

# **CABLE STREET WAREHOUSE, LANCASTER, LANCASHIRE**

## **Archaeological Building Investigation**



**Oxford Archaeology North**

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**Cable Street Developments**

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## SUMMARY

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An archaeological building survey of Cable Street Warehouse, Lancaster (SD 4761 6201) was undertaken by Oxford Archaeology North (OA North) in response to the request of the Lancaster City Archaeologist. A level I-type survey was carried out which consisted of a brief physical inspection of the building combined with written and photographic records.

The buildings to the south are known to have been owned by Captain Henry Fell, and at least partially built in *c*1759 by Richard Gillow. The warehouse is thought to relate to these buildings, probably taking advantage of the position of the quay at that time. It was built in an area of Lancaster that was rapidly built on during the expansion of the city in the eighteenth century, and was connected to the quay at this point.

The investigation of the structure revealed that the warehouse had probably been raised in height on more than one occasion, as well as being extended to both the west and north. The east side had been recently remodelled and modernised, with additional partition walls, windows and outshoots added. A probable date of 1791 inscribed into a roof timber on the west side was identified, although it was considered possible that this might be part of a larger timber mark.

Numbers One and Three Cable Street are an extremely significant buildings in terms of the development and expansion of Lancaster and the warehouse demonstrates the connections to the quayside were probably of particular significance. It is not known when the warehouse was first built but it appears to be present in 1778, shortly after the enlargement and remodelling of Numbers One and Three Cable Street.



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## ACKNOWLEDGEMENTS

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Oxford Archaeology North (OA North) would like to extend its thanks to Cable Street Developments for commissioning the work, and to the crew on site for their help and information about the site. Further thanks are due to Andrew White for his additional information.

Chris Wild and Daniel Elsworth carried out the building investigation. The report was written by Daniel Elsworth and Chris Wild, and was edited by Alison Plummer and Carol Allen. Alison Plummer managed the project.

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## 1. INTRODUCTION

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### 1.1 CIRCUMSTANCES OF THE PROJECT

- 1.1.1 The redevelopment of Cable Street Warehouse, Lancaster (SD 4761 6201) by Cable Street Developments was proposed (Fig 1), and it was clear that this would involve the partial demolition and rebuilding of the structure and reorganisation of the interior. Therefore a programme of archaeological investigation was recommended by Lancashire County Council Archaeology Services (LCCAS). This was to consist of a Level I type survey (RCHME 1996).
- 1.1.2 The buildings to the south of the warehouse, Numbers One and Three Cable Street are listed Grade II (Ref. 1685), and are thought to have been built in c1759 for Captain Henry Fell and Mr Samuel Simpson, after designs by Richard Gillow. It is assumed that the warehouse relates to these buildings and was built to make use of its convenient position on the quayside. Due to its historical connections to Numbers One and Three, and its unusual layout, including a central wall dividing it along the apex, the survey was recommended.
- 1.1.3 No brief for the work had been issued by LCCAS, and due to the requirements of the client for work to begin as soon as possible to enable the development to continue, no design was prepared by OA North. The work was carried out in accordance with briefs for similar projects in Lancaster and the surrounding area, following on closely from the survey of Number One Cable Street (OA North 2003).

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## 2. METHODOLOGY

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### 2.1 BUILDING INVESTIGATION

- 2.1.1 **Introduction:** although part of a single structure, Number One and Number Three Cable street are separate buildings, which share a single, essentially symmetrical, frontage onto Cable Street. Number Three has recently been renovated and was not included in the survey. The two properties will, however, often be referred to together as parts are of the same build.
- 2.1.2 **Site Survey:** very brief written records were made of all parts of the building using OA North pro-forma record sheets. These consisted of written description of principal features, elevations and other structural details.
- 2.1.3 **Photographic Archive:** a photographic archive was produced, utilising both black and white and colour slide 35mm prints. Colour digital photographs were also produced where possible. These consisted of general shots of the building, as well as more specific shots of architectural details, fittings and similar.
- 2.1.4 **Interpretation and Analysis:** the written record is very brief and outlines only the principal features of the building. Only a general analysis of the building's development is carried out, particularly in areas where this enhances the description.

### 2.2 ARCHIVE

- 2.2.1 A full professional archive has been compiled in accordance with project designs for similar types of project and in accordance with current Institute of Field Archaeologists and English Heritage guidelines (English Heritage 1991). The paper and digital archive will be deposited with the County Record Office on completion of the project, with a copy of the report deposited with the County Sites and Monuments Record (SMR).

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## 3. BACKGROUND

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### 3.1 HISTORICAL BACKGROUND

- 3.1.1 **Introduction:** the historical background is almost entirely compiled from secondary sources, the majority of which were gathered for the earlier investigation of Number One Cable Street (OA North 2003). There were no historical references relating specifically to the warehouse and so in many cases those referring to the house have been used or retained from the original report (*ibid*).
- 3.2.1 The occupation of Lancaster is thought to have begun in the late Neolithic, and although the evidence consists of only a few discoveries of pottery and flint, many of these have come from stratified deposits within the city (Penney 1981, 9). Bronze Age burials and other stray objects of this period have also been discovered in Lancaster (*ibid*), although they do not give a full picture of the extent of occupation within Lancaster at that time.
- 3.2.2 The development of the town probably did not begin in earnest until the Roman occupation, with a fort probably being established during the late first century AD, although the exact form and extent of this is as yet unknown (Shotter 2001, 7). This fort was possibly abandoned for a short time at the end of the first century, before being extended and then rebuilt in stone at the beginning of the second (*ibid*, 9-10). The surrounding civilian settlement was probably not extensive, and 'perhaps concentrated on what is now China Street, Penny Street and the area between Church Street and the river which, in the Roman period, came much closer to the area presently occupied by the bus station' (*ibid*, 16). The area that is now Cable Street would, at that time have therefore been much closer to the Rive Lune, essentially on its south bank.
- 3.2.3 The later years of the Roman Empire, the third and fourth centuries, were a period of conflict and political strife, of which Lancaster was not excluded (*ibid*, 23). A large new defensive work was constructed, parts of which still survive, now known as the Wery Wall, forming an outer defence around the fort and making, in effect, a defended settlement rather than a stronghold (*ibid*, 25). This appears to have remained in use, presumably acting as a safe haven for the local populace and the harbour at this time of great instability, until the fifth century (*ibid*, 27).
- 3.3.4 Following the decline of Roman administration it is likely that Lancaster continued in use as a settlement, and that the position of Roman buildings and streets affected the layout of the medieval town (White 2001, 33). Unfortunately, archaeological evidence for this period is extremely lacking, and it is not until the seventh centuries and later that physical remains begin to appear (*ibid*, 34). These suggest that Lancaster was influenced by both the Anglian Kingdoms of Northumbria and Mercia, and that an early monastic site may have existed in the vicinity of the castle (*ibid*). Later still the town is likely to have come under some degree of Norse influence, although this is

only identified in a few place-names and cross fragments in the wider area (Penney 1981, 13).

- 3.3.5 In the early eleventh century the area was probably part of the Manor of Halton, controlled by Lord Tosti, which was granted to Roger de Poitou following the Norman Conquest (White 2001, 43). He was banished in 1102 and the manor passed to Stephen of Blois, before finding its way to John, brother of Richard I (*ibid*, 43-44). The first records of expenditure on Lancaster castle relate to this period, although its origins are almost certainly earlier (*ibid*, 44). Closer to the site, a mill is known to have existed from at least 1193 on what is now Damside, the course of the mill race following Damside Street to the west and North Road to the east (Penney 1981, 19). Excavations along Damside have identified Roman and medieval deposits, separated by silt deposits probably left by the changing course of the river or a rise in sea level (LUAU 1991). Cable Street would have probably been within an area of marshy wasteland known as Green Ayre during the earlier part of the medieval period (Penney 1981, 19).
- 3.3.7 A bridge was certainly in place across the River Lune by 1215 (*ibid*, 18) although the present structure was a later construction (OA North 2002a, 8), but by the time of Speed's map of Lancaster (Speed 1610, reproduced in Penney 1981; Plate 7) the area immediately around Cable Street is still undeveloped. There is, however, a rough path marked, crossing Green Ayre north-east/south-west, and bridging the millrace on both sides, which may correspond to the position of Cable Street. By 1684 (Plate 8) the situation appears to have changed relatively little, with little development in the vicinity of what is now Cable Street.
- 3.3.8 By this period Lancaster was beginning to grow and develop, at first due to the influence of the priory church and castle, and then the development of the harbour (Mullett 2001, 73-74). There was a gradual move towards building in stone at the end of the seventeenth century, intended to prevent fire (OA North 2002b, 25), out of which essentially pragmatic act modern Lancaster began to grow. It was during the eighteenth century, however, that the development of Lancaster began to happen on a large and rapid scale, having been relatively unchanged from its medieval form prior to this (Dalziel 2001, 117). Agricultural improvements and greatly increased trade lead to a growth in population and increased prosperity (*ibid*, 118), and this in turn lead to increased investment in shipping and trade (*ibid*, 119). Lancaster inevitably expanded as a result of this prosperity, one of the first developments near what was to become Cable Street was a shipyard established by George Brockbank on Green Ayre, which reached its peak by the end of the eighteenth century (*ibid*, 123-4).
- 3.3.9 ***The Development of Cable Street:*** the majority of Green Ayre was developed in the later part of the seventeenth century, and early to mid-eighteenth, part of a city-wide modernising trend using ashlar sandstone and slate in 'polite' architectural styles (*ibid*, 136). Cable Street itself came about as a result of the construction of Skerton Bridge (1788), which required a wide new road into town, plans for which were in place as early as 1770, but were not drawn up until 1783-4 (*ibid*, 146). The organised layout of the streets presumably mostly

applied to the east end of Cable Street, while at least some buildings at the west end must have already been in place (White 2000, 26). Indeed Buck and Buck's print of 1728 (Plate 12) shows buildings beginning to encroach onto Green Ayre by this time, although the distortion in the scale make it difficult to say exactly which. Numbers One and Three Cable Street are thought to have been built in 1759-60 (White 2000, 41), earlier than the more general development to the east (Dalziel 2001, 146). They certainly appear on Mackreth's plan of 1778 (Plate 9) in much the same arrangement as they are over 200 years later (Ordnance Survey 1893; Plate 10), but it is less clear when the warehouse was constructed. Numbers One and Three were reputedly built by Richard Gillow for Captain Henry Fell and Mr Samuel Simpson (White 2000, 41). Henry Fell was a port commissioner, and may have been a relative of Gillow, and this is perhaps why the buildings were so early compared to the larger developments to the east. It is possible that Captain Henry Fell was reusing a house already on the site, built by an ancestor, although evidence for exactly who this ancestor was has been elusive (Garnett 1999, 100).

3.3.10 Number One Cable Street seems to have changed hands several times following this. There is no record of Henry Fell by 1824 (Baines 1824), and by 1881 it was the home of Joseph Smith, a corn merchant (of the company Walmsley and Smith) (Mannex and Co 1881, 107). In 1899 it was the home of a Mr JW Wearing (Watson and Co 1899, 100). It was evidently still a home of some standing at this time as Mr Wearing, who was still resident, is described as a Borough Magistrate in 1905 (Kelly's Directories Ltd 1905). By 1913, however, it is the home of a Mr John Jackson (Kelly's Directories Ltd 1913, 595), before changing hands again by 1934, becoming the home of Mr William B Horsfield (Frank N Shire Ltd 1934, 61). It is not until the late 1950s that it stops being used for residential purposes, becoming the offices of the Lunesdale Farmers Ltd (County Publicity Ltd 1959, 50). It is less clear what function the warehouse was performing at this time, however, but it is likely to have retained links with the houses to the south. The extension to the west, and possibly that to the north, were probably built during this time.

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## 4. RESULTS

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### 4.1 BUILDING INVESTIGATION

- 4.1.1 **Introduction:** the warehouse is divided into two halves, east and west. The eastern half is currently occupied by the Deaf Club (Plate 2), and consists of two storeys and a small roofspace accessible from a small aperture cut into the north elevation. The west half is a single, large open space, with modern partitions and raised floor levels recently added. There is a further stone extension on the north end of the west side, and the west side of the warehouse is partially incorporated into a brick garage.
- 4.1.2 **Fabric:** the majority of the building is constructed in roughly dressed courses of dark yellow sandstone, with some smaller details and repairs in brick, although the fabric of modern extensions could not be ascertained. The roof is slate, over timber, and the floors consist of concrete, where exposed.
- 4.1.3 **External detail:** the south, gable, elevation is partially blocked by Number One Cable Street, on the east side but retains two loading bay doorways above a wider wagon doorway with an iron lintel (Plate 1). The west elevation is obscured as it is incorporated into an adjoining brick garage. The north elevation is the opposing gable, and retains loading bay doorways in both east and west sides (Plate 3), most of which have been blocked with stone. Those on the east side are well defined, with large quoins, although the original corbels have been broken off, while on the west side the corbels remain, along with timber elements of the hoist. One of the doorways in the west side is unblocked, and a small aperture has been inserted into the top of the east side to allow access to the roofspace. At the base of the east side is a further blocked doorway originally allowing access into the building. Butting onto the east side of the north elevation is a single storey stone-built shed, with a half-hipped north gable. The east elevation (Plate 2) has been extensively modernised and rendered, with an outshoot added at the south end for a fire escape, and a porch to the doorway at the north end. There are two small, narrow windows on the ground floor, almost certainly modern insertions, and three on the first floor with modern oriel-style surrounds, and further windows in the porch and outshoot.
- 4.1.4 **Internal detail:** the east half of the warehouse is split into two floors both recently modernised. The ground floor consists of a single large room at the north end, divided from the southern end by partition walls, which form a kitchen, bar and utility rooms, as well as providing access to the stairs and fire escape. The first floor consists essentially of a single large room, with limited partition walling at the south end probably forming the back of Number Three Cable Street, although it was not possible to gain full access. It was evident that the size of the room was not as large as the size of the warehouse.
- 4.1.5 There is a further small roofspace above the first floor, which has not been modernised. The north, south and west walls were constructed of sandstone, with some pieces of timber built into the northwest corner (which are not

evidently structural and may be reused, although the piece in the north elevation may correspond to a small aperture), while the east wall was eventually rebuilt or extended in brick, in rows of stretchers interspersed with rows of headers. Three large trusses consisting of a tie beam built into opposing walls and a single principal rafter supported the roof, each showing signs of some hand finishing and with chamfered edges. These supported four purlins, one of which has what appears to be a date of 1791 inscribed into it, but the proximity of obvious timber marks (Plate 4) cast some doubt on this. An additional horizontal bracing beam is attached to the northernmost principal rafter. The floor of the roof space consists of a thick concrete skim, very close to the undersides of the tie beams.

- 4.1.6 The west half of the warehouse has been less modernised and several phases of alteration are visible. It is clear that the original height of the walls was much lower, only 3.6m, and the remains of corbels and cut tie beams are visible (Plate 6), originally totalling five trusses, three of which were on corbels. A later change in the roof height raised it by another 2.5m, and corbels relating to this survive in both elevations. The wall thickness in all cases is reduced compared to that in the lowest level. Within the later garage extension to the west the trusses slope upwards to the east and consist of a king post with inclined bracing struts bolted to the tie beam (Plate 5).



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## 5. DISCUSSION

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### 5.1 THE BUILDING

5.1.1 **Introduction:** as work had already begun in part of the building many areas were obscured by new partition walls and inserted raised floor levels, some damage had also been caused to the building by the insertion of doorways. Within the Deaf Club all of the walls were finished with modern plaster and paint, and several internal stud walls had been added.

5.1.2 **Discussion:** it is clear from this limited survey that the warehouse has been altered on several occasions. In particular the wall height has been changed more than once, and the east side has been extended into later adjoining buildings. The west side may have had similar alterations made to it but recent modernisation and reorganisation of the interior have made this impossible to ascertain. It is clear in the roof space, however, that there has been some rebuilding in brick to the east wall, and perhaps some reuse of materials in the west and north. The apparent date mark of 1791 is not entirely convincing, and may simply be part of a series of Baltic timber marks. Similar marks were identified in buildings on Church Street in Lancaster (LUAU 1999), and are thought to date to the mid-nineteenth century (Brown 1885), although imports from the Baltic were coming into Lancaster as early as the eighteenth century (White 2000, 26). The use of numbers to mark timbers for reasons other than giving a date is known from other examples too, such as carpenter's marks (Plate 11).

### 5.2 HISTORICAL SETTING AND SYNTHESIS OF RESULTS

5.2.1 It is difficult to place the construction of the warehouse into the wider context of buildings in this part of Lancaster because its function means it has inevitably received less attention than some other buildings. It is assumed that it had a direct relationship with Numbers One and Three Cable Street (White 2000, 41), and certainly its close proximity would suggest this was the case. Captain Henry Fell, who jointly built Numbers One and Three Cable Street, was a port commissioner and possibly a relative of the architect Richard Gillow (who carried out the work) (OA North 2003). Number One Cable Street was probably built onto an earlier house, which most likely belonged to an ancestor of Captain Henry Fell (*ibid*), and it is conceivable that with his connections to the port he took advantage of this advantageous position when making additions to his home. It is not known exactly when the warehouse was built as the date of 1791 is not entirely reliable, see section 5.1.2, but it is shown on Mackreth's Plan of 1778 at which time it backs directly onto the quay. At this point it is one of very few buildings on that section of the quay, and it was most probably influential in encouraging further development in this direction (OA North 2003).

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## ILLUSTRATIONS

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### FIGURES

Figure 1: Site Location Plan

### PLATES

Plate 1: South external elevation of warehouse, looking north

Plate 2: East external elevation of warehouse comprising Deaf Club, looking southwest

Plate 3: North external elevation of warehouse, looking southwest

Plate 4: Possible date mark in roof timber

Plate 5: Trusses within brick garage to west of warehouse, looking north

Plate 6: Corbel supporting remains of truss, with wall plate behind, in east elevation of west half of warehouse, looking northeast

Plate 7: Speed's map of 1610

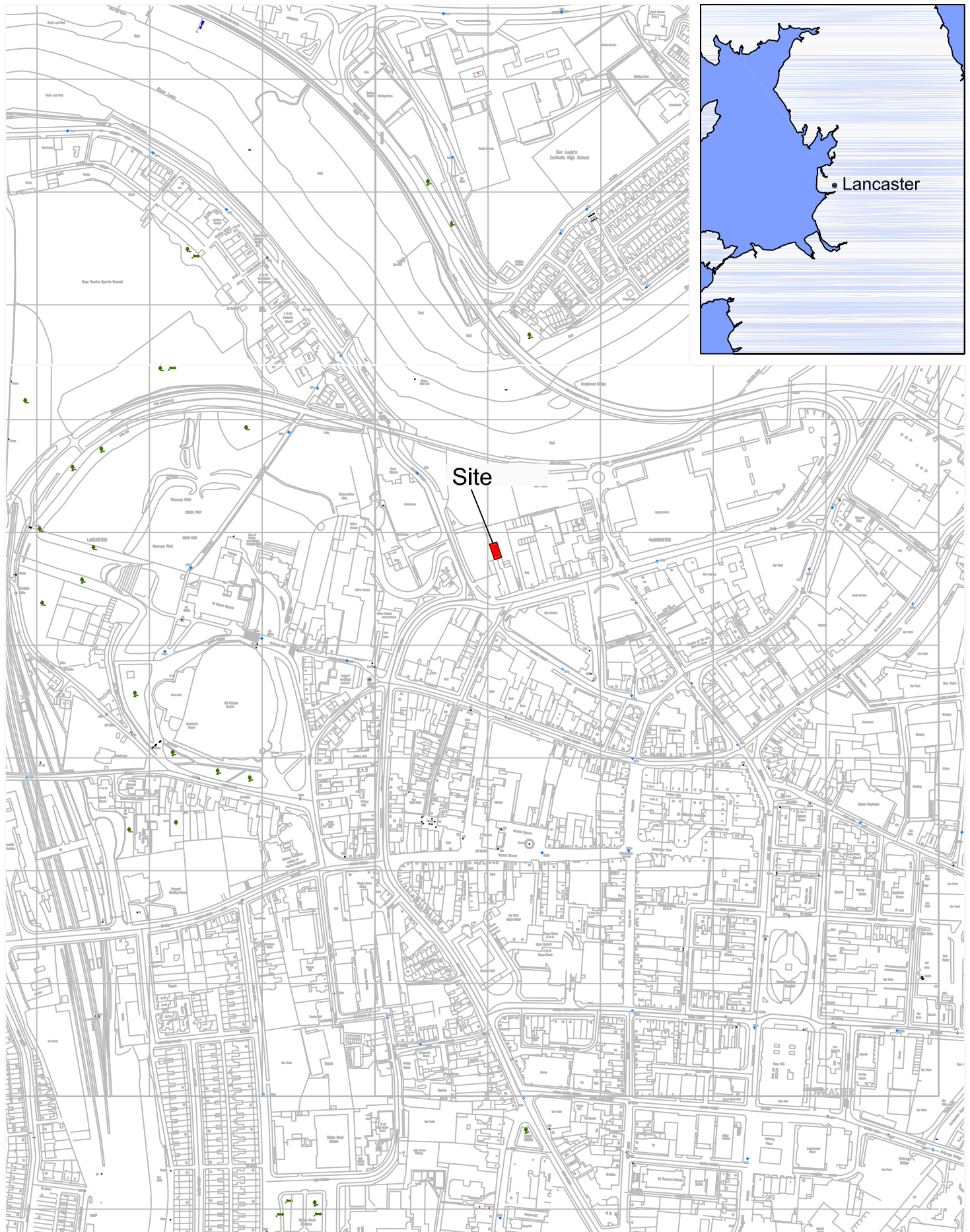
Plate 8: Plan of 1684 (after Docton 1954)

Plate 9: Mackreth's Plan of 1778

Plate 10: Ordnance Survey 1<sup>st</sup> Edn, 25" : 1 Mile, 1893

Plate 11: Carpenter's marks from Melville House, Fife (From Brunskill 1999, Fig 48)

Plate 12: Buck and Buck's print of 1728



based upon the Ordnance Survey 1:5000  
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0 100m

Figure 1: Site Location Plan



Plate 1: South external elevation of warehouse, looking north



Plate 2: East external elevation of warehouse comprising Deaf Club, looking southwest





Plate 3: North external elevation of warehouse, looking southwest



Plate 4: Possible date mark in roof timber



Plate 5: Trusses within brick garage to west of warehouse, looking north



Plate 6: Corbel supporting remains of truss, with wall plate behind, in east elevation of west half of warehouse, looking northeast



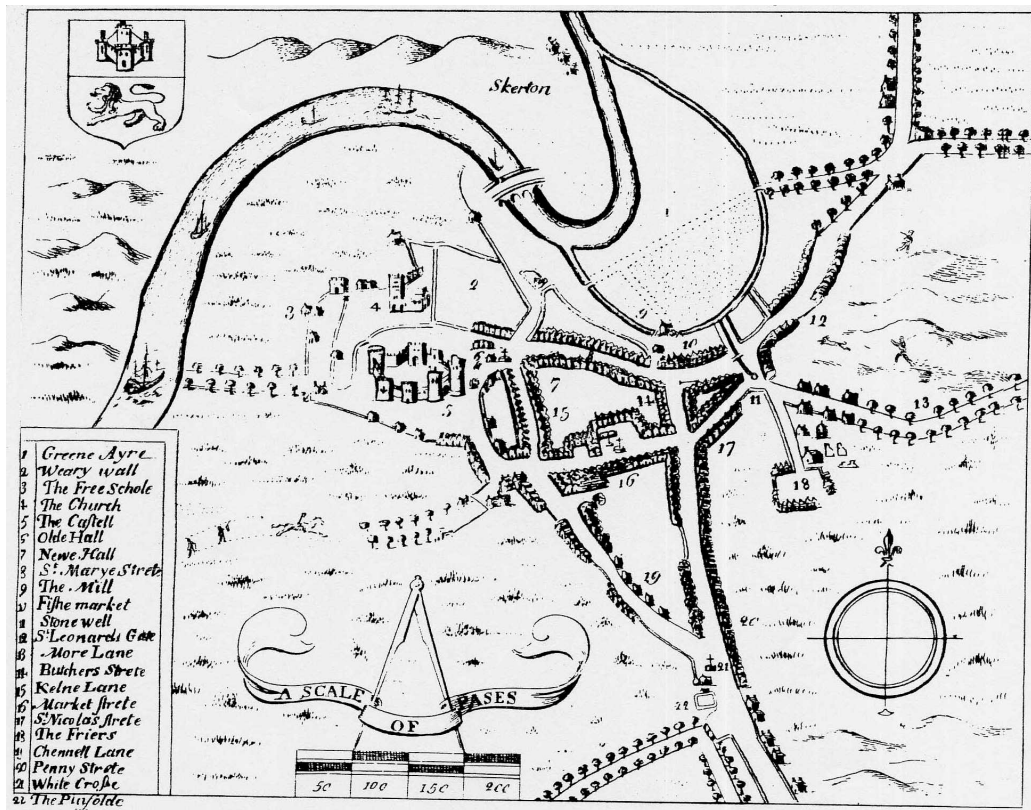


Plate 7: Speed's map of 1610

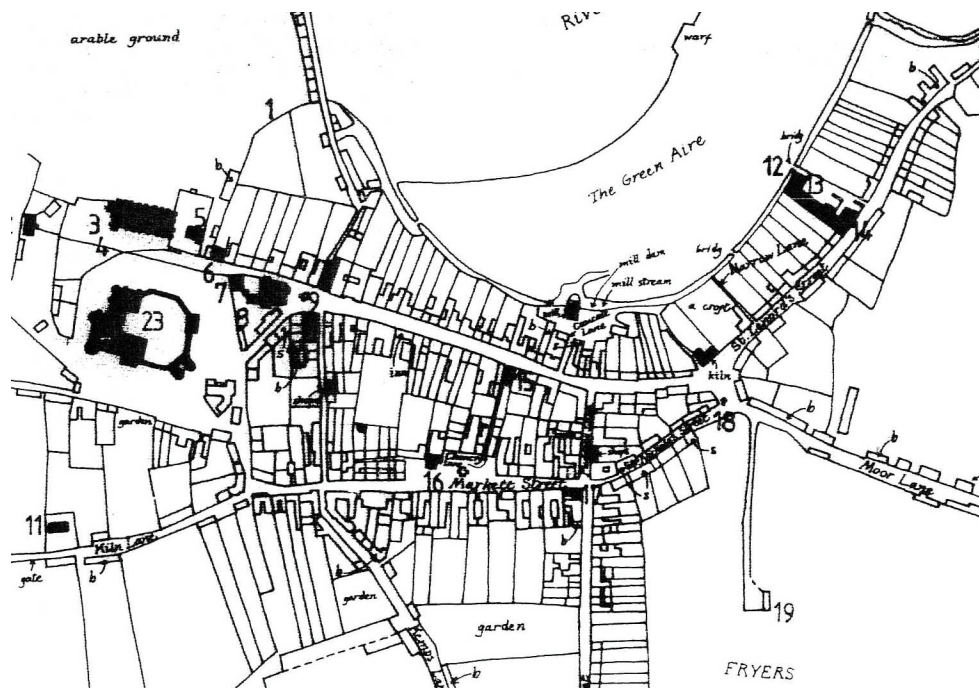


Plate 8: Plan of 1684 (after Docton 1954)

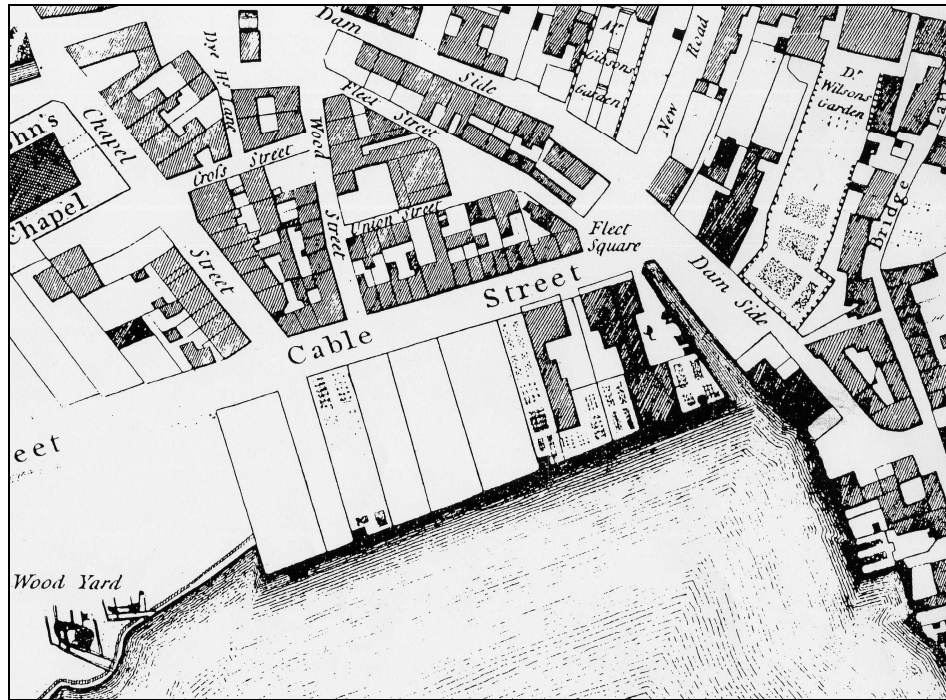


Plate 9: Mackreth's Plan of 1778

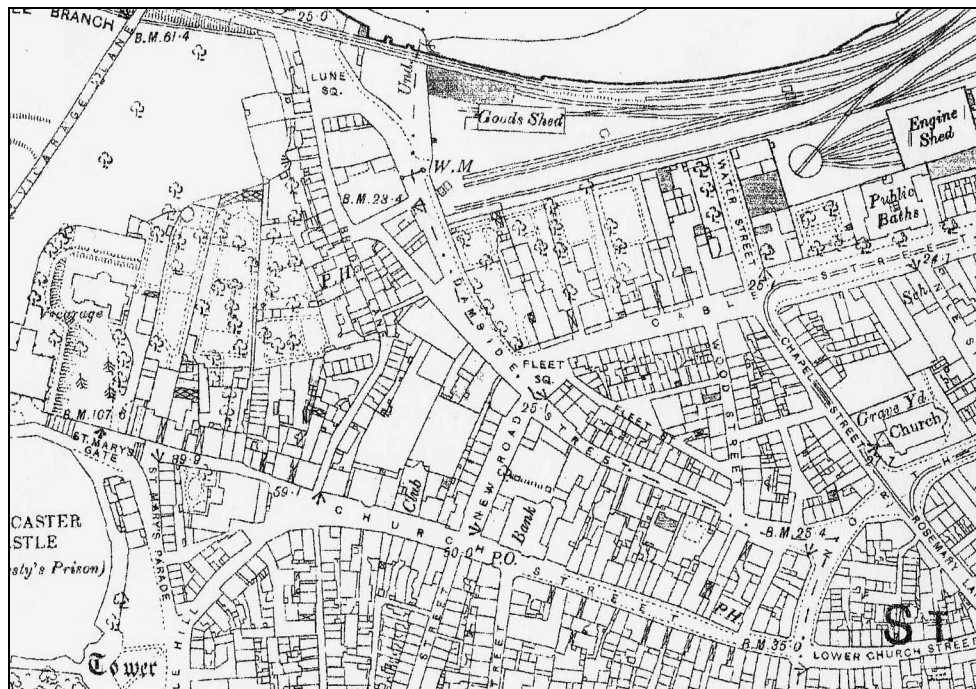


Plate 10: Ordnance Survey 1<sup>st</sup> Edn, 25'' : 1 Mile, 1893



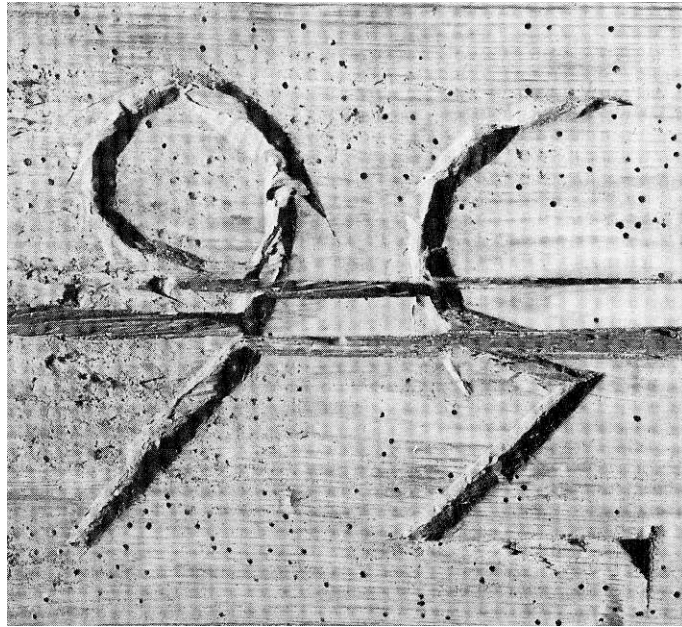


Plate 11: Carpenter's marks from Melville House, Fife (From Brunskill 1999, Fig 48)



Plate 12: Buck and Buck's print of 1728

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## APPENDIX 1: PROJECT DESIGN

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**January 2003**

**CABLE STREET WAREHOUSE AND DEAF CLUB  
ARCHAEOLOGICAL BUILDING INVESTIGATION  
PROJECT DESIGN**

***PROPOSALS***

*The following project design is offered in response to a request from Cable Street Developments for an archaeological building investigation of the Cable street warehouse and Deaf Club, Lancaster, during and in advance of conversion to residential accommodation.*

## 1. INTRODUCTION

- 1.1 Development proposals have been put forward by Cable Street Developments Ltd (hereafter the client) for the conversion of the warehouse and deaf club on Cable Street, Lancaster into residential accommodation. The proposed development will affect the character and appearance of the buildings, which were historically one structure and consequently subdivided. In their original form the two properties are believed to have been the earliest recorded brick building in Lancaster.
- 1.2 Lancaster City Council has approved an application for planning permission subject to an archaeological programme of works being carried out. Lancashire County Archaeology Service (LCAS) has issued a verbal brief for an archaeological building investigation. This document has been written to comply with the brief.
- 1.3 Oxford Archaeology North (OA North) has considerable experience of the recording of historic buildings together with evaluation and excavation of sites of all periods, having undertaken a great number of small and large scale projects during the past 20 years. Fieldwork has taken place within the planning process and construction programmes, to fulfil the requirements of clients and planning authorities, to very rigorous timetables. OA North has recently undertaken the recording of Hilltop Barn, Longridge, Higher Hills, Tockholes, the Old Post Office Barn near Burscough, Lower Alston Farm, and Ashton Hall Barn, all in Lancashire, as well as several other agricultural buildings further afield.
- 1.4 OA North has the professional expertise and resource to undertake the project detailed below to a high level of quality and efficiency. OAN and all its members of staff operate subject to the Institute of Field Archaeologists (IFA) Code of Conduct. **OA North is an IFA registered organisation, number 17.**

## 2. OBJECTIVES

- 2.1 The objectives of the building investigation are to provide a photographic and descriptive record of the buildings, prior to further conversion being carried.
- 2.2 To achieve the objectives outlined above the following listed specific aims are proposed.
  - (i) To provide a visual record of the buildings to RCHM(E) Level I-type survey;
  - (ii) To relate the development of the buildings to their local setting.

## 3. WORK PROGRAMME

- 3.1 In line with the objectives and stages of the archaeological works stated above, the following work programme is submitted:

- 3.2 ***Desk-based Assessment:*** a brief documentary search will be undertaken.
- 3.3 ***Building Survey:*** to undertake a visual inspection of the buildings to Royal Commission on Historic Monuments England (RCHM(E)) level I-type survey.
- 3.4 ***Report and Archive:*** a report will be produced for the client within eight weeks of completion of the fieldwork. A site archive will be produced to English Heritage guidelines (MAP 2) and in accordance with the *Guidelines for the Preparation of Excavation Archives for Long Term Storage* (UKIC 1990).

## 4. METHODOLOGY

### 4.1 DESK-BASED ASSESSMENT

- 4.1.1 A brief assessment of material held in the Lancaster City Museum and Reference Library will be undertaken in order to attempt to determine the origins and architect for the two properties. There is no requirement to undertake a detailed historic background or map regression.

### 4.2 BUILDING INVESTIGATION

- 4.2.1 ***Photographic Archive:*** a photographic archive will be produced utilising a 35mm camera to produce both black and white contact prints and colour slides. The archive will comprise general shots of the both buildings (both internal and external where possible) and their surroundings, and detailed coverage of architectural features.
- 4.2.2 ***Site Drawings:*** architects drawings (to be provided by the client) will be annotated to produce a sketch floor plan of the buildings. The sketch will be digitally scanned for production in the report.
- 4.2.3 ***Interpretation and Analysis:*** a visual inspection of exterior of the warehouse and both exterior and interior detail of the deaf club will be undertaken utilising the OA North buildings proforma sheets. An outline description will be maintained to RCHM(E) Level I-type survey. This level of recording is essentially a visual record supplemented by the minimum of information needed to identify the building's location, age and type.
- 4.2.4 ***Access and Attendances:*** the client will be required to arrange access to both the warehouse and deaf club.

## 5. REPORT

- 5.1 The assessment will be submitted in report format, illustrated with the relevant drawings. The report will include account of the buildings past and present use and attempt to relate these findings to its local setting.
- 5.2 One bound and one unbound copy of the report will be submitted to the client. The Lancashire Sites and Monuments Record and the County Archaeologist will also be sent a copy of the report, which will be provided both as paper

copy and in a suitably digital form on 3.5" 'floppy' disk or CD. A copy of the report will also be supplied to the Local Planning Authority responsible for the planning decision. Any subsequent work arising from this survey will be subject to separate consideration in liaison with LCAS and the client.

- 5.3 The report will be in the same basic format as this project design. Copies of the brief (if applicable), project design project management records will be included. A copy of the report will be provided on 3.5" IBM compatible disk in either ASCii or windows format if required.

## **6. ARCHIVE**

- 6.1 The results of the building investigation will form the basis of a full archive to professional standards, in accordance with current English Heritage guidelines (*Management of Archaeological Projects*, 2nd edition, 1991). The project archive represents the collation and indexing of all the data and material gathered during the course of the project. It will include summary processing and analysis of any features and finds recovered during fieldwork, in accordance with UKIC guidelines. The deposition of a properly ordered and indexed project archive in an appropriate repository is considered an essential and integral element of all archaeological projects by the IFA.
- 6.2 The paper archive will be deposited with the County Record Office. A copy of the report will be deposited with the Lancashire SMR.
- 6.3 All finds will be treated in accordance with OA North standard practice, which follows current IFA guidelines.

## **7. HEALTH AND SAFETY**

- 7.1 OA North considers health and safety to be of paramount importance on all their projects. OA North has considerable experience in applying modern health and safety practices in large and small-scale archaeological projects.
- 7.2 OA North provides a Health and Safety Statement for all projects and maintains a Unit Safety policy. All site procedures are in accordance with the guidance set out in the Health and Safety Manual compiled by the Standing Conference of Archaeological Unit Managers (1996 rev.). A written risk assessment will be undertaken in advance of project commencement and copies will be made available on request to all interested parties.
- 7.3 The client would be asked to determine the nature of the utility services to both properties prior to any fieldwork being carried out.

## **8. CONFIDENTIALITY**

- 8.1 The report is designed as a document for the specific use of the Client, for the particular purpose as defined in the project brief and this project design, and should be treated as such; it is not suitable for publication, save as a note, without amendment or revision. Any requirement to revise or reorder the



material for submission or presentation to third parties beyond the project brief and project design, or for any other explicit purpose, can be fulfilled, but will require separate discussion and funding.

- 8.2 Any proposed variations to the project design will be agreed with LCAS in co-ordination with the Client. OA North will arrange a preliminary meeting, if required, and LCAS will be informed of the commencement of the project in writing.

## **9. TIMETABLE**

- 9.1 OA North could commence the building investigation within two weeks of receipt of written notification from the Client. OA North would be able to submit the survey report to the client within eight weeks of the completion of the fieldwork although a shorter deadline can be negotiated.
- 9.2 The project will be under the management of **Alison Plummer** BSc (Hons) (OA North Project Manager) to whom all correspondence should be addressed.
- 9.3 The project will be supervised in the field by a suitably qualified member of OA North's staff to be determined when the start date is known in order to take in account of OA North's already programmed commitments.

## **10. INSURANCE**

- 10.1 OA North has both professional indemnity and public liability insurance. Details will be sent if required.

## 11. PROJECT COSTINGS

### Building Investigation Costs:

<b>Total</b>	<b>£ 980.00</b>
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The total cost quoted is a fixed price, inclusive of all management, overheads, and other disbursement costs (travel and expenses), to undertake the programme of work as defined in this project design. Any other variations from this programme of work at the clients' direction will require recosting.

Normal OA North working hours are between 9 am and 5.00 pm Monday to Friday, though adjustments to hours maybe made to maximise daylight working time in winter and to meet travel requirements. It is not normal practice for OAN staff to be asked to work weekends or bank holidays and should the client require such time to be worked during the course of a project a contract variation to cover additional costs will be necessary.

#### Notes:

1. Salaries and wages inclusive of NI, Superannuation and overheads
2. Total costs exclusive of VAT
3. All costs at 2002/2003 prices