An account of the building's overall form (structure, materials, layout) and its successive phases of development, together with the evidence supporting this analysis.
12. An account of the past and present uses of the building and its parts, with the evidence for these interpretations. An analysis of any circulation pattern or decorative, iconographic or liturgical scheme. An account of any fixtures, fittings, plant or machinery associated with the building, and their purposes. For an industrial building, a sequential account of the ways in which materials or processes were handled.
13. Any evidence for the former existence of demolished structures or removed plant associated with the building.
14. A summary of the findings of any specialist reports (dendrochronology or paint analysis, for example).
15. A discussion of the building's past and present relationship to its setting: for example its relationship to local settlement patterns, to a field system, to a park, garden, moat, graveyard or other artificial landscape; its part in any larger architectural or functional group of buildings; its visual importance as a landmark.
16. An assessment of the potential for further investigative or documentary work, and of the potential survival of below-ground evidence for the history of the building and its site.
17. A discussion of the architectural or historical context or significance of the building locally, regionally or nationally, in terms of its origin, purpose, form, construction, design, materials status or historical associations.

18. Copies of historic maps, drawings, views or photographs illustrating the development of the building or its site (the permission of owners or copyright holders may be required).
19. Copies of other records of the building, including specialist reports (again with any necessary permissions), or a note of their existence and location.
20. Any further information from documentary sources, published or unpublished, bearing on any of these matters, or bearing on the circumstances of the building, designer, craftsmen, ownership, use and occupancy, with a note on the sources of the information.
21. Relevant information from owners, builders, architects or others who may be acquainted with the building, including oral history. The sources of the information must be given, and it is important that the particular strengths and weaknesses of oral information are weighed.
22. Full bibliographic and other references, or a list of the sources consulted (in long reports it is preferable to do both). Websites which may prove to be ephemeral should be avoided as references wherever possible; where their use is unavoidable the date on which the site was consulted should be noted.
23. A glossary of architectural or other terms likely to be unfamiliar to readers. If few in number, terms may be explained more economically within the text or in foot or endnotes.

Drawn Record:

1. Sketched plan, section, elevation or detail drawings (if a more thorough drawn record is not made). Sketches may be thoroughly dimensioned.
2. Measured plans (to scale or fully dimensioned) as existing. These may extend to all floors, or may be limited to one or a few. The latter option may be appropriate, for example, in a town-centre building where upper floors have been little altered but modern retail use has obscured evidence for an earlier form of ground floor. Buildings with a repetitive structure (such as some industrial buildings) may be planned on one floor only, but a note or a sketch plan should indicate the arrangement of other floors. Plans should show the form and location of any structural features of historic significance, such as blocked doors, windows and fireplaces, masonry joints, ceiling beams and other changes in floor and ceiling levels, and any evidence for fixtures of significance, including former machinery.
3. Measured drawings recording the form or location of other significant structural detail, such as timber or metal framing.
4. Measured cross-sections, long sections or elevational sections illustrating the vertical relationships within a building (floor and ceiling heights or the form of roof trusses, for example).
5. Measured drawings showing the form of any architectural decoration (the moulding profiles of door surrounds, beams, mullions and cornices, for example), or small-scale functional detail not more readily captured by photography. A measured detail drawing is particularly valuable when the feature in question is an aid to dating.
6. Measured elevations, where these are necessary to an understanding of the building's design, development or function and not more readily obtained by photography.
7. A site plan, typically at 1:500 or 1:1250, relating the building to other structures and to related topographical and landscape features.
8. A plan or plans identifying the location and direction of accompanying photographs.
9. Copies of earlier drawings throwing light on the building's history.
10. Three-dimensional projections when these are of value in understanding the building. If these are to be considered as components of the record they must always be supported by measured plans, sections and elevational details.
11. Reconstruction drawings and phased drawings, when these are of value. Since these are by their nature interpretative, the evidence on which any reconstruction or phasing is based must always be given. Successive phases of a building's development may be shown by a graded tone (dark to light, with darker being the earlier), by colour, by sequential diagrams or by annotation. Whenever phased drawings are included in a record, they must be accompanied by the unmarked drawings on which they are based.
12. Diagrams interpreting the movement of materials (process flow) or people (circulation), or the segregation of people or activities (e.g. permeability diagrams), where these are warranted by the complexity of the project. As with items 10 and 11, the evidence supporting these interpretations must be provided.

Photographic Record:

1. A general view or views of the building (in its wider setting or landscape, if the views noted in 2 below are also adopted).

2. The buildings external appearance. Typically a series of oblique views will show all external elevations of the building, and give an overall impression of its size and shape. When an individual elevation embodies complex historical information, views at right angles to the plane of the elevation may also be appropriate.
3. Further views may be desirable to indicate the original design intentions of the builder or architect, where these are known from documentary sources or can be inferred from the building or its setting. In the case of building elevations which may have been conceived as formal compositions, views at right angles to the plane of the elevation may again be appropriate.
4. The overall appearance of principal rooms and circulation areas. The approach will be similar to that outlined in 2 above.
5. Any external or internal detail, structural or decorative, which is relevant to the building's design, development or use and which does not show adequately on general photographs. When photographing details it can be helpful to include a clearly marked and suitably sized scale next to the subject and parallel to one edge of the photograph.
6. Any machinery or other plant, or evidence for its former existence.
7. Any dates or other inscriptions, any signage, makers' plates or graffiti which contribute to an understanding of the building or its fixtures or machinery, if not adequately captured by transcription. A contemporaneous transcription should be made wherever characters are difficult to interpret.
8. Any building contents or ephemera which have a significant bearing on the building's history (for example, a cheese press or a malt shovel), where not sufficiently treated in general photographs.
9. Copies of maps, drawings, views and photographs, present in the building and illustrating its development or that of its site. The owner's consent may be required.

Appendix 3: List of Photographs

For locations, see the following figures

SITE NO/CODE: 895/CCC			Site Name: Clarendon Arms PH, Chandlers Cross, Herts
Shot	B&W	Digital	Subject
0	✓	✓	F1, looking south-west
1	✓	✓	F1, looking south-east
2	✓	✓	F1, looking north-east
3	✓	✓	F2, looking west
4	✓	✓	F3, looking north-west
5	✓	✓	F3, looking north-east
6	✓	✓	F5, west end, looking south
7	✓	✓	F5, looking east
8	✓	✓	F5, looking west
9	✓	✓	F4, detail of fireplace, looking west
10	✓	✓	F4, looking south-west
11	✓	✓	F4, looking north-east
12	✓	✓	F6, looking north-west
13	✓	✓	F7, looking south-east
14	✓	✓	F7, looking south-west
15	✓	✓	F7, fireplace, looking south
16	✓	✓	F8, looking north-east
17	✓	✓	G1a, looking north-east
18	✓	✓	G1a, looking east
19	✓	✓	G1a, looking south-west
20	✓	✓	G1a, looking north-west
21	✓	✓	G1b, fireplace, looking south
22	✓	✓	G1b, looking east
23	✓	✓	G1c, looking north-east
24	✓	✓	G2, looking north
25	✓	✓	G1c, looking south
26	✓	✓	G1c, bay window, looking east
27	✓	✓	G3a, looking west
28	✓	✓	G3b, looking east
29	✓	✓	G4, looking north
30	✓	✓	G4, looking south
31	✓	✓	G3a, looking north to cellar stairs
32	✓	✓	G7, looking south-east
33	✓	✓	G7, looking north-west
34	✓	✓	Covered yard, looking south-west
35	✓	✓	Roof detail, above F7, looking south
36	✓	✓	Roof detail, above F7, looking south (duplicate of 35)
37	✓	✓	Roof detail, above F8, looking north
38	✓	✓	Roof detail, above F1, looking south
39	✓	✓	Roof detail, above F6
40	✓	✓	C1, barrel drop, looking north
41	✓	✓	C1, looking south
42	✓	✓	Pub, north elevation, from north
43	✓	✓	Pub, north elevation, from north

44	✓	✓	General view of site from south-east
45	✓	✓	Pub, east elevation from east
46	✓	✓	Pub, south elevation from south
47	✓	✓	Coach House, south elevation from south
48	✓	✓	Pub, west elevation from west
49	✓	✓	Pub, detail of roofs from north-west
50	✓	✓	Coach House, east elevation
51	✓	✓	Coach House, interior (north part)
52	✓	✓	Coach House, north elevation from north-west
53	✓	✓	'The Bothy', from south-east
54	✓	✓	Pub, detail of porch on east elevation
55	✓	✓	Pub, detail of canopy support, east elevation

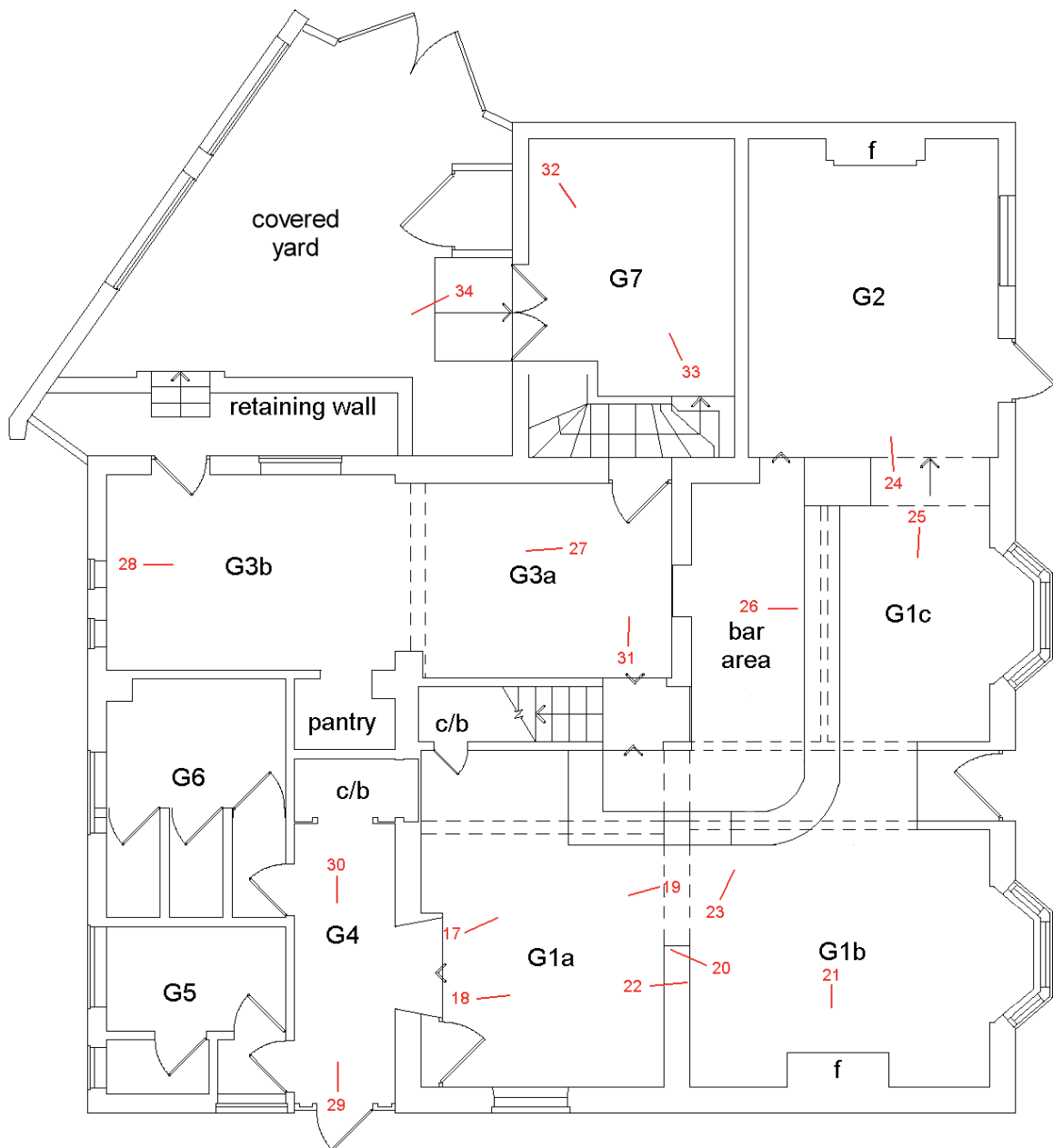


Figure 12: Ground floor photo locations

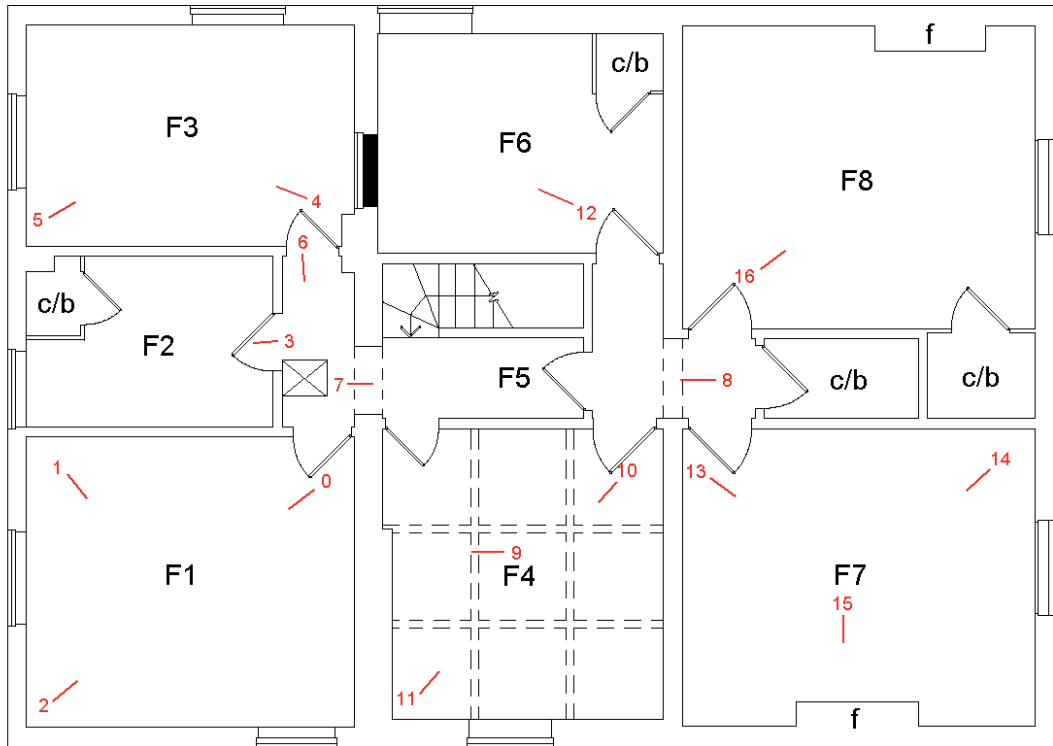


Figure 13: First floor photo locations

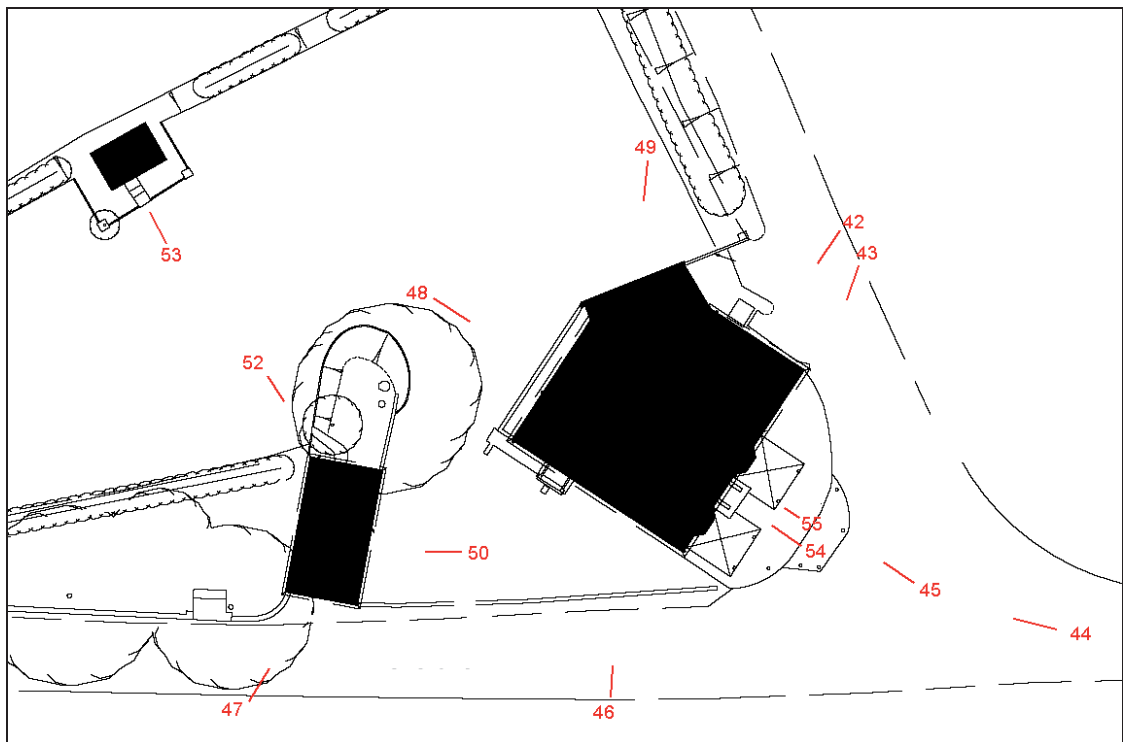


Figure 14: External photo locations



Shot 0



Shot 1



Shot 2



Shot 3



Shot 4



Shot 5



Shot 6



Shot 7



Shot 8



Shot 9



Shot 10



Shot 11



Shot 12



Shot 13



Shot 14



Shot 15



Shot 16



Shot 17



Shot 18



Shot 19



Shot 20



Shot 21



Shot 22



Shot 23



Shot 24



Shot 25



Shot 26



Shot 27



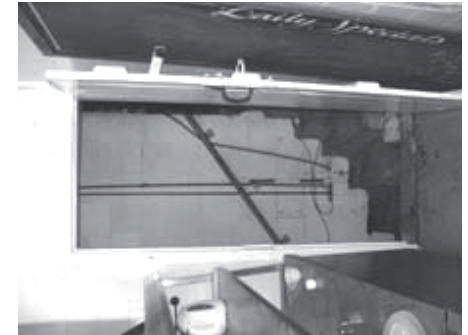
Shot 28



Shot 29



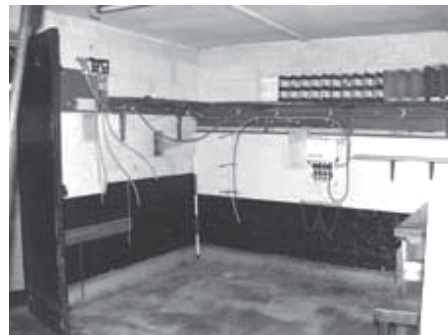
Shot 30



Shot 31



Shot 32



Shot 33



Shot 34



Shot 35



Shot 36



Shot 37



Shot 38



Shot 39



Shot 40



Shot 41



Shot 42



Shot 43



Shot 44



Shot 45



Shot 46



Shot 47



Shot 48



Shot 49



Shot 50



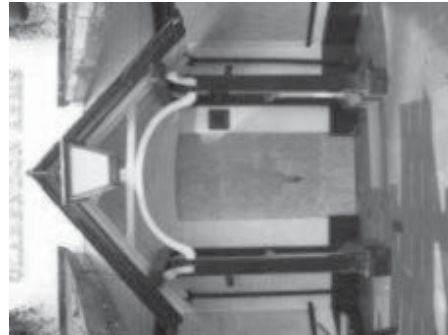
Shot 51



Shot 52



Shot 53



Shot 54



Shot 55

Appendix 4: ASC OASIS Form

PROJECT DETAILS			
Project Name:	The Clarendon Arms PH, Redhall Lane, Chandlers Cross, Hertfordshire		
Short Description:	In March 2007 an historic building assessment was undertaken of the Clarendon Arms, Chandlers Cross, to inform proposals for refurbishment. This public house was built in the first half of the 19 th century by a local brewery, Clutterbuck's: the precise date remains uncertain. It was extended in the second half of the century, and two ranges of outbuildings were constructed to the west, including the present Coach House. In the early-mid 20 th century two large slate-clad canopies were added to the east-facing frontage of the pub, to provide a covered drinking area. A second extension was added to the pub in c.1973, to provide a modern kitchen and toilet facilities. The latter had hitherto been located in the Coach House. In 1978 the two adjoining properties, known as Church Cottages, were purchased by the brewery and demolished, and the land was used to extend the pub car park. The small outbuilding, known as The Bothy, originally stood at the rear of one of those gardens. As a result of successive alterations and refurbishments, no features or fittings of any great age or significance were identified by the assessment.		
Project Type: (indicate all that apply)	Building assessment		
Site status: (eg. none, SAM, Listed)	none	Previous work: (eg. SMR refs)	no
Current land use:	PH, car park and associated buildings	Future work: (yes / no / unknown)	no
Monument type:	Public House	Monument period:	Victorian/modern
Significant finds: (artefact type & period)	none		
PROJECT LOCATION			
County:	Hertfordshire	OS reference: (8 figs min)	TQ 0658 9824
District:	Three Rivers	Parish:	Sarratt CP
Site address: (with postcode if known)	The Clarendon Arms PH, Redhall Lane, Chandlers Cross, Hertfordshire		
Study area: (sq. m. or ha)	N/a	Height OD: (metres)	77m AOD
PROJECT CREATORS			
Organisation:	Archaeological Services & Consultancy Ltd		
Project brief originator:	N/a	Project design originator:	
Project Manager:	Bob Zeepvat BA MIFA	Director/Supervisor:	Bob Zeepvat BA MIFA
Sponsor / funding body:	Wakelin Associates		
PROJECT DATE			
Start date:	6 th March 2007	End date:	
PROJECT ARCHIVES			
	Location (Accession no.)	Content (eg. pottery, animal bone, files/sheets)	
Physical:		{	B&W photos and negatives
Paper:	1 Archive Box	(Record sheets, report

Digital:	{	CD with all digital files	
BIBLIOGRAPHY (Journal/monograph, published or forthcoming, or unpublished client report)			
Title:	Historic Building Assessment: Clarendon Arms, Chandlers Cross, Hertfordshire		
Author(s):	Bob Zeepvat BA MIFA		
Page nos		Date:	16 th March 2007

Appendix 5: SMR Summary Sheet

Site name and address: The Clarendon Arms PH Redhall Lane Chandlers Cross Hertfordshire		
County: HERTFORDSHIRE		District: Three Rivers
Village/Town: Chandlers Cross		Parish: Sarratt CP
Planning application reference: pre-planning		
Client name, address, & tel. no: Wakelin Associates (client's agents) The Old School House Bridge Road Hunton Bridge Kings Langley Herts WD4 8RQ		
Nature of application: Refurbishment of public house		
Present land use: n/a		
Size of application area: n/a		Size of area investigated: n/a
NGR (to 8 figures): TQ 0658 9824		Site code: 895/CCC
Site director/Organization: Bob Zeepvat / ASC Ltd		
Type of work: Building assessment		
Date of work:	Start: 6 th March 2007	Finish:
Curating museum: Hertfordshire Archives & Local Studies		
Related SMR nos: n/a		Periods represented: Victorian/modern
Relevant previous summaries/reports none		
<p>Summary of fieldwork results:</p> <p><i>In March 2007 an historic building assessment was undertaken of the Clarendon Arms, Chandlers Cross, to inform proposals for refurbishment. This public house was built in the first half of the 19th century by a local brewery, Clutterbuck's: the precise date remains uncertain. It was extended in the second half of the century, and two ranges of outbuildings were constructed to the west, including the present Coach House. In the early-mid 20th century two large slate-clad canopies were added to the east-facing frontage of the pub, to provide a covered drinking area. A second extension was added to the pub in c.1973, to provide a modern kitchen and toilet facilities. The latter had hitherto been located in the Coach House. In 1978 the two adjoining properties, known as Church Cottages, were purchased by the brewery and demolished, and the land was used to extend the pub car park. The small outbuilding, known as The Bothy, originally stood at the rear of one of those gardens. As a result of successive alterations and refurbishments, no features or fittings of any great age or significance were identified by the assessment.</i></p>		
Author: Bob Zeepvat		Date: 16 th March 2007