

# Archaeological Services & Consultancy Ltd

# HISTORIC BUILDING RECORDING: 96 SHENLEY ROAD BOREHAMWOOD HERTFORDSHIRE

NGR: TQ 1946 9664

on behalf of Hertfordshire County Council



Bob Zeepvat BA MIFA

January 2011

ASC: 1369/BSR/1



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# **Site Data**

ASC project code:	BSR		ASC Project No:	1369	
OASIS ref:	Archaeol2-91191		Event/Accession no:		
County:		Hertfordshire			
Village/Town:		Borehamwood			
Civil Parish:		Elstree & Borehamwood CP			
NGR (to 8 figs):		TQ 1946 9664			
Present use:		a) Church Hall: b) Nursery			
Planning proposal:		Demolition: replacement by new community facility			
Planning application ref/date:		TP/10/0775			
Local Planning Authority:		Hertsmere Borough Council			
Date of fieldwork:		3 <sup>rd</sup> November 2010			
Client:		Hertfordshire County Council			
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# **Internal Quality Check**

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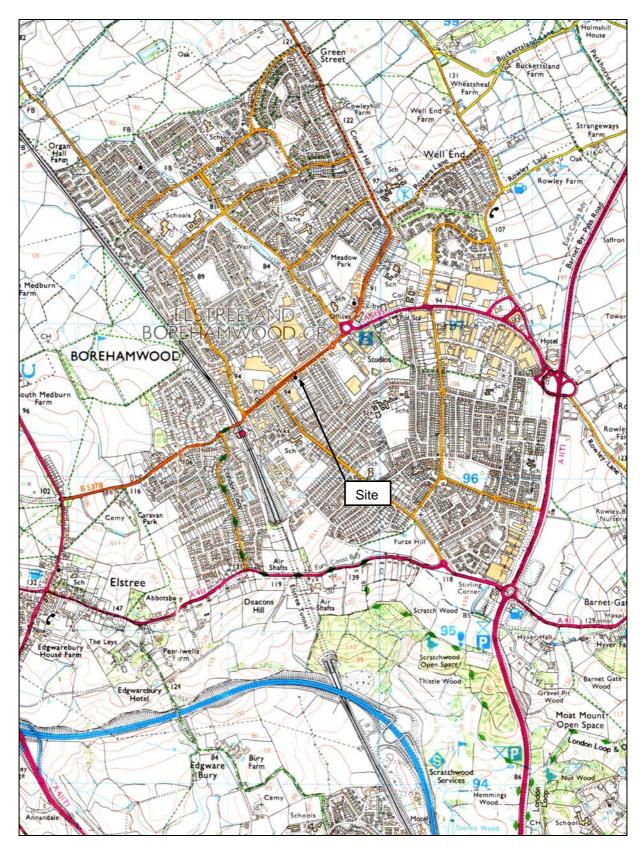


Figure 1: General location (scale 1:25,000)

# **Summary**

In November 2010 a programme of historic building recording was undertaken on two buildings at 96 Shenley Road, Borehamwood, prior to their demolition and replacement with a new community centre.

Located on the Shenley Road frontage at the north end of the site, Borehamwood Village Hall is a single-storey structure of seven bays with contemporary extensions to the south-west and south-east, constructed between 1914 and 1934. It has a timber frame, set on brick footings, clad externally with corrugated iron sheeting and internally with wooden panelling. The main building houses the hall and stage, and the extensions contain a kitchen, toilets and storage rooms. The only embellishments are the proscenium arch, and the elaborate cast iron brackets forming part of each roof truss. The building appears to have undergone few changes throughout its long existence.

To the south-east of the Village Hall is the former Nursery, a brick-built structure, partly of two storeys, under a tiled roof, constructed between 1935 and 1966. Its original function was as a cinema and entertainment venue, with a first-floor projection room above the entrance, and a central hall flanked by toilets and other rooms. Its subsequent use as a children's nursery has required only minor alterations to the fabric of the building.

# 1 Introduction

1.1 In November 2010 Archaeological Services and Consultancy Ltd (ASC) carried out historic building recording of two buildings at 96 Shenley Road, Borehamwood, Hertfordshire. The project was commissioned by Hertfordshire County Council (Hertfordshire Property), and was carried out according to ASC's standard method statement (Appendix 1), following discussions with BEAMS (Built Environment Advisory & Management Service), advisors on building conservation to the local planning authority (LPA), Hertsmere Borough Council. The relevant planning application reference is TP/10/0775.

## 1.2 Planning Background

This building recording project has been required under the terms of *Planning Policy Statement 5* (PPS5), as a condition of planning permission for development involving buildings on the site.

## 1.3 Archaeological Services & Consultancy Ltd

ASC is an independent archaeological practice providing a full range of archaeological services including consultancy, field evaluation, mitigation and post-excavation studies, historic building recording and analysis. ASC is recognised as a *Registered Organisation* by the Institute for Archaeologists and is also accredited ISO 9001, in recognition of its high standards and working practices.

#### 1.4 Management

The project was managed by Karin Semmelmann BA MA MIFA, and was carried out under the overall direction of Bob Zeepvat BA MIFA.

#### 1.5 The Site

#### 1.5.1 Location & Description

The site is located in the borough of Hertsmere, Hertfordshire, in the civil parish of Elstree and Borehamwood, centred on NGR TQ 1946 9664 (Fig. 1). It lies close to the centre of Borehamwood, on the south-east side of Shenley Road, opposite its junction with Clarendon Road.

The site occupies an irregular area of c.1750 square metres (Fig. 2), bounded to the north-west by Shenley Road, to the north-east by commercial and residential development, to the south-east by the grounds of a nursing home, and to the south-west by the church of All Saints and its accompanying rectory. Along the north-east side of the site, a tarmac access road runs from Shenley Road to a car park in the east corner. Two buildings stand on the site: the Church Hall at the north-west end, adjacent to Shenley Road, and the former Nursery to the rear of it, at the south corner of the site.

# 1.5.2 Proposed Development

The proposed development comprises demolition of the Church Hall and Nursery, and construction of a new community facility.

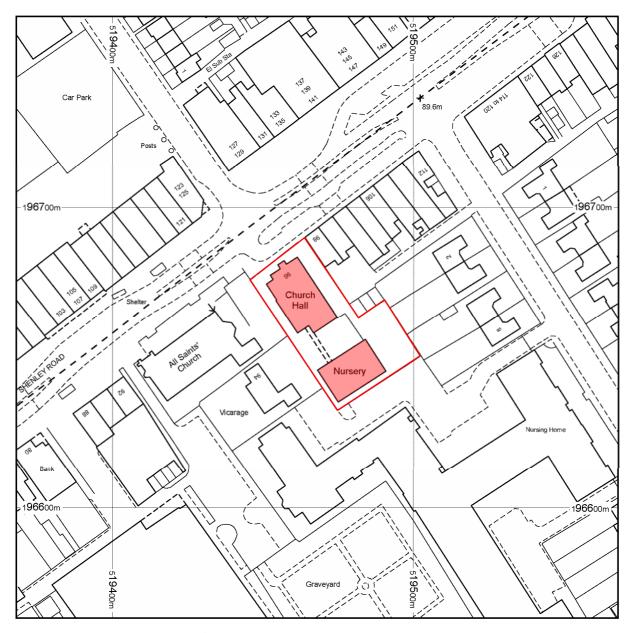


Figure 2: Site location (scale 1:1250)

# 2 Aims & Methods

#### 2.1 *Aims*

The aims of the building recording were:

- To compile a detailed record of the structures concerned, prior to demolition
- To ascertain the structural history and development of the buildings, within their local context
- To produce of a high quality, fully integrated archive, suitable for long-term deposition, in order to 'preserve by record' the buildings, prior to demolition.

#### 2.2 Standards

The work conforms to the method statement, to the relevant sections of the Institute for Archaeologists' *Code of Conduct* (IFA 2000) and *Standard & Guidance Notes* (IFA 2001), to current English Heritage guidelines (EH 2006), to the Association of Local Government Archaeological Officers East of England Region *Standards for Field Archaeology in the East of England* (ALGAO 2003), and to the relevant sections of ASC's own *Operations Manual*.

#### 2.3 *Methods*

The work was carried out according to the requirements of BEAMS, which were:

• A programme of historic building recording to English Heritage Level 2 (EH 2006), to also include preparation of basic elevation drawings for the Church Hall and Nursery.

#### 2.4 Constraints

One room on the south-west side of the Church Hall was locked, and could not be accessed. Its location is shown in Fig. 6. This constraint is not considered to have had an adverse effect of the results of the survey.

# 3 Historical Background

3.1 The following section provides a summary of the readily available historical background to the site and its environs. This section has been compiled with information from the Hertfordshire Archives & Local Studies Library (HALS), and ASC's own reference collection.

## 3.2 *Medieval* (1066-1500)

Much of the early history of Borehamwood is related to Elstree, 2km to the southwest. Elstree parish included the hamlet of Boreham Wood (Page 1908, 349) until 1909, when Borehamwood became an ecclesiastical parish in its own right (Frewin 1974, 39). More recently, the two ecclesiastical parishes have re-combined to form a single civil parish.

The Manor of Elstree became a possession of St Albans Abbey in 1188, and they had a hunting park in Boreham Wood. Watling Street in Elstree was used as a processional route by pilgrims travelling to St Albans during the medieval period, and much of the income generated by the local chapel / church at Elstree and its surrounding lands was decreed by Pope Clement to be used to feed the monks and to entertain guests at the Abbey (Hertsmere Official Guides 1977, 21–25, and 1987, 23-27).

The monastery in St Albans kept the Manor and Boreham Wood until the dissolution in the mid 16<sup>th</sup> century. The wood had previously been used by Gilbert de Hendune for feeding his hogs (granted by the Abbot in 1202), and it 1275 the Abbot laid claim for himself the use of the park (Page 1908, 349).

## 3.3 *Post-Medieval* (1500-1900)

Following the dissolution, the manor passed to Sir Anthony Denny in 1542 (Page 1908, 349). Denny leased Boreham Wood to Edmund Downing for 60 years from 1574. However, Denny died the same year, and his executors were told to take all his lands for 14 years to pay off his debts (Page 1908, 349). His son Lord Denny de Waltham, who later inherited and retained the lands for 30 years, sold the land of the manor in 1607 (Page 1908, 350 and Cussans 1879-1881, 76). The common land of Boreham Wood itself was enclosed after the act of 1776, and the parish and its land was given to the rectory in lieu of Tithe (D/P36 3/1).

The present settlement at Borehamwood, which has largely developed since the 19<sup>th</sup> century, was built mainly on the land once owned by the Elstree Manor estate (Page 1908, 349). According to Cussans (1879-1881, 75) there were approximately 800 houses in the village of Boreham by the late 19<sup>th</sup> century. The Elstree/Borehamwood Station of the Midland Railway was opened in 1868, and the Elstree/Borehamwood Gas Company opened in 1871 (Frewin 1974, 36 and 39).

#### 3.4 *Modern* (1900-present)

From the 1920s onwards, Borehamwood became one of the main centres of the UK film, and later television, industries. A number of production studios were established in the Elstree/Borehamwood area, including the Danziger Studios, Gate Studios,

MGM-British Studios and the British National Studios (more recently Lew Grade's ATV studios, and now BBC Elstree). Only the last two now remain. Following World War II the town's population greatly increased, with large areas of council housing set up for displaced Londoners. Much of this is now in private ownership. Fast train connections to central London have resulted in the town becoming a primarily residential suburb.

Construction of All Saints Church began around 1900, when Borehamwood was only a small hamlet. The Church was completed and consecrated in 1910. Research undertaken for this report at HALS has failed to reveal precise construction dates for the Church Hall and Nursery, and no record of significant events relating to either building has been found.

# 3.5 Cartographic Evidence

All Saints' Church first appears on the Ordnance Survey 25" sheet for 1914 (Fig. 3). At this time, Borehamwood was still at a relatively early stage of development: contemporary photographs of Shenley Road still present a relatively 'rural' environment. The church and adjoining vicarage (not the present house) are shown, but the site of the Church Hall and the Nursery forms part of a larger undeveloped plot of 5.79 acres. At this time, the land belonging to the church appears to have consisted of the environs of the church, the vicarage garden (0.72 acres) and, to the south, a graveyard (1.28 acres).

By the next Ordnance Survey 25" edition in 1935 (Fig. 4), the development of Borehamwood had progressed significantly. Many previously open areas had been infilled with housing, light industry or commercial premises. Most of the film studios were by now established. On this map the Hall is shown for the first time, occupying a slightly smaller plot than it does today.

There is a gap of over thirty years before the publication of the 1:2500 Ordnance Survey sheet of 1967 (Fig. 5), by which time the development of Borehamwood appears to have more or less reached its present extent. On this map the Nursery building appears for the first time, linked to the Hall by a narrow covered walkway. The present car park area appears to have been incorporated into the plot containing the two buildings, bringing it to its present size. The church and vicarage remain unchanged.

By 2010 (Fig. 2) the Hall and Nursery appear unchanged, except for the disappearance of the covered walkway. However, the vicarage has been replaced by the present house, set a little further to the west, and the church has been extended to the southeast. Much of the original vicarage garden is now occupied by one wing of a large nursing home.

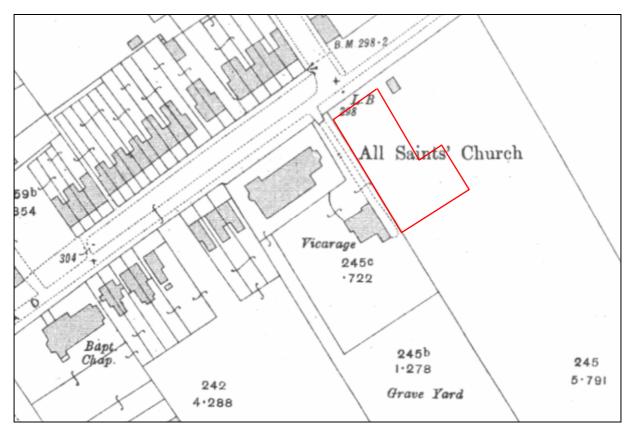


Figure 3: Extract of Ordnance Survey Third Edition 25" sheet XLV.I, 1914 (not to scale)

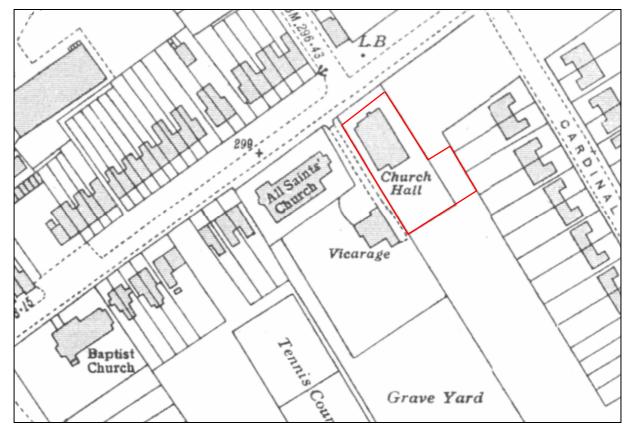


Figure 4: Extract of Ordnance Survey 25" sheet XLV.I, 1935 (not to scale)

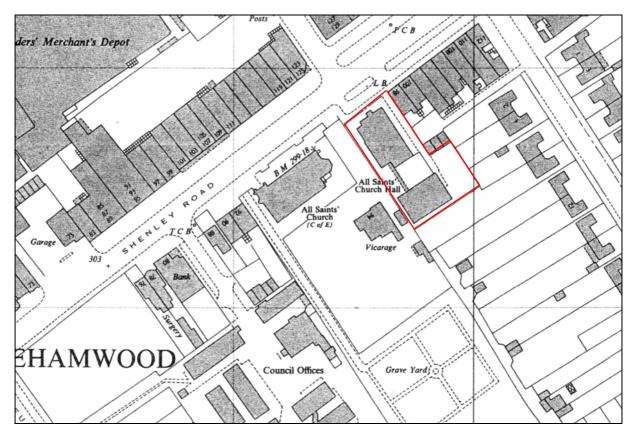


Figure 5: Extract of Ordnance Survey 1:2500 sheet TQ 18 SW, 1967 (not to scale)

# 4 The Church Hall

#### 4.1 General

The Church Hall is a single-storey structure,  $24.3 \times 13.9$ m overall, aligned north-west to south-east, located at the north end of the site. The main hall,  $c.21 \times 11$ m, comprises seven bays. On its south-west side is a pent-roofed extension,  $19.3 \times 2.9$ m, containing (from north to south) cleaning store, kitchen, store rooms and WC. At the south-east end of the hall is another pent-roofed extension,  $9.5 \times 3.3$ m, containing a backstage store room and WC.

The main fabric of the Church Hall comprises a timber frame, clad externally with corrugated iron sheeting and internally with vertical matchboarding, set on brick footings. Suspended timber floors are present in the hall, kitchen and backstage areas. Windows and doors are all timber-framed: a timber sill-plate runs along the bottom of the north-east, north-west and south-west walls.

## 4.2 *North-West Elevation* (Fig. 6, Plate 1)

This is the frontage of the building, facing onto Shenley Road. Gable end, with projecting central entrance porch beneath pitched roof. Double doors approached by flight of two concrete steps. Porch flanked by four-light windows with opening top hopper panels. Above porch is long six-light fixed window. Above this window is a long wooden signboard with the legend 'Borehamwood Village Hall' in Gothic script. Set back to the west of the main elevation, the north-west end of the kitchen extension is pierced by a door, now blocked internally.

# 4.3 *North-East Elevation* (Fig. 6, Plate 2)

The north-east elevation of the Church Hall faces onto the access road to the car park. It is pierced at regular intervals by six four-light windows with opening top hopper panels, identical to those in the north-west elevation, and a two-leaf fire escape door. At the south end of the elevation, the wall continues to form the east end of the backstage extension, pierced by a similar window to those already described.

# 4.4 *South-East Elevation* (Fig. 7, Plate 3)

This elevation forms the rear of the building, facing the Nursery. The lower part consists of the south-east wall of the backstage extension. The three windows and door in this wall are now covered externally by boards, on which are painted a range of alphabetic and numeric teaching aids for the adjoining nursery. Above this extension, the gable end of the main building is pierced by a long fixed-light window, similar to that in the north-west elevation. To the west of this extension is a fire escape door leading from the stage area. West of that, the south-east end of the kitchen extension is pierced by two small four-light windows.

## 4.5 *South-West Elevation*(Fig. 7, Plate 4)

This elevation faces the church: most of its lower part (*i.e.* below eaves height) consists of the south-west side of the kitchen extension. The south-west elevation of the main building is visible only at the north end, pierced by a fire escape door from the hall. At its north end, the extension is pierced by two fixed four-light windows.

At the south corner of the kitchen, the extension widens slightly. Adjacent to this is a door (locked at the time of the survey), followed by a vent with wooden louvres. South of this are three equidistant fixed four-light windows, followed by a two-leaf fire escape door. In the south-west end of the backstage extension are three small four-light windows.

# 4.6 *Ground Floor* (Fig. 8)

Hall & Stage (Plates 5-14)

Size:  $2.05 \times 10.4$ m, height 6.54m

Description: The main part of the building contains the hall and stage. The hall  $(16.4 \times 10.4 \text{m})$  occupies 5½ bays, from the north-west end of the building (Plates 6-9). The stage  $(7.9 \times 4.1 \text{m})$ : Plate 12) is located at the south-east end, flanked to the north-east and south-west by passages (each  $4.1 \times 1.3 \text{m}$ ) leading respectively to the backstage store (Plates 13 & 14) and to the rear fire exits.

The main entrance to the hall is through double doors at the north-west end, from the porch. In the west corner is a fire escape: adjacent to this is the door to the kitchen. A second fire escape is located in the east corner. Windows (two to the north-west, five to the north-east) are all four-light windows with opening top hopper panels. Walls are clad with vertical boarding, with plain skirting boards and a rail at window-top height. The floor consists of narrow planks (maple?), highly polished, running down the length of the hall.

The hall is open to the boarded roof, which is supported by five timber trusses incorporating iron tie rods and distinctive cast iron brackets (Plate 10). Additional natural lighting is provided by glazed 'pigeon boxes' set above the second and fifth bays (NB: these are not shown on the elevation drawings, as it was not possible to obtain accurate measurements). Artificial lighting is provided by fluorescent units. Heating is by cast iron radiators.

The stage is raised c.0.8m above the hall floor. The proscenium arch, 6.25m wide, is flanked by fluted columns, executed in wood, with elaborate plaster brackets at the upper corners (Plate 11). The stage floor is laid with narrow planks running north-east to south-west. Two trapdoors to the under-stage space are present: both are sealed shut. On each side of the stage are plain wooden railings, and steps down to the two flanking passages. A door to the rear of the stage leads to the backstage store. Apart from the stage curtain, which is suspended from the southernmost roof truss, there appears to be little in the way of fixed stage equipment (e.g. backdrops, lighting).

The passages flanking the stage provide access to the stage and backstage areas, to the WCs and fire escapes at the south end of the building. Walls and floors are essentially a continuation of those described in the hall. The eastern passage is lit by a four-light window with an opening top hopper panel. The western passage has a blocked door in its south corner (presumably the original entrance to the adjoining WC), next to a two-leaf fire escape door.

## **Backstage Extension** (Plate 15)

Size:  $3.15 \times 9.1$ m, height 2.36m

Description: The extension at the south-east end of the building is largely occupied by a backstage room  $(3.15 \times 7.60 \text{m})$ , used for storage and presumably also for costumes and makeup. At the west end is a WC  $(3.15 \times 1.30 \text{m})$ . On the north-west side, a short flight of stairs leads to a door at the rear of the stage. The floor of this extension is planked, covered with vinyl flooring. The backstage room is lit by a single window to the north-east: windows and a door to the south-east have been boarded over externally. The WC has three south-west facing small four-light windows.

#### **Kitchen Extension** (Plates 16, 17)

Size:  $18.83 \times 2.54/2.70$ m, height 2.35m

*Description:* The extension along the south-west side of the building comprises five rooms: a cleaning store  $(1.80 \times 2.54\text{m})$ , kitchen  $(4.75 \times 2.54\text{m})$ , storeroom  $(6.05 \times 2.70\text{m})$ , passage  $(1.05 \times 2.70\text{m})$ , WC  $(1.33 \times 2.70\text{m})$ , and a room between the kitchen and store  $(c.2.65 \times 2.70\text{m})$ , which was locked at the time of the survey.

The kitchen is accessed from the main hall, by a door flanked by serving hatches (Plate 16). The hatch south-east of the door remains open: the other is blocked. Internally, the kitchen is fitted out with modern units, and lit by windows to the south-west (Plate 17). At the north-west end, a doorway leads to the cleaning store, which also houses the electrical distribution board for the building. The partition separating these rooms has been inserted between one of the windows and the blocked serving hatch, and is evidently of recent origin. In the north-west wall of the cleaning store is a blocked external doorway.

The locked room south of the kitchen is accessed from outside the building. It has no windows, only a large louvred ventilator high on its south-west wall. The asbestos (?) chimney projecting above the roof reveals it to be a boiler room.

Adjacent to the boiler room, the storeroom is accessed by the passage, which provides a fire escape route out of the building from the passage west of the stage. There are three south-west facing windows, all boarded internally. The room is currently used to store chairs and tables. On the opposite side of the passage to the storeroom is the WC. This is lit by two south-east facing small four-light windows.



Plate 1: Church Hall: north-west elevation from north-west



Plate 2: Church Hall: north-east elevation from east



Plate 3: Church Hall: south-east elevation, from south



Plate 4: Church Hall: south-west elevation from south-west



Plate 5: Church Hall: hall interior, looking north-west



Plate 6: Church Hall: hall interior, looking south-east



Plate 7: Church Hall: hall interior, looking east



Plate 8: Church Hall: hall interior, looking west



Plate 9: Church Hall: hall interior, detail of roof construction



Plate 10: Church Hall: close-up of cast iron bracket on roof truss



**Plate 11:** Church Hall: hall, detail of proscenium arch



**Plate 12:** Church Hall: stage area looking north-east



**Plate 13:** Church Hall: east side stage passage, looking south-east



**Plate 14:** Church Hall: east side stage passage, looking north-west



Plate 15: Church Hall: storeroom behind stage, looking south-west



Plate 16: Church Hall: entrance to kitchen and serving hatches



Plate 17: Church Hall: kitchen, looking south-east

96 Shenley Road, Borehamwood, Hertfordshire
1369/BSR
Historic Building Recording



**Figure 6:** Church Hall, north elevations (scale 1:100)

96 Shenley Road, Borehamwood, Hertfordshire
1369/BSR
Historic Building Recording



**Figure 7:** Church Hall, south elevations (scale 1:100)

96 Shenley Road, Borehamwood, Hertfordshire
1369/BSR
Historic Building Recording

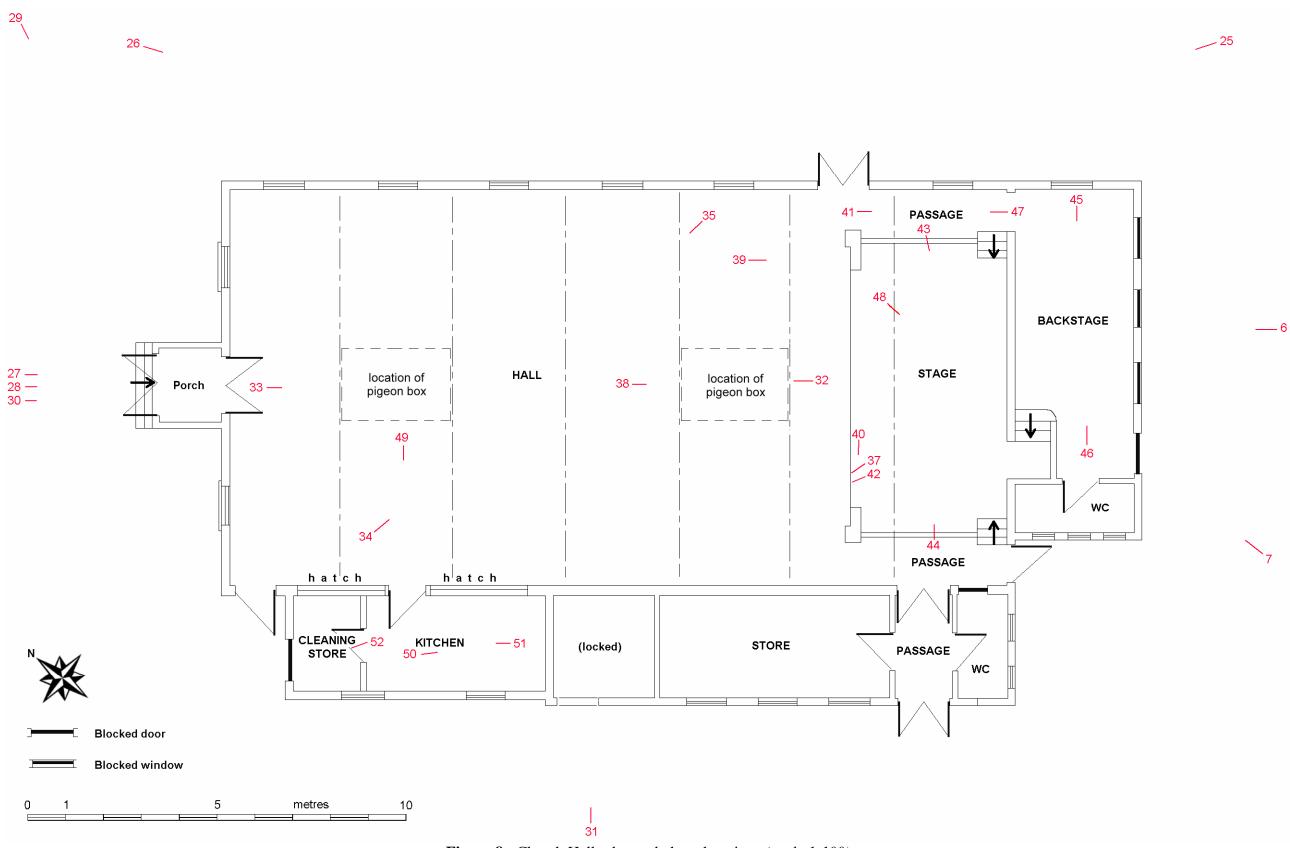


Figure 8: Church Hall: plan and photo locations (scale 1:100)

# 5 The Nursery

#### 5.1 General

The Nursery is a six-bay brick-built structure,  $19.0 \times 13.1$ m overall, aligned north-east to south-west, located at the south end of the site. Its north-east bay consists of a central two-storey section under a flat roof, housing the main entrance and foyer (G1), flanked by two small rooms (G2, G3), with a large room (F1) and adjoining storeroom on the first floor. Also within this bay, Rooms G2 and G3 are flanked by two further rooms (G4, G5). Most of the building is occupied by the main hall, extending over four bays. The south-west bay contains a central kitchen (G8), flanked by cloakrooms each including WCs (G7, G9).

The external walls are constructed of red brick, laid in English bond. There is a substantial plinth c.0.8m high, topped with bevelled bricks. The walls are divided into panels corresponding to the bays along the length of the building by brick pilasters, the wall between them above the plinth being rendered and painted white. Windows are all metal-framed casements, of several standard sizes, all with sloping sills of plain red tile. Interior floors are all concrete, with a range of surfaces. Walls are mostly painted brick.

With the exception of the two-storey section, the building has a hipped gable roof, clad with purple-brown clay tiles. Above each of the central four bays, dormers face to the south-west and north-east. These also have hipped tiled roofs. Above the middle of the main roof rises a tall louvred structure, beneath a pyramid-shaped roof. This is not shown on the elevation drawings (Fig. 9), as it could not be measured accurately.

# 5.2 *North-East Elevation* (Fig. 9, Plates 18, 20, 21)

This elevation (Plate 18) forms the front of the building, facing onto the car park. The central, two-storey section comprises a central entrance through double doors at ground-floor level, flanked by 20-light casements. At first-floor level is a central 2-leaf, 20-light French window, barred shut externally, flanked by 16-light casements. On each side of the two-storey section is a single-storey bay, with a central 40-light casement.

Set into the plinth on each side of the entrance are foundation stones. That to the right of the entrance is inscribed "MISS G.K. DAVIES, 1912-" (Plate 20). That to the left, which is in a poor state of preservation, reads "MISS L. PH[ILLIP]S, 1915-....". In the wall above the main entrance are traces of a possible projecting porch.

## 5.3 *North-West Elevation* (Fig. 9, Plate 19)

The wall of the north-west elevation is divided into six bays, as described above. The four easternmost bays each have a central 40-light casement. The fifth bay is pierced by a part-glazed double door, fitted as a fire escape, covered by a modern flat-roofed porch of timber construction. The westernmost bay contains two 8-light windows, set high in the wall.

# 5.4 *South-East Elevation* (Plate 22)

The south-east elevation is very close to the fence forming the present south-east boundary of the site, and so could not be easily recorded. However, as it appears to be a mirror image of the north-west elevation, described above, the lack of a detailed description and photographs was not seen as detrimental to the survey.

# 5.5 *South-West Elevation*(Fig. 9, Plate 23)

Like the south-east elevation, the south-west elevation is close to the site boundary fence, which impeded the recording process. On this elevation, brick pilasters are present only at the north-west and south-east ends. There is a central door with an 8-light fanlight above, and flanked by 10-light casements. These are flanked in turn by 20-light casements, and then blocked doorways, and finally 4-light windows, set high.

# 5.6 *Ground Floor* (Fig. 10)

#### Room G1

Size:  $1.80 \times 1.65$ m, height 2.8m

*Description:* Entrance lobby. Probably originally one room with G2 and G3: the partitions separating it from those rooms are flimsy wooden structures, with very narrow (0.49m) doors. Double entrance doors to north-east, and double doors to G6 to south-west.

#### **Room G2** (Plate 24)

Size:  $1.80 \times 2.05$ m, height 2.8m

*Description:* Room to north-west of G1. Narrow door to G1: 20-light casement to north-east. Parquet floor, painted brick walls with dado rail and tall chamfered skirting. Iron spiral stairs in north corner, 1.2m diameter, leading up to F1.

#### Room G3

Size:  $1.80 \times 2.20$ m, height 2.8m

*Description:* Room to south-east of G1. Narrow door to G1: 20-light casement to north-east. Parquet floor, painted brick walls with dado rail and tall chamfered skirting. Most recently used for storage.

#### Room G4

*Size:*  $2.85 \times 2.85$ m, height *c*.3.45m

*Description:* Room at east corner of building. Parquet floor, painted brick walls with dado rail and tall chamfered skirting, ceiling open to roof. Part glazed door to G6 in west corner: 40-light casement windows to north-east and south-east. A 2-light window faces south-west into G6.

# **Room G5** (Plate 25)

Size:  $2.85 \times 2.85$ m, height c.3.45m

Description: Room at north corner of building. Parquet floor, painted brick walls with dado rail and tall chamfered skirting, ceiling open to roof. Part glazed door to G6 in south corner: 40-light casement windows to north-east and north-west. A 2-light window faces south-west into G6.

#### **Room G6** (Plates 26-30)

Size:  $12.80 \times 12.25$ m, height 6.18m

Description: Hall. Parquet floor, painted brick walls with dado rail and tall chamfered skirting, ceiling open to roof (Plates 26-29). Main entrance via G1 and doors to G4 and G5 to north-east: external double doors to north-west and south-east, opening to G8 and doorways to G7 and G9 to south-west. Three 40-light casement windows each to north-west and south-east. Modern counter in front of opening to G8: central heating (warm air?) units in middle of north-west and south-east walls.

The roof of the hall is boarded, carried on distinctive bolted angle-iron trusses, with curved lower sections (Plate 30). It has four dormer windows (1 per bay) facing to the north-west and south-east.

#### **Room G7** (Plate 31)

Size:  $3.15 \times 4.55$ m, height 3.25m

Description: Cloakroom, at west corner of building. Short passage from doorway to G6 in east corner, leading to cloakroom  $(1.9 \times 2.8 \text{m})$  and two WCs (each  $1.7 \times 0.75 \text{m}$ ). Walls plastered and painted; floor is quarry tiled. Doorway at east corner to G8. Cloakroom has 20-pane casement window to south-west, alongside blocked external doorway. Below the window are two washbasins. WCs have part glazed, panelled doors: one has 4-light window to south-west, the other an 8-light window to the north-west.

#### Room G8

Size:  $3.15 \times 4.00$ m, height 3.25m

*Description:* Kitchen, in centre of westernmost bay. Walls mostly tiled, floor quarry tiled. Wide opening to G6 to north-east, external door with fanlight above flanked by 10-light casement windows to south-west, doorway to G7 in north corner, blocked doorway in east corner. Modern kitchen units, fixtures and fittings.

#### **Room G9** (Plate 32)

Size:  $3.15 \times 4.56$ m, height 3.25m

Description: Cloakroom, at south corner of building. Doorway to G6 in north corner, leading to cloakroom ( $2.35 \times 3.10$ m) and thence to two WCs (each  $1.7 \times 0.75$ m). Walls plastered and painted; floor is quarry tiled. Blocked door at north corner to G8. Cloakroom has 20-pane casement window to south-west, alongside blocked external doorway. WCs have part glazed, panelled doors: one has 4-light window to south-west, the other an 8-light window to the south-east.

## 5.7 *First Floor* (Fig. 9)

#### **Room F1** (Plates 33, 34)

Size:  $1.93 \times 6.08$ m, height 2.12m

Description: Projection Room. Accessed by spiral stairs in north corner. Walls plastered and painted, floor carpet over concrete, ceiling concrete. Windows to northeast, comprising central 2-leaf, 20-light French window, barred shut externally, flanked by 16-light casements. Store room  $(1.9 \times 1.9 \text{m})$  partitioned off at south-east end: partition bisects one of the 16-light casements. Through the south-west wall into G6 run two holes, each 20cm square, c.0.3 m apart.



Plate 18: Nursery: north-east elevation, from north-east



Plate 19: Nursery: north-west elevation, from north-west



**Plate 20:** Nursery: foundation stone right of main entrance



**Plate 21:** Nursery: foundation stone left of main entrance



**Plate 22:** Nursery: south-east elevation, from north-east



**Plate 23:** Nursery: south-west elevation, from north-west



**Plate 24:** Nursery: Room G2, spiral stairs, looking north



**Plate 25:** Nursery: Room G5, looking southeast



Plate 26: Nursery: Room G6, hall, looking north-east



Plate 27: Nursery: Room G6, hall, looking south-west



Plate 28: Nursery: Room G6, hall, looking south-east



Plate 29: Nursery: Room G6, hall, looking north-west



Plate 30: Nursery: Room G6, hall, detail of roof construction



Plate 31: Nursery: Room G7, looking south



**Plate 32:** Nursery: Room G9, blocked doorway looking south



Plate 33: Nursery: Room G8 kitchen, looking south-west

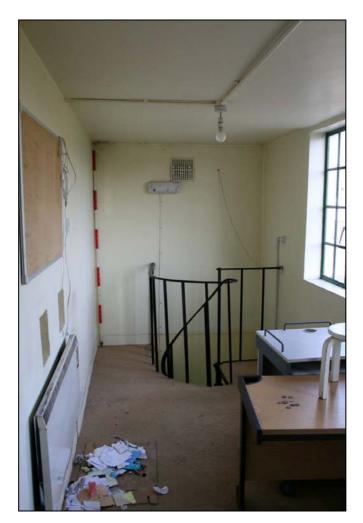


Plate 34: Nursery: Room F1, looking north-west



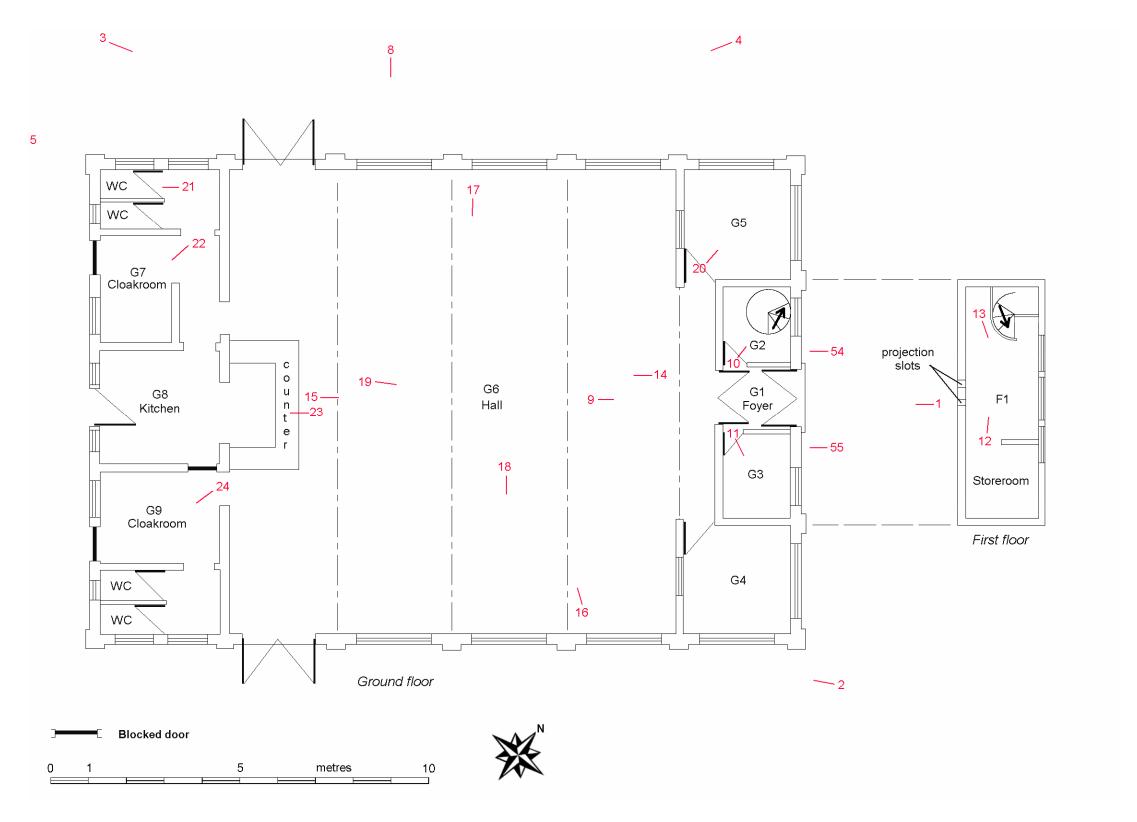
Plate 35: Nursery: Room F1, looking south-east

96 Shenley Road, Borehamwood, Hertfordshire
Historic Building Recording



**Figure 9:** Nursery elevations (*scale 1:100*)

96 Shenley Road, Borehamwood, Hertfordshire
1369/BSR



**Figure 10:** Nursery floor plans and photo locations (scale 1:100)

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## 6 Conclusions

#### 6.1 Church Hall

The Church Hall is a single-storey structure of seven bays with extensions to the south-west and south-east. It has a timber frame, set on brick footings, clad externally with corrugated iron sheeting and internally with wooden panelling. The main building houses the hall and stage, and the extensions contain a kitchen, toilets and storage rooms. The only embellishments are the proscenium arch, and the elaborate cast iron brackets forming part of each roof truss. The building appears to have undergone few changes throughout its long existence. From the cartographic evidence, the Hall appears to have been constructed between 1914 and 1934. The materials and utilitarian style employed in its construction are ubiquitous, so it has not been possible to determine a more precise date.

### 6.2 Nursery

South-east of the Hall is the former Nursery, a brick-built structure, partly of two storeys, under a tiled roof, constructed on cartographic evidence between 1935 and 1966. Unfortunately the dates on the foundation stones appear to relate to the founders, the Misses Davies and Phillips, rather than to the building. Its original function was as a cinema and entertainment venue, with a first-floor projection room above the entrance, and a central hall flanked by toilets and other rooms. Its subsequent use as a children's nursery has required only minor alterations to the fabric of the building.

## 7 Acknowledgements

The project was commissioned by Hertfordshire County Council. The writer is grateful to Bob Chapman (HCC Hertfordshire Property) and Mark Whitworth (Mace Group) for their assistance. The project was monitored by Helen Cal-Fernandez of BEAMS on behalf of the local planning authority. Thanks are also due to the vicar of All Saints, Rev. Tim Warr, for his assistance and hospitality.

The project was managed for ASC by Karin Semmelmann MA MIFA, who also edited the report. Fieldwork and report preparation was carried out by Bob Zeepvat BA MIFA.

## 8 Archive

- 8.1 The project archive will comprise:
  - 1. Report
  - 2. Historical & Survey notes
  - 3. Survey drawings
  - 4. List of photographs
  - 5. B/W prints
  - 6. B/W negatives
  - 7. CDROM with copies of all digital files.
- 8.2 The archive will be deposited with the Hertfordshire Archives & Local Studies Library (HALS), Hertford.

## 9 References

### Standards & Specifications

- ALGAO 2003 Standards for Field Archaeology in the East of England. East Anglian Archaeology Occasional Paper 14.
- EH 2006 Understanding Historic Buildings: a guide to good recording practice. English Heritage (London).
- IFA 2000a Institute for Archaeologists' Code of Conduct.
- IFA 2000b Institute for Archaeologists' Code of Approved Practice for the Regulation of Contractual Arrangements in Field Archaeology.
- IFA 2001 Institute for Archaeologists' Standards & Guidance documents (Desk-Based Assessments, Investigation and Recording of Standing Buildings).

#### **Books and Historical Sources:**

- Bailey, B.J 1978 Portrait of Hertfordshire. Robert Hale Ltd, London.
- Castle, S & Brooks, W 1988 *The Book of Elstree and Borehamwood*, Barracuda Books Ltd, Buckingham. 103-105 & 130.
- Cussans, J.E 1879-1881 *History of Hertfordshire. Hundred of Cashio. Volume III.* Chatto and Windus, Piccadilly.
- Frewin, A 1974 *Elstree and Borehamwood through two thousand years*. Ann & Lionel Leventhal, Elstree.
- Low, R 1971 The History of the British Film 1918–1929. George Allen & Unwin Ltd, London.
- Low, R 1985 Film Making in 1930's Britain. George Allen & Unwin, London.
- Page, W (ed.) 1908 The Victoria History of the Counties of England: Hertfordshire. Dawsons, London (republished 1971).
- Warren, P 2001 British Film Studios. BT Batsford, London. 58, 88-89.

#### Maps

- 1898 Ordnance Survey Second Edition 25" sheet XLV.1.
- 1914 Ordnance Survey Third Edition 25" sheet XLV.1.
- 1935 Ordnance Survey 25" sheet XLV.1.
- 1967 Ordnance Survey 1:2500 sheet TQ 18 SW.
- 2010 Ordnance Survey 1:1250 digital mapping

## **Appendix 1: Method Statement**

#### Aims

- To compile a detailed record of the structure(s) concerned, prior to refurbishment, conversion or demolition
- To ascertain the structural history and development of the building, within its local context
- To provide sufficient information on the historic and architectural significance of the building to inform proposals relating to its refurbishment / conversion.

#### Standards

The work will conform to the relevant sections of the Institute for Archaeologists' *Standard & Guidance Notes* (2001) and *Code of Conduct* (2000), to current English Heritage guidelines (EH 1991; EH 2006), and to the relevant sections of ASC's own *Operations Manual*.

#### Methods

- A programme of historical research, using all readily available sources (eg. Sites & Monuments Record, County Record Office, local libraries, planning records)
- A survey of the building normally to RCHME Level 2 or 3 (details attached).
- Preparation of a report, based on the results of the above.

Historic building recording involves the preparation of a detailed record and interpretation of a standing building and its fixtures and fittings, by a combination of historical research, written description, measured survey and photography. As such, it is essential that the survey team is given unrestricted access to the structure being recorded, subject to current health and safety requirements and site security.

#### Historical Research

Background historical research will follow current IFA standards and guidelines for desk-based assessment (IFA 2001). All sources consulted will be listed in the final report.

#### Written Description

The written description will be prepared from detailed notes and sketches taken on site, using the appropriate ASC *Historic Building Record Sheet*. This information will be augmented if necessary by a study of the drawings and photographs. Depending on the nature of the building, the written description will be presented in a logical and consistent format (e.g. overall structure: external details, roof and walls: internal layout: internal description by room), supported by relevant drawings and photographs.

#### Measured Survey

Measured surveys will normally be carried out using tapes or LDM (laser distance measurement) for vertical and horizontal measurement throughout. A surveyor's level or Total Station EDM may be used to establish floor levels. Where appropriate, reference may be made to available architects' or engineers' drawings, either on paper or in an appropriate CAD format. Plastic film will be used for all site drawings. Scales used will be appropriate to the size and complexity of the structures or features being recorded: generally 1:50 or 1:100 for floor plans, 1:20 or 1:50 for elevations and sections, and 1:20 or 1:10 for architectural details, plant and machinery, etc.

#### Photographic Survey

The primary photographic record will normally be compiled in 35mm black & white print format, supplemented by 35mm digital photography. Medium format  $(60 \times 45 \text{mm})$  black-and-white photography may be used for more detailed recording. A photographic register will be maintained on ASC's *Photographic Record Sheet*, fully cross-referenced. Digital photographs may be used to illustrate the report. Metric scales will be used in photographs where appropriate. Photography will employ natural light wherever possible, but artificial light, flash or floodlighting will be used where necessary. Other techniques, such as video photography, may be used where appropriate.

#### Reporting

Upon completion of the field stages of the project, an initial report on the results obtained will normally be prepared. This will be produced in ASC's house style, and will typically include:

- a concise non-technical summary of the results
- information relating to the circumstances of the project
- a summary of the aims of the project and the methods used
- background information about the site, including any desk-based studies
- a description of the results, supported by appropriate illustrative material
- a conclusion, summarising the results and examining their significance
- appendices (copies of record sheets, reference works etc.)
- an HER summary sheet, if required

Copies of the report will be provided as required to the Client, the Planning Archaeologist, the National Monuments Record, the Local Planning Authority, and any other bodies designated by the Planning Archaeologist or client. Eight copies are normally produced: a charge is indicated for providing additional copies.

In accordance with ASC's normal reporting procedures, interim reports on any significant discoveries made during the project will be submitted to the relevant period journals (e.g. *Britannia*, *Medieval Archaeology*) and to any relevant regional journals (e.g. *CBA Mid-Anglia Bulletin*, *South Midlands Archaeology*), within one year of the project's completion.

Once the final report has been accepted by the Planning Archaeologist, an OASIS fieldwork summary form will be completed and submitted to the Archaeology Data Service.

#### Archiving

All archaeological projects generate a quantity of records and related material (paper, photographic and electronic records, etc). Together, these constitute the *project archive*. While the report may describe the project's findings in some detail, the archive contains the evidence on which the report is based, and its importance cannot be too highly stressed. By their nature, building surveys cannot always be repeated, so the archive often constitutes the only surviving evidence of the building prior to conversion, etc, and arrangements must therefore be made for its deposition and long-term storage.

On completion of the reporting stages of the project, the archive will be prepared for long-term storage, to an appropriate standard and in a format agreed in advance with the relevant local depository. This will be in accordance with guidelines prepared by the UK Institute of Conservation (Walker 1990) and the Museums & Galleries Commission (MGC 1992).

Unless otherwise instructed, ASC will make arrangements to deposit the archive with the relevant local museum, Record Office or library. Provision has been indicated in the project estimates for the likely costs of deposition.

#### Staffing

The project will be managed by Karin Semmelmann MA MIFA, an experienced buildings archaeologist, under the overall direction of Bob Zeepvat BA MIFA. Bob is an established archaeologist with extensive experience in managing archaeological projects, and of work on a wide range of historic buildings and structures. He holds a first degree from the University of Leicester, and has been a validated Member of the Institute for Archaeologists since 1986. He has been involved in the management of archaeological projects since the late 1970s, formerly as Senior Field Archaeologist for the *Milton Keynes Archaeology Unit*, and as Project Manager for the *Hertfordshire Archaeological Trust*.

Other staff assigned to the project will normally have appropriate experience of historic building recording and research. Any staff undergoing training on the project will be fully supervised by experienced staff.

# **English Heritage Guidelines for Recording Historic Buildings** (EH 2006)

	EH Level 1	EH Level 2	EH Level 3	EH Level 4	Photographic
Survey element					Survey
Written	1 - 4	1 - 3, 6	1-3, 6-9, 11-13,	1-3, 5-8, 10-22:	1-3
Account			22: sometimes 5,	sometimes 23	
			14-16, 18-20, 23		
Drawings	sometimes 1	sometimes 1,	2, sometimes one	2, sometimes	-
		sometimes one	or more of 3 -12	one or more of 3	
		or more of 2-7		-12	
Photography	Photography 1, sometimes 2 1, 2, 4		1 - 9	1 - 9	1-9
	1	l			

#### Written Account:

- 1. The building's precise location, as a National Grid reference and in address form.
- 2. A note of any statutory designation (listing, scheduling or conservation area). Non-statutory designations (historic parks and gardens registers, local lists etc) may be added.
- 3. The date of the record, the name(s) of the recorder(s) and, if an archive has been created, its location.
- 4. A summary (if no further details are called for) of the building's type or purpose, its materials and possible date(s), in so far as these are apparent from a superficial inspection.
- 5. A table of contents and a list of illustrations or figures.
- 6. An expansion of 4, if appropriate, summarising the building's form, function, date and sequence of development. The names of architects, builders, patrons and owners should be given if known. The purpose of such an expansion is to describe the building when no fuller record is necessary, to serve as an introduction to the more detailed body of the record that may follow, and to satisfy those users who may need no more than a summary of the report's findings.
- 7. An introduction, setting out the circumstances in which the record was made, its objectives, methods, scope and limitations, and any constraints which limited the achievement of objectives. Where appropriate the brief for the work or the project design should be stated or appended.
- 8. Acknowledgements to all those who made significant contributions practical, intellectual or financial to the record or its analysis, or who gave permission for copyright items to be reproduced.
- 9. A discussion of published sources relating to the building and its setting, an account of its history as given in published sources, an analysis of historic map evidence (map regression) and a critical evaluation of previous records of the building, where they exist.
- 10. An expansion of 9, if appropriate, drawing additionally on primary documentary sources.
- 11. An account of the building's overall form (structure, materials, layout) and its successive phases of development, together with the evidence supporting this analysis.
- 12. An account of the past and present uses of the building and its parts, with the evidence for these interpretations. An analysis of any circulation pattern or decorative, iconographic or liturgical scheme. An account of any fixtures, fittings, plant or machinery associated with the building, and their purposes. For an industrial building, a sequential account of the ways in which materials or processes were handled.
- 13. Any evidence for the former existence of demolished structures or removed plant associated with the building.
- 14. A summary of the findings of any specialist reports (dendrochronology or paint analysis, for example).
- 15. A discussion of the building's past and present relationship to its setting: for example its relationship to local settlement patterns, to a field system, to a park, garden, moat, graveyard or other artificial landscape; its part in any larger architectural or functional group of buildings; its visual importance as a landmark.
- 16. An assessment of the potential for further investigative or documentary work, and of the potential survival of below-ground evidence for the history of the building and its site.
- 17. A discussion of the architectural or historical context or significance of the building locally, regionally or nationally, in terms of its origin, purpose, form, construction, design, materials status or historical associations.
- 18. Copies of historic maps, drawings, views or photographs illustrating the development of the building or its site (the permission of owners or copyright holders may be required).

- 19. Copies of other records of the building, including specialist reports (again with any necessary permissions), or a note of their existence and location.
- 20. Any further information from documentary sources, published or unpublished, bearing on any of these matters, or bearing on the circumstances of the building, designer, craftsmen, ownership, use and occupancy, with a note on the sources of the information.
- 21. Relevant information from owners, builders, architects or others who may be acquainted with the building, including oral history. The sources of the information must be given, and it is important that the particular strengths and weaknesses of oral information are weighed.
- 22. Full bibliographic and other references, or a list of the sources consulted (in long reports it is preferable to do both). Websites which may prove to be ephemeral should be avoided as references wherever possible; where their use is unavoidable the date on which the site was consulted should be noted.
- 23. A glossary of architectural or other terms likely to be unfamiliar to readers. If few in number, terms may be explained more economically within the text or in foot or endnotes.

#### Drawn Record:

- 1. Sketched plan, section, elevation or detail drawings (if a more thorough drawn record is not made). Sketches may be thoroughly dimensioned.
- 2. Measured plans (to scale or fully dimensioned) as existing. These may extend to all floors, or may be limited to one or a few. The latter option may be appropriate, for example, in a town-centre building where upper floors have been little altered but modern retail use has obscured evidence for an earlier form of ground floor. Buildings with a repetitive structure (such as some industrial buildings) may be planned on one floor only, but a note or a sketch plan should indicate the arrangement of other floors. Plans should show the form and location of any structural features of historic significance, such as blocked doors, windows and fireplaces, masonry joints, ceiling beams and other changes in floor and ceiling levels, and any evidence for fixtures of significance, including former machinery.
- 3. Measured drawings recording the form or location of other significant structural detail, such as timber or metal framing.
- 4. Measured cross-sections, long sections or elevational sections illustrating the vertical relationships within a building (floor and ceiling heights or the form of roof trusses, for example).
- 5. Measured drawings showing the form of any architectural decoration (the moulding profiles of door surrounds, beams, mullions and cornices, for example), or small-scale functional detail not more readily captured by photography. A measured detail drawing is particularly valuable when the feature in question is an aid to dating.
- 6. Measured elevations, where these are necessary to an understanding of the building's design, development or function and not more readily obtained by photography.
- 7. A site plan, typically at 1:500 or 1:1250, relating the building to other structures and to related topographical and landscape features.
- 8. A plan or plans identifying the location and direction of accompanying photographs.
- 9. Copies of earlier drawings throwing light on the building's history.
- 10. Three-dimensional projections when these are of value in understanding the building. It these are to be considered as components of the record they must always be supported by measured plans, sections and elevational details.
- 11. Reconstruction drawings and phased drawings, when these are of value. Since these are by their nature interpretative, the evidence on which any reconstruction or phasing is based must always be given. Successive phases of a building's development may be shown by a graded tone (dark to light, with darker being the earlier), by colour, by sequential diagrams or by annotation. Whenever phased drawings are included in a record, they must be accompanied by the unmarked drawings on which they are based.
- 12. Diagrams interpreting the movement of materials (process flow) or people (circulation), or the segregation of people or activities (eg permeability diagrams), where these are warranted by the complexity of the project. As with items 10 and 11, the evidence supporting these interpretations must be provided.

### Photographic Record:

- 1. A general view or views of the building (in its wider setting or landscape, if the views noted in 2 below are also adopted).
- 2. The buildings external appearance. Typically a series of oblique views will show all external elevations of the building, and give an overall impression of its size and shape. When an individual

- elevation embodies complex historical information, views at right angles to the plane of the elevation may also be appropriate.
- 3. Further views may be desirable to indicate the original design intentions of the builder or architect, where these are known from documentary sources or can be inferred from the building or its setting. In the case of building elevations which may have been conceived as formal compositions, views at right angles to the plane of the elevation may again be appropriate.
- 4. The overall appearance of principal rooms and circulation areas. The approach will be similar to that outlined in 2 above.
- 5. Any external or internal detail, structural or decorative, which is relevant to the building's design, development or use and which does not show adequately on general photographs. When photographing details it can be helpful to include a clearly marked and suitably sized scale next to the subject and parallel to one edge of the photograph.
- 6. Any machinery or other plant, or evidence for its former existence.
- 7. Any dates or other inscriptions, any signage, makers' plates or graffiti which contribute to an understanding of the building or its fixtures or machinery, if not adequately captured by transcription. A contemporaneous transcription should be made wherever characters are difficult to interpret.
- 8. Any building contents or ephemera which have a significant bearing on the building's history (for example, a cheese press or a malt shovel), where not sufficiently treated in general photographs.
- 9. Copies of maps, drawings, views and photographs, present in the building and illustrating its development or that of its site. The owner's consent may be required.

# **Appendix 2: List of Photographs**

SITE NO/CODE: 1369/BSR		369/BSR	Site Name: 96 Shenley Road, Borehamwood		
Shot	B&W	Digital	Subject		
1	1/19	1	Nursery: north-east elevation, from north-east		
2	1/18	2	Nursery: south-east elevation, from north-east		
3	1/17	3	Nursery: north-west elevation, from north-west		
4	1/16	4	Nursery: north-west elevation, from north		
5	1/15	5	Nursery: south-west elevation, from north-west		
6	1/14	6	Church Hall: south-east elevation, from south-east		
7	1/13	7	Church Hall: south-east elevation, from south		
8	1/12	8	Nursery: detail of bay, north-west elevation		
9	1/11	9	Nursery: Room G3, entrance foyer, looking north-east		
10	1/10	10	Nursery: Room G2, spiral stairs, looking north		
11	1/9	11	Nursery: Room G4, looking south-east		
12	1/8	12	Nursery: Room F1, looking north-west		
13	1/7	13	Nursery: Room F1, looking south-east		
14	1/6	14	Nursery: Room G6, hall, looking south-west		
15	1/5	15	Nursery: Room G6, hall, looking north-east		
16	1/4	16	Nursery: Room G6, hall, looking north-west		
17	1/3	17	Nursery: Room G6, hall, looking south-east		
18	1/2	18	Nursery: Room G6, hall, detail of roof construction		
19	1/1	19	Nursery: Room G6, hall, detail of roof truss		
20	2/36	20	Nursery: Room G5, looking south-east		
21	2/35	21	Nursery: Room G7, child's WC looking south-west		
22	2/34	22	Nursery: Room G7, looking south		
23	2/33	23	Nursery: Room G8 kitchen, looking south-west		
24	2/32	24	Nursery: Room G9, blocked doorway looking south		
25	2/31	25	Church Hall: north-east elevation from east		
26	2/30	26	Church Hall: north-east elevation from north		
27	2/29	27	Church Hall: north-west elevation from north-west		
28	2/28	28	Church Hall: north-west elevation from north-west		
29	2/27	29	General: Church Hall in its setting, from north-east		
30	2/26	30	Church Hall: detail of north-west elevation		
31	2/25	31	Church Hall: south-west elevation from south-west		
32	2/24	32	Church Hall: hall interior, looking north-west		
33	2/23	33	Church Hall: hall interior, looking south-east		
34	2/22	34	Church Hall: hall interior, looking south-east		
35	2/21	35	Church Hall: hall interior, looking east		
36	20+19	36	Church Hall: hall interior, detail of roof construction		
37	2/18	37	Church Hall: detail of cast iron bracket on roof truss		
38	2/17	38	Church Hall: hall, proscenium arch		
39	2/17	39	Church Hall: hall, detail of proscenium arch (column)		
40	2/15	40	Church Hall: hall, detail of proscenium arch (column)  Church Hall: hall, detail of proscenium arch (capital)		
41	2/13	41	Church Hall: east side stage passage, looking south-east		
42	2/14	42	Church Hall: close-up of cast iron bracket on roof truss		
43	2/13	43	Church Hall: stage area looking south-west		
43	2/12	43	Church Hall: stage area looking south-west  Church Hall: stage area looking north-east		
45	2/11	45	Church Hall: storeroom behind stage, looking south-west		
			<u> </u>		
46	2/9	46	Church Hall: storeroom behind stage, looking north-east		
47	2/8	47	Church Hall: east side stage passage, looking north-west		

Shot	B&W	Digital	Subject		
48	7	48	Church Hall: detail of window above stage		
49	6	49	Church Hall: hall, entrance to kitchen and serving hatches		
50	5	50	Church Hall: kitchen, looking south-east		
51	4	51	Church Hall: kitchen, looking north-west		
52	3	52	Church Hall: storeroom adjacent to kitchen		
53	2	53	Church Hall: hall, detail of roof light		
54	-	54	Nursery: foundation stone right of main entrance		
55	-	55	Nursery: foundation stone left of main entrance		

Photo locations are shown in Figs 8 and 10 of this report.

A CDROM containing copies of all the digital photos listed above is included in the back cover of this report

## **Appendix 3: ASC OASIS Form**

PROJECT DETAILS						
Project Name:	96 Shenley Road, Borehamwood OASIS reference:					
Short Description:	In November 2010 a programme of h Road, Borehamwood, prior to their der	November 2010 a programme of historic building recording was undertaken on two buildings at 96 Shenley ad, Borehamwood, prior to their demolition and replacement with a new community centre.				
	Located on the Shenley Road frontage at the north end of the site, Borehamwood Village Hall is a single-storey structure of seven bays with extensions to the south-west and south-east, constructed between 1914 and 1934. It has a timber frame, set on brick footings, clad externally with corrugated iron sheeting and internally with wooden panelling. The main building houses the hall and stage, and the extensions contain a kitchen, toilets and storage rooms. The only embellishments are the proscenium arch, and the elaborate cast iron brackets forming part of each roof truss. The building appears to have undergone few changes throughout its long existence.  To the south-east of the Village Hall is the former Nursery, a brick-built structure, partly of two storeys, under a tiled roof, constructed between 1935 and 1966. Its original function was as a cinema and entertainment venue, with a first-floor projection room above the entrance, and a central hall flanked by toilets and other rooms. Its subsequent use as a children's nursery has required only minor alterations to the fabric of the building.					
Project Type:	Building Recording					
Previous work:	none		Site status:	none		
Current land use:	Both buildings disused		Future work:	no		
Monument type:	n/a		Monument period:	modern		
Significant finds:	none					
	PROJECT	LOCATIO	DN .			
County:			rence: (8 figs min)	TQ 1946 9664		
Site address:	96 Shenley Road, Borehamwood, Herts					
Study area: (sq. m. / ha)	n/a Height OD: (metres) n/a			n/a		
	PROJECT	CREATO	RS			
Organisation:	Archaeological Services & Const	ultancy Ltd				
Project brief originator:	Hertsmere BC	Project design originator: n/a		n/a		
Project Manager:	Karin Semmelmann MA MIFA	Director/Supervisor: Bob Zeepvat BA MIFA		Bob Zeepvat BA MIFA		
Sponsor / funding body:	nsor / funding body: Hertfordshire County Council					
	PROJE	CT DATE				
Start date:	November 2010 End date		e:	January 2011		
	PROJECT	ARCHIVE	ES			
	Location (Accession no.)	Content (eg. pottery, animal bone, files/sheets)				
Physical:	Hardfordalder Arabbar	None				
Paper:	Hertfordshire Archives & Local Studies  Site notes, photos, plans, Report,  CD with all digital files		Site notes, photos, plans, Report,			
Digital:						
BIBLIOGRA	APHY (Journal/monograph, publis	shed or for	thcoming, or unpublisl	hed client report)		
Title:						
Serial title & volume:	ASC Ltd Report ref. 1369/BSR/1					
Author(s):	Bob Zeepvat BA MIFA					
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