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**Riddle's Court, Lawnmarket,
Edinburgh**

Historic Building Survey

Report No. 2164

 0131 273 4380

 0131 273 4381

 info@cfa-archaeology.co.uk

 www.cfa-archaeology.co.uk

CFA ARCHAEOLOGY LTD

The Old Engine House
Eskmills Business Park
Musselburgh
East Lothian
EH21 7PQ

Tel: 0131 273 4380
Fax: 0131 273 4381
email: info@cfa-archaeology.co.uk
web: www.cfa-archaeology.co.uk

Authors	Michael Cressey HND BA MSc PhD MifA FSA Scot Charles McKean FRSE FRSA Hon FRIAS Hon FRIBA Hon FRSGS Hon DLitt FSA Scot Alasdair Ross, MA PhD
Illustrator	Leeanne Whitelaw BSc MifA
Editors	Sue Anderson BA MPhil MifA FSA Scot Tim Neighbour BSc FSA Scot
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**Riddle's Court, Lawnmarket,
Edinburgh
Historic Building Survey
Report No. 2164**

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1. INTRODUCTION

1.1 General

This report presents the results of an archaeological standing building survey carried out by CFA Archaeology Ltd (CFA) between November and December 2012 at Riddle's Close, Lawnmarket, City of Edinburgh (NT 22562 7352, Fig 1). The project is based on a Written Scheme of Investigation approved by LDN Architects on behalf of the Scottish Historical Buildings Trust (SHBT). The SHBT required an historic buildings analysis to be carried out in order to achieve a better understanding of the building's historic development and to inform a future Conservation Management Plan and Heritage Impact Assessment.

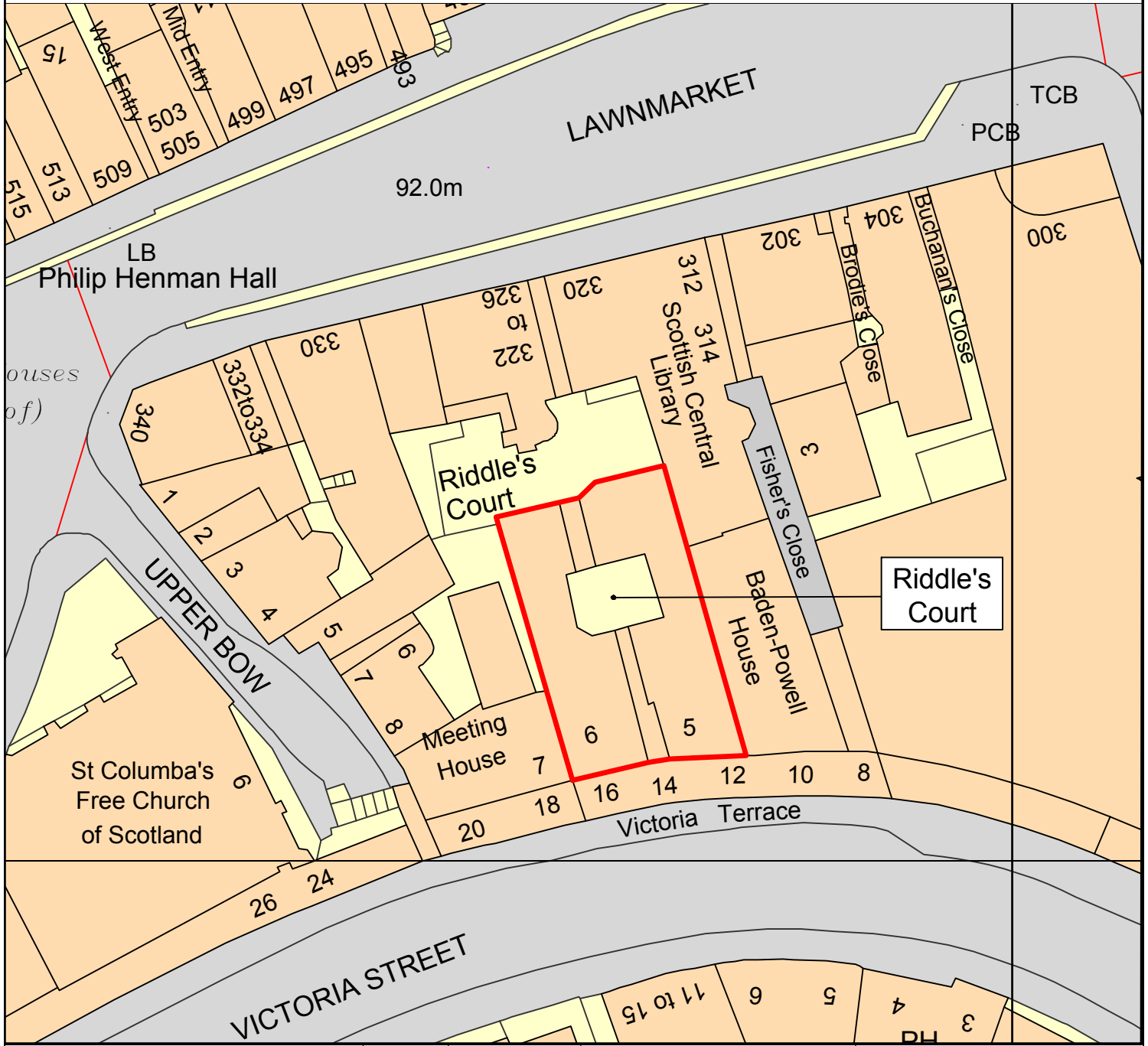
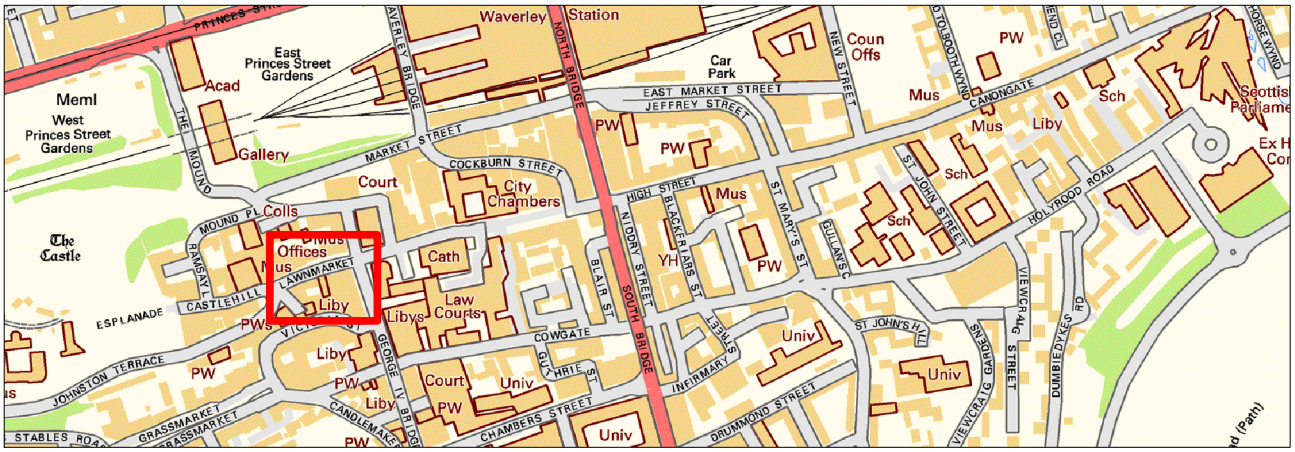
A site visit was conducted by Dr Mike Cressey and Tim Neighbour (CFA) and Dr Alasdair Ross (Stirling University) to assess the scale and character of the building and to inform the Written Scheme of Investigation (WSI). This document was written in consultation with an Historical Building Analysis Brief produced by LDN and the SHBT (LDN Architects 2012). A Conservation Statement (Wright 2009) also informed the WSI.

1.2 Background

Riddle's Court is a significant A-listed building situated on the Royal Mile in the Old Town of Edinburgh close to Edinburgh Castle. Dating from the sixteenth century, the building complex is one of the finest surviving burghal residences within the Edinburgh World Heritage Site. Riddle's Court comprises the more southerly surviving set of buildings in two parts from what is known as Riddle's Land at Nos 322–328 Lawnmarket. At the heart of the Court are two L-shaped properties, the north block (the fore tenement) situated behind the Lawnmarket shop frontages with access to the main internal courtyard through a pend off the Royal Mile. The south block (the back tenement) overlooks Victoria Street.

The northern block is currently occupied by the Workers' Education Association (WEA) and is three storeys with a connecting two-storey east block. Importantly, the north block contains a room with a late sixteenth-century painted tempura ceiling thought to date from the time of the King James VI banquet and a room above with a seventeenth-century plaster ceiling which held the nineteenth-century Norie painted panels. The south block comprises a large ground floor hall providing space for public events. The first and second floor includes additional meeting rooms with the top or mezzanine floor providing offices for the SHBT. The south block basement accessed from 6 Victoria Street is rented to 6VT, a youth cafe.

In September 2011, following the outcome of an Options Appraisal for the re-use of the buildings, the SHBT took up tenure of the complex in order to redevelop the property into the proposed Patrick Geddes Centre for Learning and Conservation. Proposals are in place to enable the refurbishment of the building to modern standards and improve access and circulation within the building. The proposed refurbishment will upgrade existing office accommodation; provide residential accommodation and learning and exhibition space. SHBT have overall responsibility for managing and co-ordinating the project development. LDN Architects are responsible for design and leading the refurbishment works.



Key:	Fig No: 1	Revision: 0	Client: LDN on behalf of SHBT
	Title: General Location Plan		
	Project: Riddle's Close, Lawnmarket, Edinburgh Historic Building Survey		
Scale at A4: 1:500			

CFA
ARCHAEOLOGY LTD

CFA ARCHAEOLOGY LTD
The Old Engine House
Eskmills Park
Musselburgh
East Lothian, EH21 7PQ

t: 0131 273 4380
f: 0131 273 4381
e: info@cfa-archaeology.co.uk
w: www.cfa-archaeology.co.uk

Drawn by: LW	Checked: LW	Report No: 2164
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During the compilation of the Conservation Statement for Riddle's Court, Andrew Wright's research identified significant gaps in the historical development of the building (Wright 2009). These gaps arose from a lack of understanding about the physical development of the building complex before 1890, and in particular its sixteenth and seventeenth-century plan form when the building was known to have been altered as ownership and occupancy changed hands. The Conservation Statement also highlighted the limitations of the documentary resource in establishing the early origins of the building, especially throughout its early phases of use, which was mainly due to the lack of detailed supporting cartographic evidence. Subsequent development changes have left several anomalies in the current layout of the building complex, including a variety of differing floor levels, truncated staircases, differing floor to ceiling heights and room dimensions, and architectural features surviving from different periods which are not as yet fully understood.

1.3 Objectives

The objectives of the project were:

Historical documentary research

- to carry out a comprehensive review of the existing sources supplemented by further documentary research and analysis of the building fabric
- to carry out comparative analysis of Old Town domestic architecture and feu arrangements to provide an account of the early building phases and layout combined with analysis of the physical evidence of the building to provide a picture of its early development
- to conduct a review of the Dean of Guild archives to build a picture of the feu arrangements and early building forms

Buildings analysis

- to provide a detailed understanding of the building's evolution and main phases of development drawing on the results of the existing and new historical documentary research results
- to identify and catalogue key architectural features that survive from various building phases
- to provide a detailed understanding and reasoning to account for the differences in floor to ceiling heights and scale of rooms throughout the building and the logic of the various existing and previous staircases
- to provide sequential colour-coded phase development plans and descriptions of the building, and highlight significant architectural features that will expand on the known development models of the complex
- to inform the assessment of significance of the building from the Conservation Statement which will be updated in the light of the findings of the historic buildings analysis
- to inform the design proposals and Heritage Impact for the redevelopment of Riddle's Court.
- to inform the interpretation of the building

2. METHOD STATEMENT

2.1 General

CFA follows the Institute of Archaeologists' Code of Conduct, Standards and Guidelines for standing building recording as appropriate, and recording protocols outlined by English Heritage (2000 and 2008).

The following six stages were proposed to complete the historic building survey and required analysis:

- | | |
|---------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| STAGE 1 | Historical analysis of the available documentary sources outlined in Section 4 by CFA's consultant historian, Dr Alasdair Ross. |
| STAGE 2 | Compilation of previous phase development drawings, previous surveys housed in the SHBT and information gained from STAGE 1 analysis. |
| STAGE 3 | On-site cataloguing of external architectural features produced by LDN Architects surveyors
On-site analysis of existing floor layouts by CFA's historic building surveyor, Dr Mike Cressey, and architectural historian, Prof. Charles McKean, in order to develop the phase-development model |
| STAGE 4 | Analysis and reporting of on-site structural survey data and historical documentary survey, and compilation of the Schedule of Architectural Irregularities |
| STAGE 5 | Production of the illustrated draft report with recommendations for informing the design proposals updating the Conservation Statement and Heritage Impact Assessment |
| STAGE 6 | Production of the final report following comments on Stage 5. |

2.2 Building Survey

Feature recording (Stages 2–3)

As part of the survey the following were carried out:

- detailed examination of plans, records, photographs and survey drawings
- preparation of a Schedule of Irregularities (eg walls not on line/inserted features/features likely to reflect re-use from elsewhere)
- provisional evolution of the site based on the above
- detailed examination of the building on site against the Schedule, including the addition or removal of original early or intrusive later features
- reconsideration and graphical analysis of the evolution of site against any new discoveries.

Standard CFA building survey recording forms were completed for each individual room examined and checks were made on floor to ceiling heights previously established by Loys Surveys Ltd using a Leica Distometer. These were found to be accurate in all cases.

Photographic survey

A comprehensive photographic survey was carried out to record the complex in its current setting and to record details of key architectural features considered to be of historical or archaeological interest.

CFA used a Nikon D100 (12 megapixels) to obtain high-resolution digital photographs of specific architectural features. A register listing the photographs taken is included in Appendix 6. Where possible each room was photographed on its NE–SW quadrant. General photographs were taken in more confined spaces such as cupboards, staircases and roof spaces. The orientation of each photograph is recorded on the photo-location plans (Figs in Appendix 19).

Visual inspection and analysis

A room-by-room inspection was carried out by the survey team in order to identify architectural features considered curious, which included features not in keeping with normal architectural order, including breaks in construction, bulges or misalignment of walls, insertions and historical alterations. This work resulted in the compilation of a table of irregularities on a floor-by-floor basis. The list provides some clues and answers to how the complex changed over time. Not all the irregularities can be addressed without intervention work and the removal of modern finishes.

Time was spent on site assessing the draft stage drawings to interpolate areas of 20th-century interventions and the potential for features, currently hidden by finishes, that may in future be exposed by the conservation works.

Contextualisation of the existing elevation drawings was also undertaken during the survey using the LDN elevation drawings. These were found to be both accurate and suitable for the purpose of this report.

Wall thickness analysis

Wall thickness analysis was carried out based on the architect's drawings. Superimposition of the floor plans in CAD provided information on the juxtaposition of wall thickness through the building. The results proved to be useful in assessing how the structural integrity of the building has changed and how some walls might have been altered or thinned.

Roof space inspections

Partial access was gained to three roof spaces within the complex, including one area within the north block and two areas in the south block. Photographs and notes were taken on the character and layout of the roof timbers, noting the type of wood used in roof construction and its potential for dendrochronological dating. On the grounds of health and safety, no formal metric survey was carried out within any of the roof spaces.

2.3 Ground Penetrating Radar Survey

Sue Ovenden

In February 2013 a ground penetrating survey (GPR) survey was undertaken. A full report on the GPR survey is presented as Appendix 20.

Two primary areas were investigated using GPR: the Inner Court and the Outer Court. Survey was carried out with the aim of locating cellars, culverts and drains in the Inner Court and wall footings and building remains in the Outer Court. A further small area of survey was carried out within the building over the floor of ground floor East Link (G06) and GPR traverses were collected over the floor of Basement Rear Office (B07) and against two walls; Ground Floor Fireplace between Lobby (G07) and East Link (G06) and Ground Floor Fireplace Between Ladies Toilets (G10) and Pigsty (G02).

3. REVIEW OF PREVIOUS RESEARCH

3.1 General

This section summarises the previous studies that have been carried out at Riddle's Court. The most recent studies that are pertinent to the study of the development of the building have been examined. The review does not include the wealth of leaflets and pamphlets produced by the SHBT to inform members of the public visiting the site.

3.2 Royal Commission on Ancient and Historical Monuments of Scotland (RCAHMS)

As part of the Inventory of Monuments in Edinburgh, the Royal Commission on Ancient and Historical Monuments (RCAHMS) carried out a survey of Riddle's Court and its associated Close in 1951. The plan supported a detailed description of the architectural character of the complex. The descriptions include the statement that the internal arrangement of the inner courtyard is intricate and difficult to analyse. They recognised that there was no way of showing the multitude of different periods of intervention, stating that so much alteration has taken place that it would not be possible to assign any particular part to a given date without having the walls stripped.

The report assigns broad dates to the evolution of the court. The core block is defined as sixteenth-century with four houses facing the main street, those at either end presenting one side of the thoroughfare while the two central ones each presented a gable. The frontage lines of all four were several feet further south than at present. Behind these buildings rose others, grouped round two courtyards and adjusted to the slope of the ground. In the seventeenth century, the buildings around the courtyard were remodelled and a wing was inserted on the east side of Riddle's Court. At some time before 1742 the south side of Riddle's Court was extended southwards beyond its present limits.

3.3 Options Appraisal for Riddle's Court by the Cockburn Conservation Trust

An Options Appraisal report was formulated in 2009 by the Cockburn Conservation Trust (CT). This illustrated document explored a range of five potential uses for Riddle's Court and it was clear from their assessment that the best option for the complex was as a multi-functional learning centre. Other uses for the complex, including office suites and private residential, were considered inappropriate given the significance of the building, and were not viable because of the considerable conservation deficit of the building, or difficulties in funding.

The potential to redevelop the building as a Learning Centre, with arts, heritage and culture being key cross-cutting themes operated by a range of users in partnership, was considered to be the only appropriate and viable way forward for the building. This proposal was judged to provide a long-term sustainable future for Riddle's Court whilst retaining and enhancing the building's significance through extensive repair and restoration, and through its proposed re-use (CT Section 13.1).

3.4 Riddle's Court Conservation Statement 2009

The Conservation Statement (CS) produced by Andrew PK Wright (2009) brings together within a single bound volume the sheer breadth of historical and architectural information on Riddle's Court. The early historical development of Baillie McMorrans House is explored in conjunction with findings of Robin Tait (CS Appendix 7.2) which is based on historical documentation that included descriptions of backland ownership and protocol records. Riddle's Court's development between 1650 and 1895 is explored, concentrating on the conversion of the complex into university halls of residence by Patrick Geddes.

Both the Statutory List and the data produced by RCAHMS were reviewed in the light of the site's history. An evaluation of the key cartographic sources was also undertaken (Appendix 17). An analysis of the phased drawings produced by RCAHMS was considered against site inspections and comparisons with historical sketches and late nineteenth and early twentieth-century photographs in the SHBT historical archive (Appendix 16). The architectural changes and interventions occurring from 1945 onwards were also examined. The drawings prepared by J W Paterson (1961) were used to establish the alteration schemes carried out by Edinburgh City Council, the owners of the complex that saw the sub-division of the North Block into a series of individual units currently used by the WEA. The 1960s refurbishment was considered to be somewhat detrimental to the early character of the complex's historical fenestration in that a number of the window openings were mutilated either by opening up former openings in the masonry walls or by changing the size of others (CS para 2, page 62). The unceremonious removal of the nineteenth-century window cases led to their replacement by the present windows which are too vertical and large. Cast-concrete sills and lintels have been introduced where either feature did not exist or would have been stone. All doors were replaced by varnished oak-lined doors in the style typically favoured in the 1960s and used at sixteenth-century fortified sites.

Section 4 of the CS provides an outline Statement of Significance which introduces a hierarchical scale in which significance is rated from I to V, where the first category implies *exceptional* significance and the last category implies that a listed item is considered to be of *little* significance. These parameters are placed alongside classifications that include historical associations with the site, the social and educational significance and the urban setting and historic townscape. Also included are the archaeological, architectural and artistic significances. Parameters which are considered to be detrimental in our understanding of the significance of Riddle's Court are set against a proposed scheme of changes that would, if carried out, enhance the historical and architectural quality of the complex. Section 5 on Conservation Policy defines how aspects of significance may be protected and enhanced for future uses and to which the fabric of the properties may be adapted. This policy is underpinned by 93 individual Conservation Principles.

3.5 Room Gazetteers for Riddle's Court.

Under the guidance of the SHBT two students, Cariello (2012) and Schmidt (2012), created gazetteers of all the rooms within Riddle's Court, with the exception of the

basement in the south block. The gazetteers provide a useful room-by-room inventory of fixtures and fittings prefixed by the LDN room code. A tabulated description of historical architectural features is combined with a list of modern and historical alterations. Both documents share the same tabulated format linked to relevant room plans with enlarged extracts showing greater detail and supported with relevant contemporary interior and exterior photographs.

3.6 Comparative Architectural Study Assignments 2011-2013

Five student assignments have been undertaken focusing on Riddle's Court, using comparative analysis with Huntly House, Canongate, Edinburgh as part of the MSc in Architectural Conservation at the University of Edinburgh and the Scottish Centre for Conservation Studies at Edinburgh College of Art. The theoretical and practical approach to these studies underlines the significance of Riddle's Court as a resource and as a centre of excellence for learning. All four studies conclude with a Statement of Cultural Significance.

Group A

The purpose of the assignment was to offer an analysis of the existing building fabric of the building at Riddle's Court, focusing on the 'Pink Room' (F08) along with comparisons with Huntly House, to provide an insight into the complex history of these important Edinburgh landmarks and the significance for the city's built heritage. Based on in-depth research into the history of the sites, the surrounding area and by on-site architectural survey, the following conclusions were reached based on the changes made in the nineteenth-century and around the time of Geddes' involvement. There was no documented evidence as to the use of the rooms in earlier centuries. The dissertation surmised that the 'Pink Room' was a food preparation area for the dining room (now the Patrick Geddes Room (F09)) based on the previous existence of a dumb waiter lift installed in the 1890s. The extant deep recessed cupboards feasibly used for storing crockery and the relative simplicity of the décor and panelling compared to the other rooms on the floor from the same development phase support this theory. The elevated floor heights in the hallway, sloping floor levels and lower stepped-down entrance into the 'Pink Room' were believed to be a result of probable room heightening in the Patrick Geddes Room and the Drawing Room (F10) at the time of building Victoria Street and Terrace to accommodate the unified nineteenth-century façade overlooking Victoria Street. This report challenges that interpretation.

Group B

The Group B assignment presents an analysis of the buildings that comprise Riddle's Court with specific focus on the rearmost building in the close, referred to locally as Bailie McMorran's House after its builder and resident. The dissertation concentrated on the development phases within this building and includes a detailed analysis and survey of Room Two on the first floor of the building, now occupied by the Scottish Historic Buildings Trust. The dissertation makes explicit use of colour-coded isometric phased thumbnail diagrams drawing on the wide historical and architectural detail for both Riddle's Court and Huntly House. Following this analysis the dissertation concluded by considering the building's significance to similar high status merchant's buildings in Edinburgh and beyond.

Group C

Group C's assignment on Riddle's Court and Huntly House combined desk-based research using written documentation and records of the two buildings and a measured building survey of the Drawing Room (F10) of Riddle's Court. The advantage of a simultaneous theoretical and practical approach was that this enabled the group members to approach the task in a systematic manner. Significant features of the drawing room encountered by the group during the course of the research and survey were meticulously recorded. From them, conclusions were drawn as to how the interventions carried out over four centuries have affected the form and character of the building; the identification of the likely dates when the interventions were carried out; and the likely reasons why the interventions were carried out. The discovery, in this report, of substantial structures to the south means that this analysis would have to be reconsidered.

Group D

This assignment followed the same practical and theoretical approach to building analysis as Groups A to C, taking the Drawing Room (F10) on the first floor of the South Block as their 'study room'. The group produced a study of the wall panels and mouldings using the Dean of Guild drawings dated 1961 from Edinburgh City Archives. Comparisons on fixtures and fittings focused on Lamb's House (RCAHMS No. NT27NE 4), Acheson House (NT27SE 60), Stenhouse Mill House (NT27SW 22) and Panmuir House (NO53NW 12).

Group E

Analysis of the McMorran Room (Room F06) at Riddle's Court was compiled through survey and historical analysis conducted on site and in archives. An effort was made to analyse the McMorran Room individually, in the context of Riddle's Court, and in the broader Edinburgh World Heritage Site and Old Town Conservation Area. The goal of this study was to record the present state of the McMorran Room, the hall, and the stairs in the Baillie John McMorran House at Riddle's Court and to research its history.

3.7 Popular report on Riddle's Court.

In *The Life and Times of Riddle's Court 1590–2007* the Workers Education Association (WEA) brought together a wealth of information obtained from various task-groups that were engaged to explore different research topics on the sixteenth to the twenty-first centuries (Bryan and Bruce 2008). The report put Riddle's Court into its historical context and included a useful timeline of events; an investigative analysis of the evolution of the complex; and an examination of census returns to assess who was living at Riddle's Court between 1841 and 1901. An account of a former occupant of Riddle's Court in the 1930s is also presented. The importance of the close as one of the earliest Edinburgh Festival venues is explored and some valuable old illustrations included.

3.8 SHBT Historical Archive

The SHBT hold a paper and digital archive of historical documentation comprising historical drawings, photographs and written accounts. This was made available to the authors and its contents are listed in Appendix 16.

3.9 Historical Maps

The National Library of Scotland's on-line map portal was examined to assess the cartographic layout of Riddle's Court and to determine the broad changes that have occurred at the building complex.

- The 1582 map by Braun and Hogenburg shows the early street layout with buildings on either side of the Lawnmarket. To the immediate south of the study area a series of small gardens lies within an area yet to be developed.
- The 1647 map by James Gordon shows the sheer density of buildings with their steeply pitched roofs and the presence of formal gradens.
- The 1693 panoramic map by John Slezer shows not only the tightly packed tennament buildings but also the varied roof heights of these buildings. Importantly, the roofs are shown as both slated and thatched; this is supported by the early eighteenth-century building accounts.
- Maps produced after 1765 show the position of Riddle's Close in block layout.
- It is not until the production of the 1853 First Edition Ordnance Survey map that individual components making up the Riddle's Court complex are shown.

A list of all the maps examined is shown in Appendix 17.

3.10 Historical and contemporary layout plans

The large collection of historical and near contemporary plans has been amalgamated in order to bring them together in chronological order. Table 1 lists the plans and drawings which are reproduced as Figs 2d–2l.

Table 1 List of historical and recent plans of Riddle's Court as depicted on Figs 2d-l.

Fig No	Author	Year	Summary Description
2d	MacGibbon & Ross	1887–1890	Plans showing the ground and 'upper' floor. South block ground floor depicted with 'Grand Room' (G08) with a 'private' room (G07). Only the west wall of the East Block is depicted. Inner courtyard is labelled as Large Court. Pend shown leading out to the Little Court and the Close to the Lawnmarket.
2e	Mitchell & Wilson	c.1890	Plan showing the ground floor of Riddle's Court and the layout of the rooms used by the Mechanics Subscription Library. The two so-called cellars (G01 and G02) are not shown. The plans show a pend to Victoria Street.
2f	S Henbest Capper	1892	Proposed alteration plan showing ground, first

Fig No	Author	Year	Summary Description
			and part of the roof plan. Useful in showing roof space of East Wing.
2g	George Shaw Aitken	1895	Relevant proposed alteration plans within this collection of drawings are the ground floor and Victoria Terrace levels at Riddle's Court. The South Block ground floor plan entitled 'Riddle's Court Plan' shows the 'present kitchen' (G11-12) with annotations including <i>present kitchen fireplace</i> and <i>kitchen fireplace taken out, arches closed up and new fireplace inserted</i> . At Victoria Terrace level a <i>new kitchen</i> is shown within the large west room. The position of a lift is shown on both the plan and on a section drawing terminating at first floor level. Alterations to the foreland property facing the Lawnmarket are also shown.
2h	Ramsay Traquair	1897	Ground, First and Third floor plans. Ground floor of the south block is partitioned into five individual rooms accessed from a narrow passage. First floor South block labelled Drawing Room (F10) and Dining Room (F09). Later produced by RCAHMS using scanned images of ground, first and third floor with two drawings of south and east courtyard elevations. Very useful in showing original construction of the north wall of the north east block.
2i	RCAHMS	1951	Phasing plans for Riddle's Court including the adjoining properties on the forelands based on a plane table survey dated 19 May 1937. Ground, First and floor below Riddle's Court 'at level of Victoria Terrace'. This is the first attempt at understanding the phase development of the complex. Cross-hatched and stippled annotation of five periods (First to Fourth) followed by modern and infilling.
2j-k	J. Wilson Paterson	1961	A large set of plans for the refurbishment of Riddle's Court. CS mentions that these were prepared for the WEA as the proposed user of the North Block which is portioned into a series of offices on the first and second floor. The plan layouts as drawn correspond closely to the present layout except that the turnpike stair in the South Block no longer extends down to the lower level at Victoria Street. Informative handwritten annotation including for instance 'timber stair to be reconditioned in hard wood' and 'chimney stacks to be reduced in height and sealed over and ventilated'.
2l	City of Edinburgh Council	2008	This collection includes all floors of Riddle's Court with simple annotation of rooms by function with length x breadth measurements in metres.
2m	Loy survey drawings	2013	Comprehensive floor plans and external elevations created by laser scanning. Used to inform the Room Gazetteers in Appendix 21-22.

Key



Fig. 2a - Extract from Braun and Hogenburg's plan, 1582. The approximate position of the Lawnmarket buildings is circled.



Fig. 2c - Extract from Slezer's view, 1693 with study area buildings shaded.



Fig. 2b - Extract from James Gordon's plan, 1647 (showing extent of study area - shaded)

Key

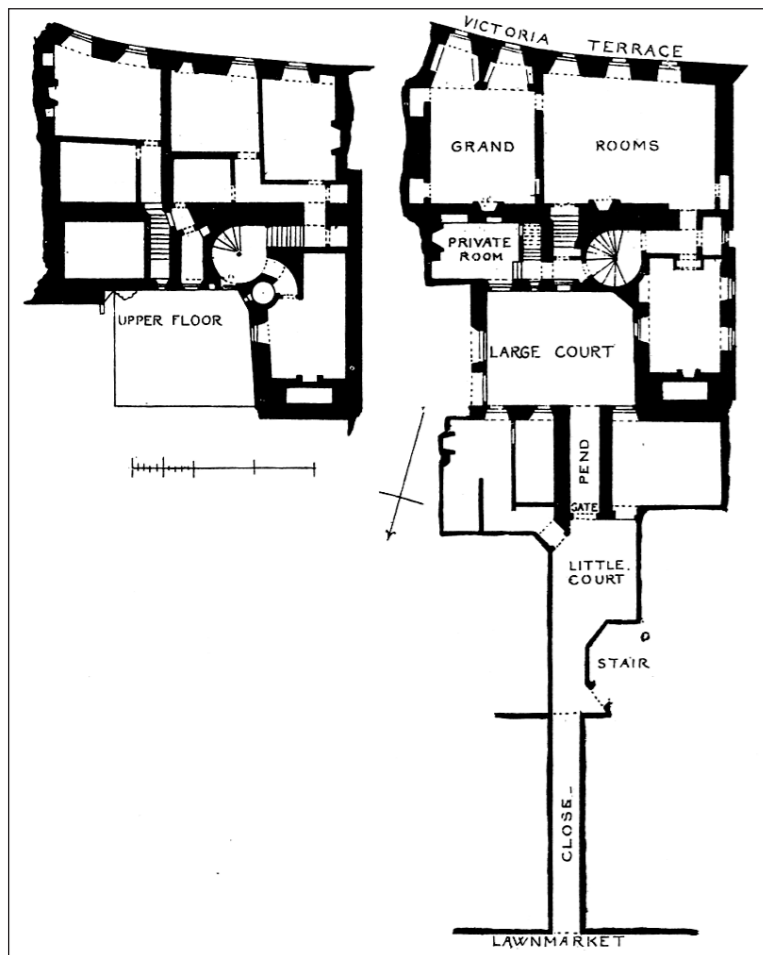


Fig. 2d - MacGibbon & Ross, 1887-1890

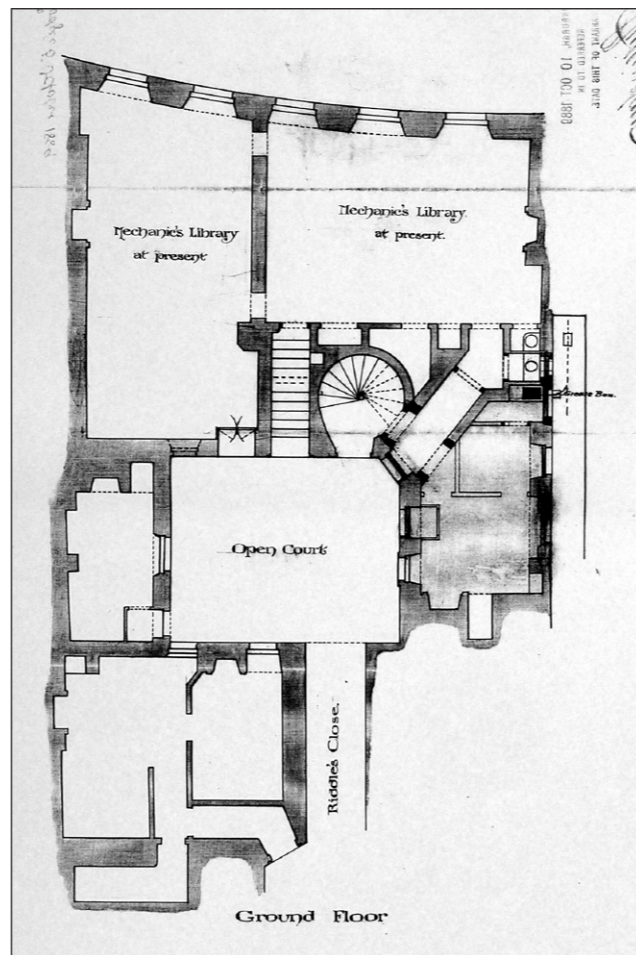


Fig. 2e - Mitchell & Wilson, c.1890

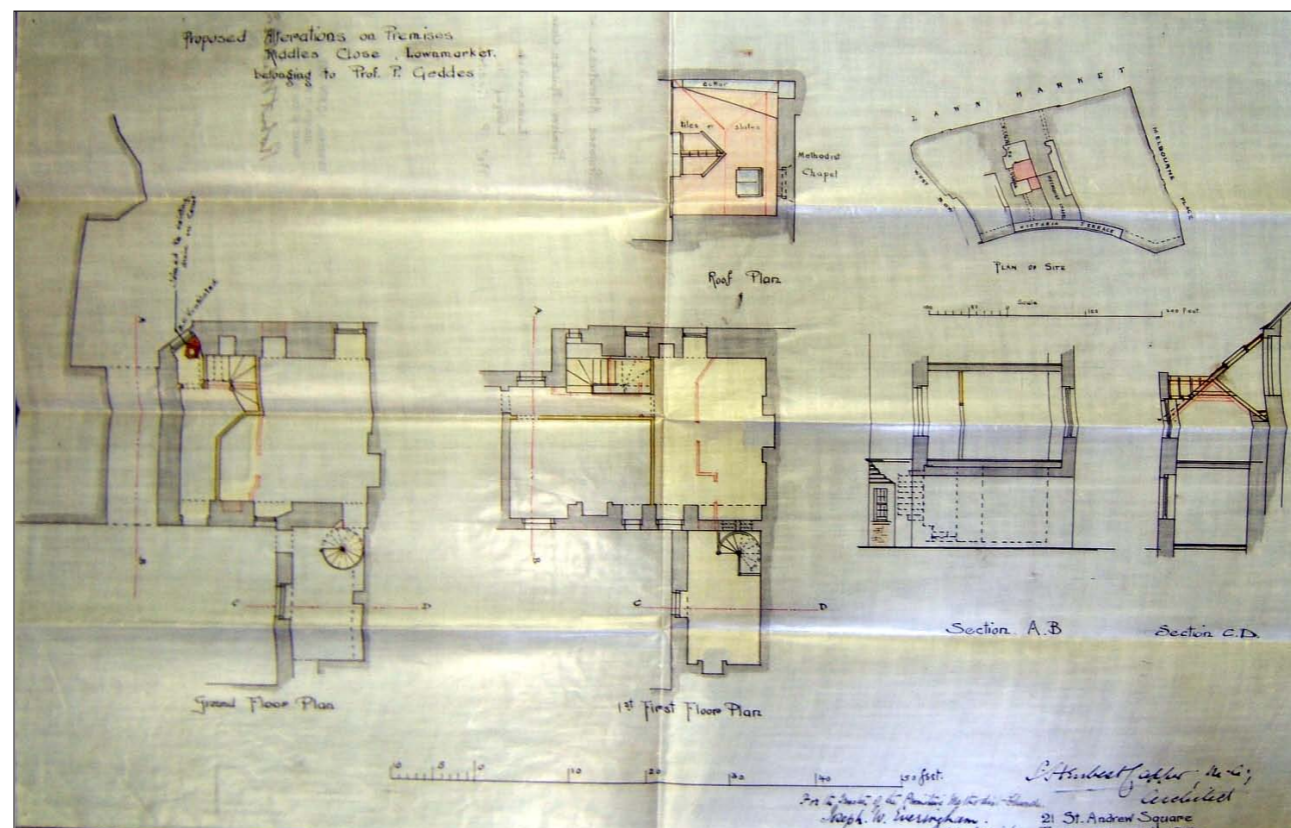
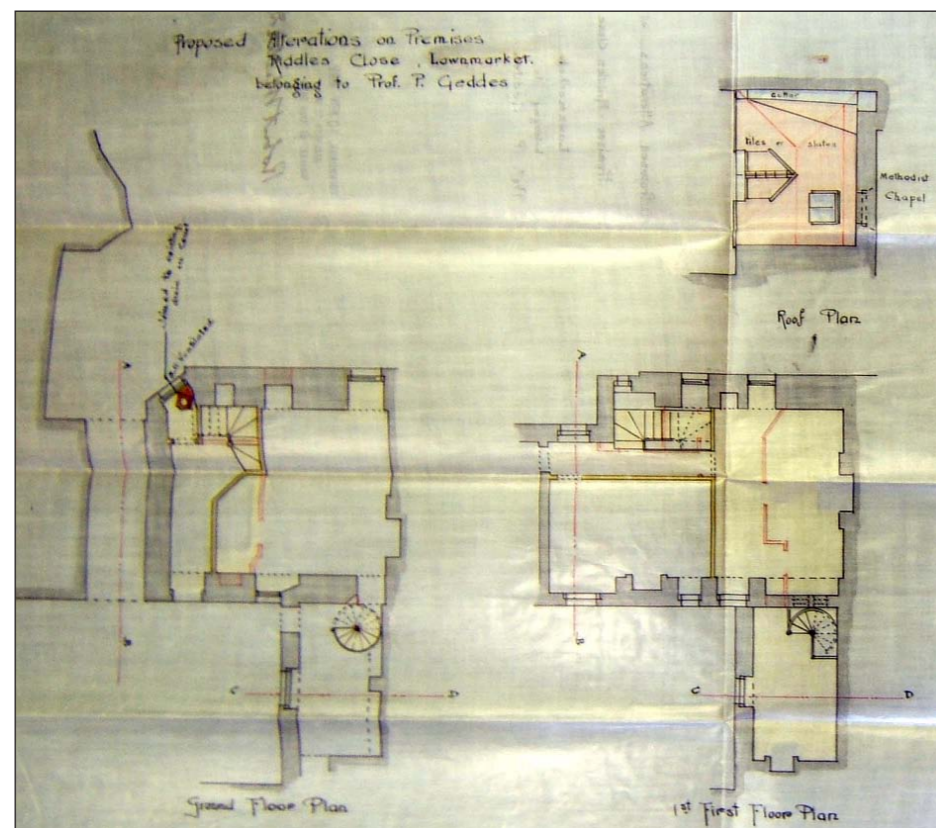
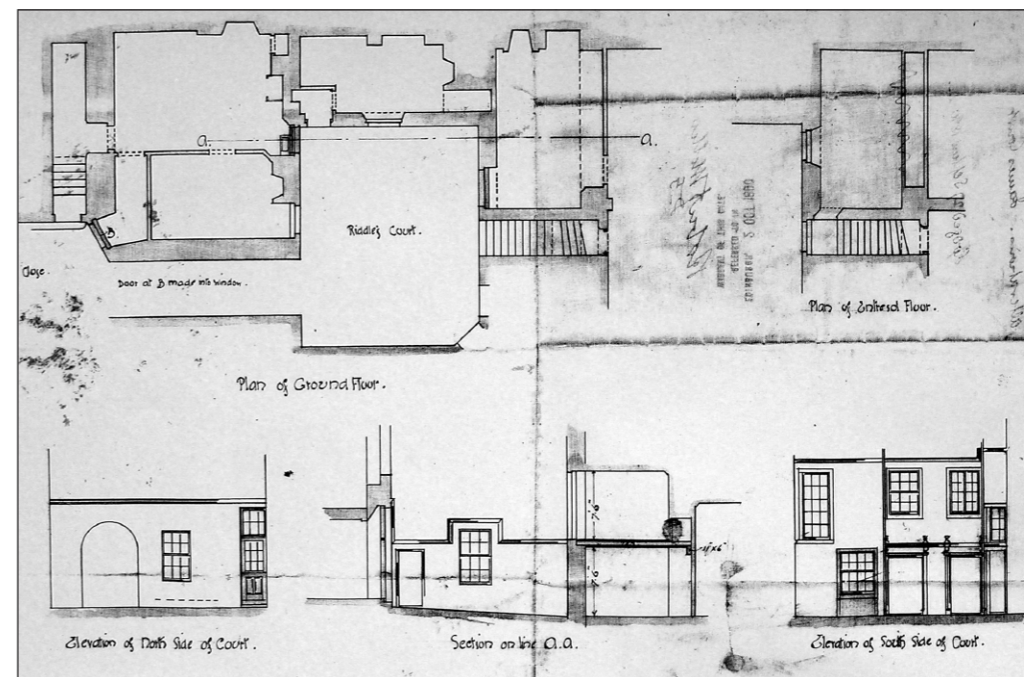
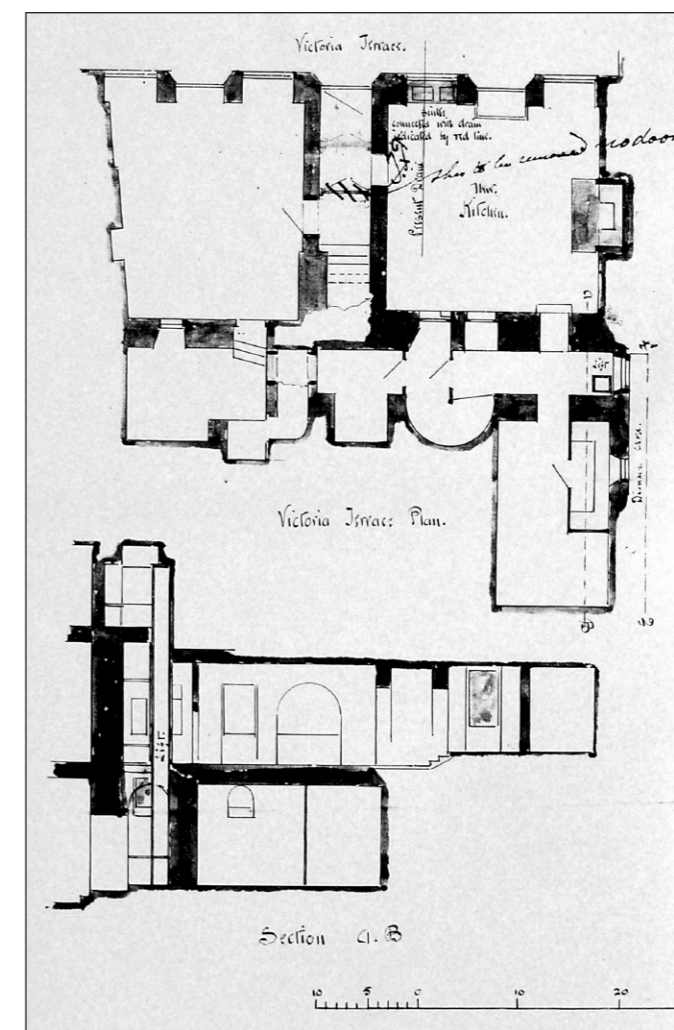
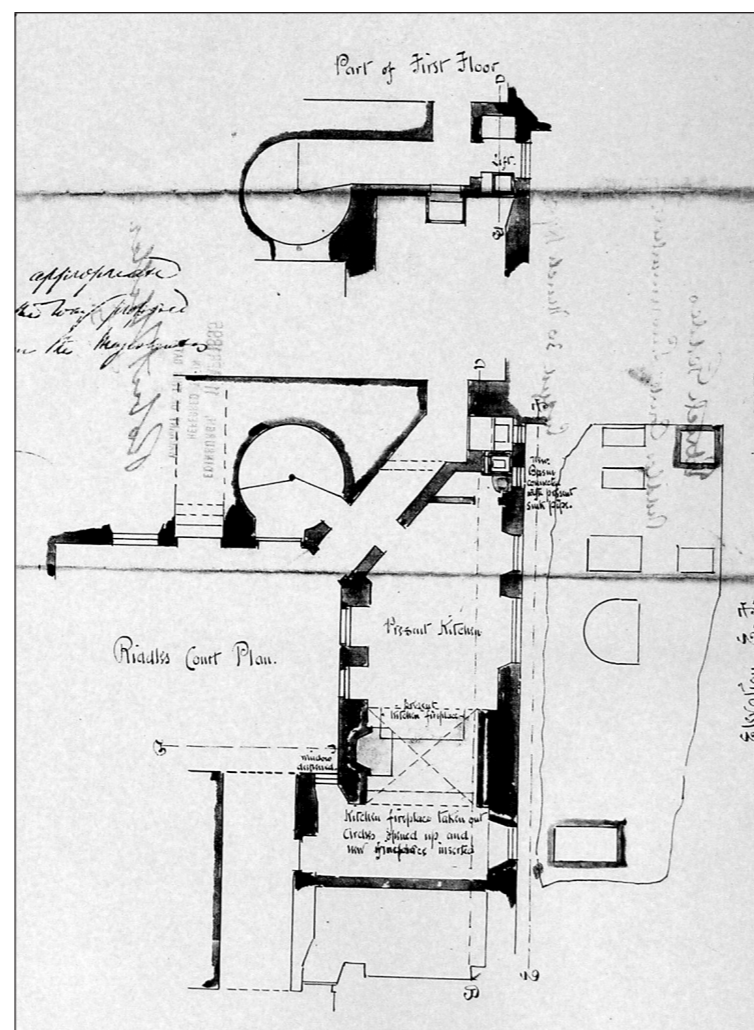
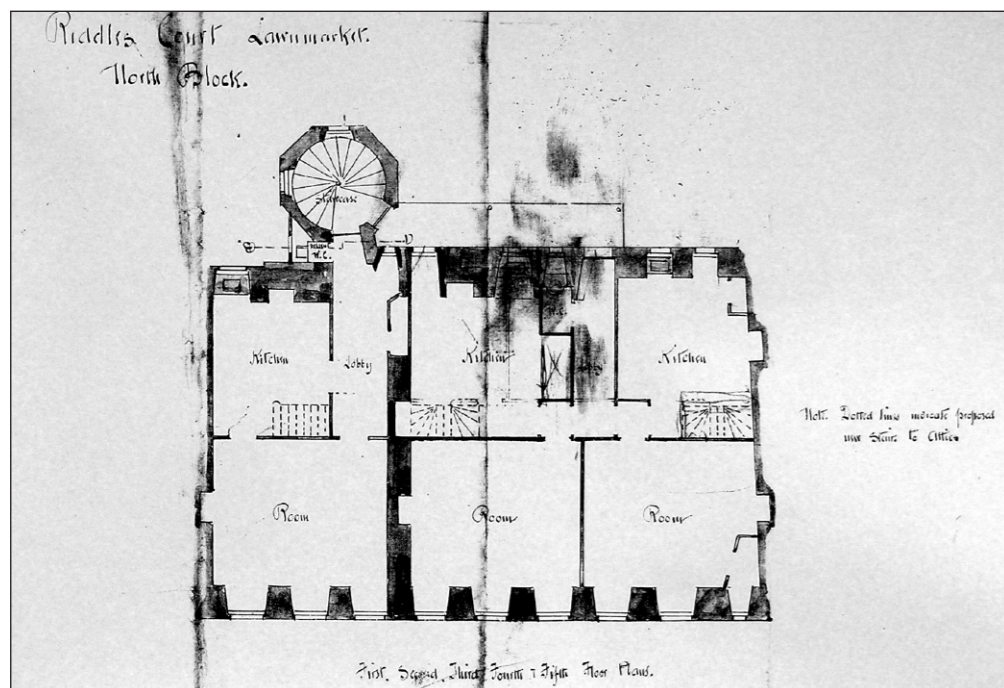
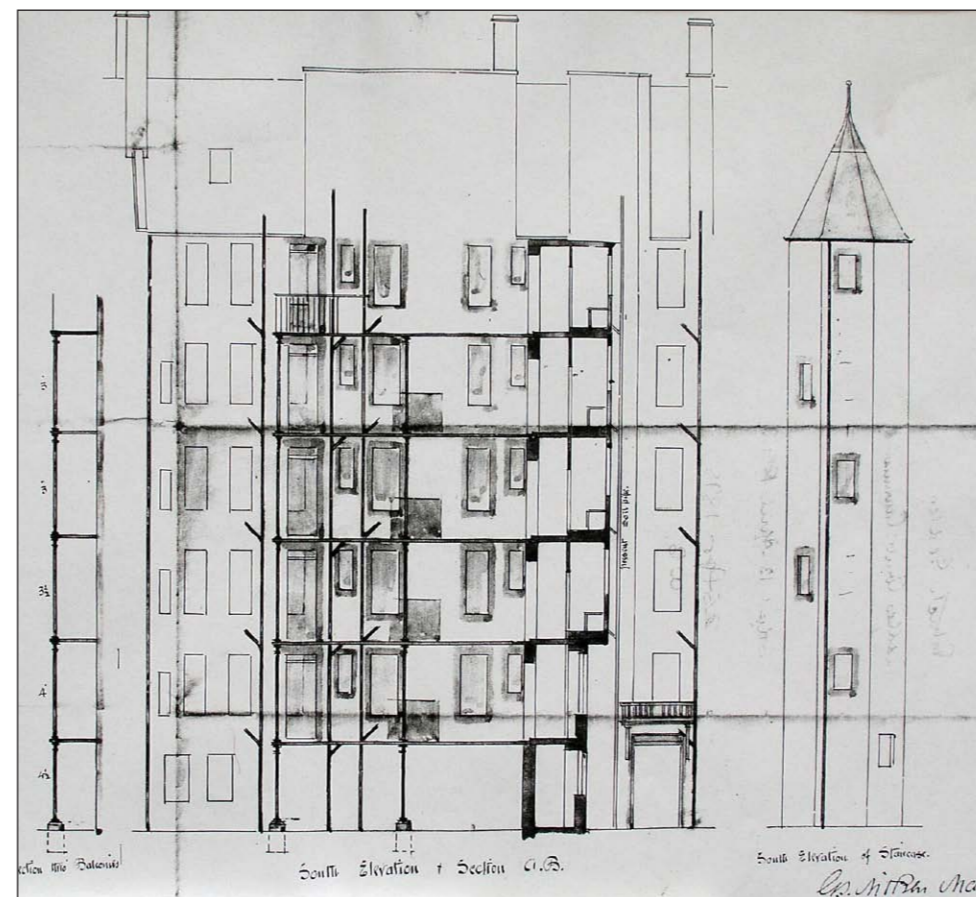
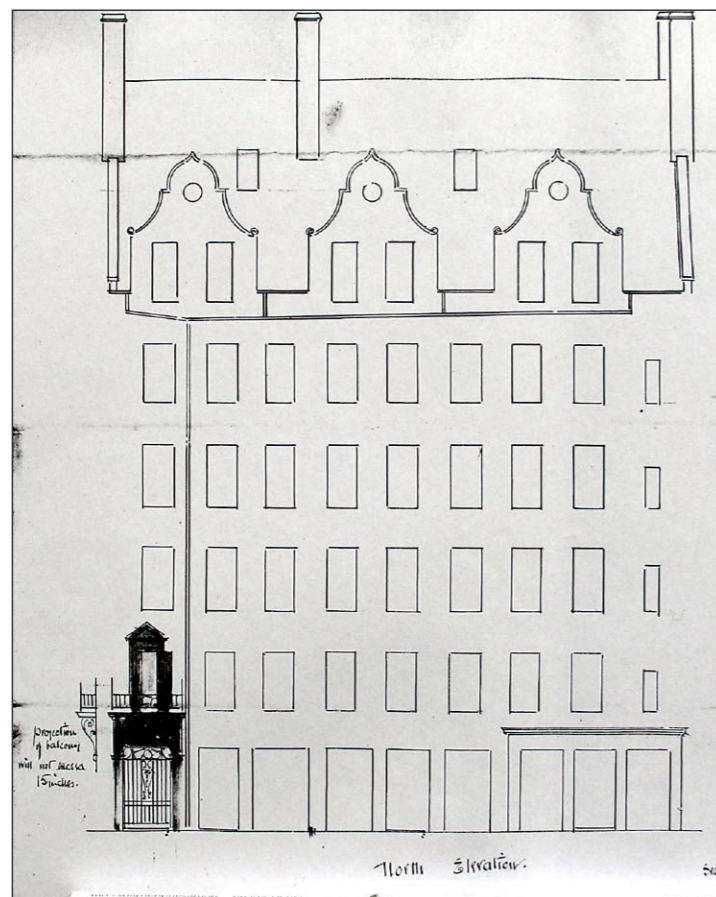


Fig. 2f - Henbest Capper, 1892

Key



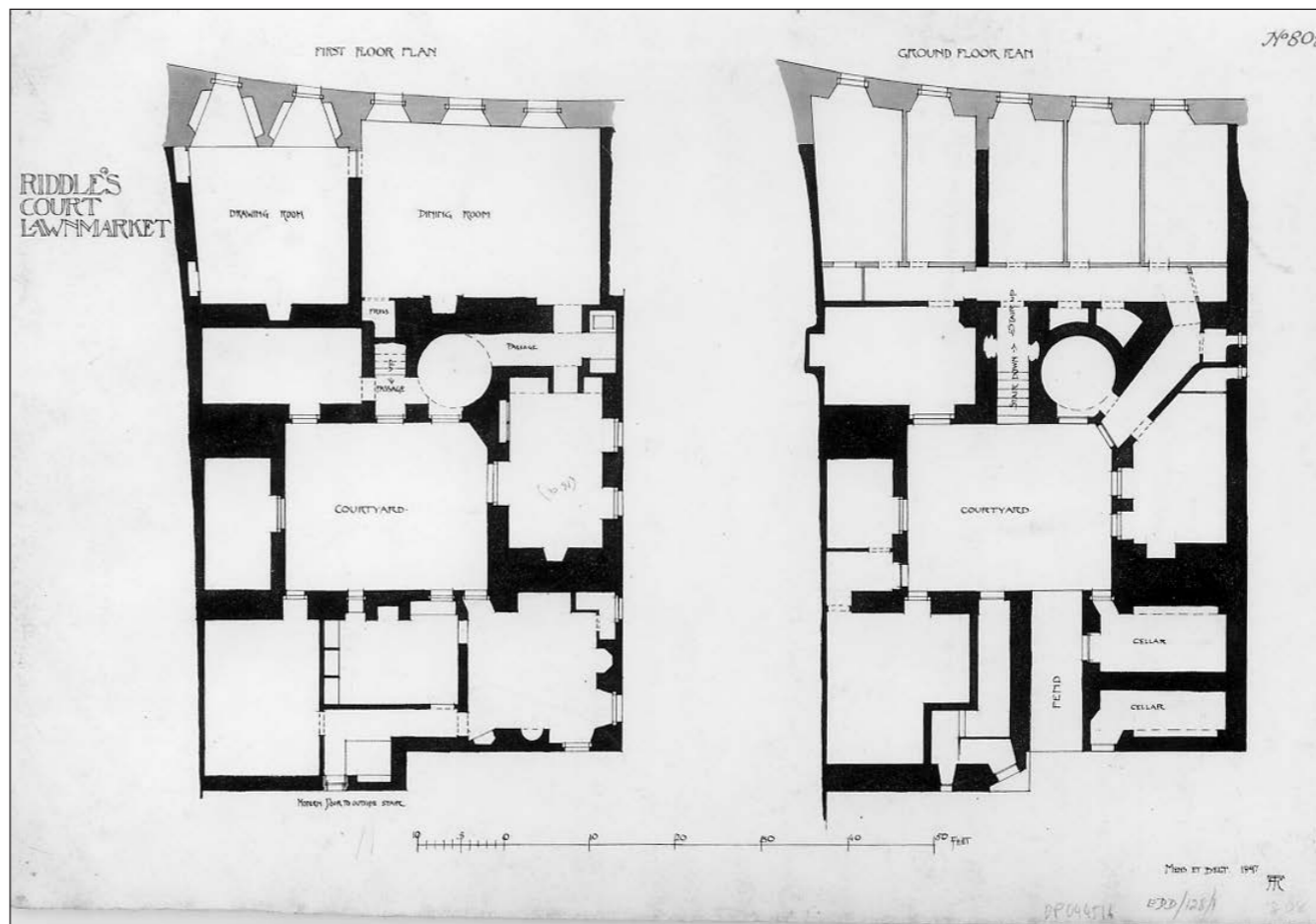
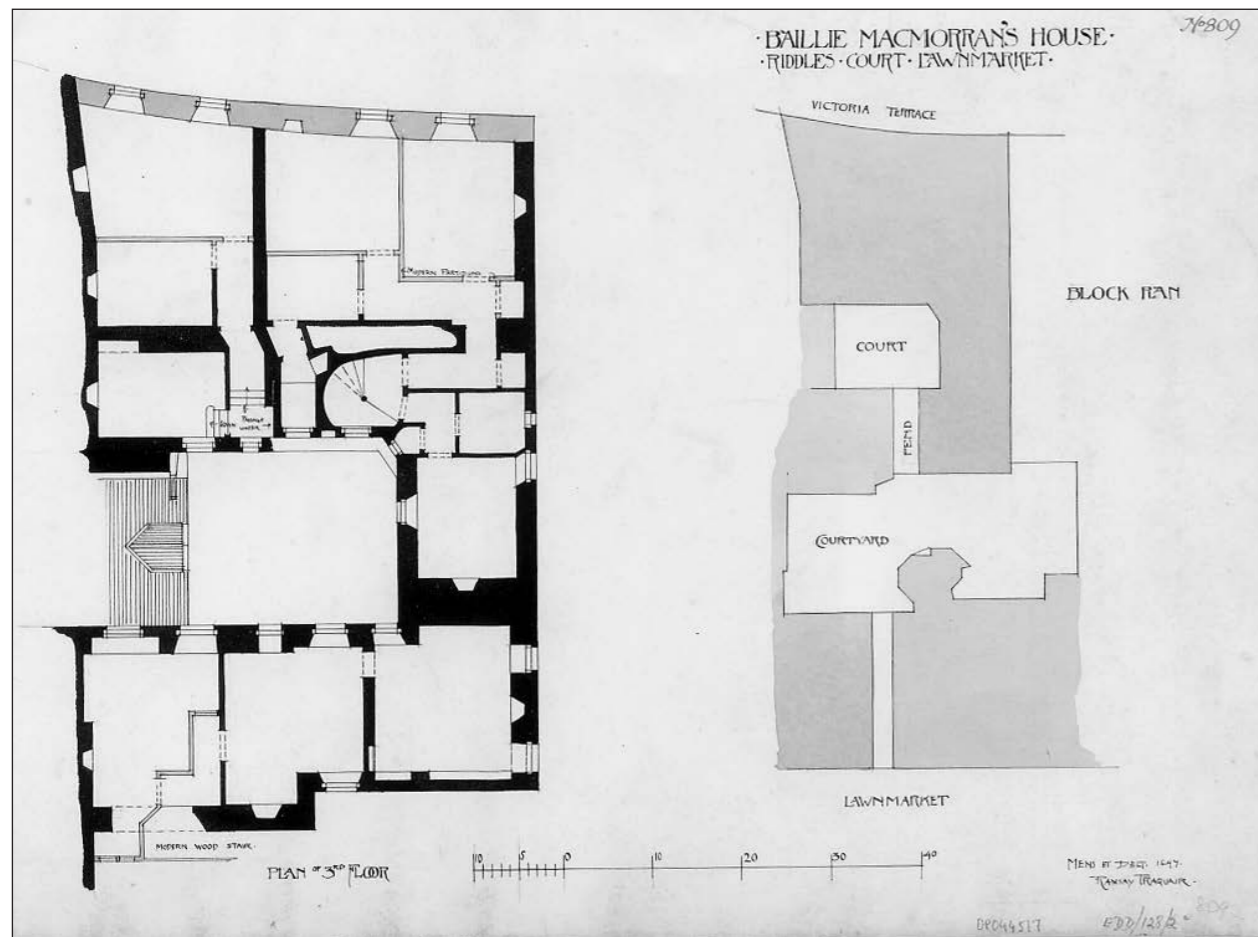


Fig. 2h - A Ramsay Traquair, 1897

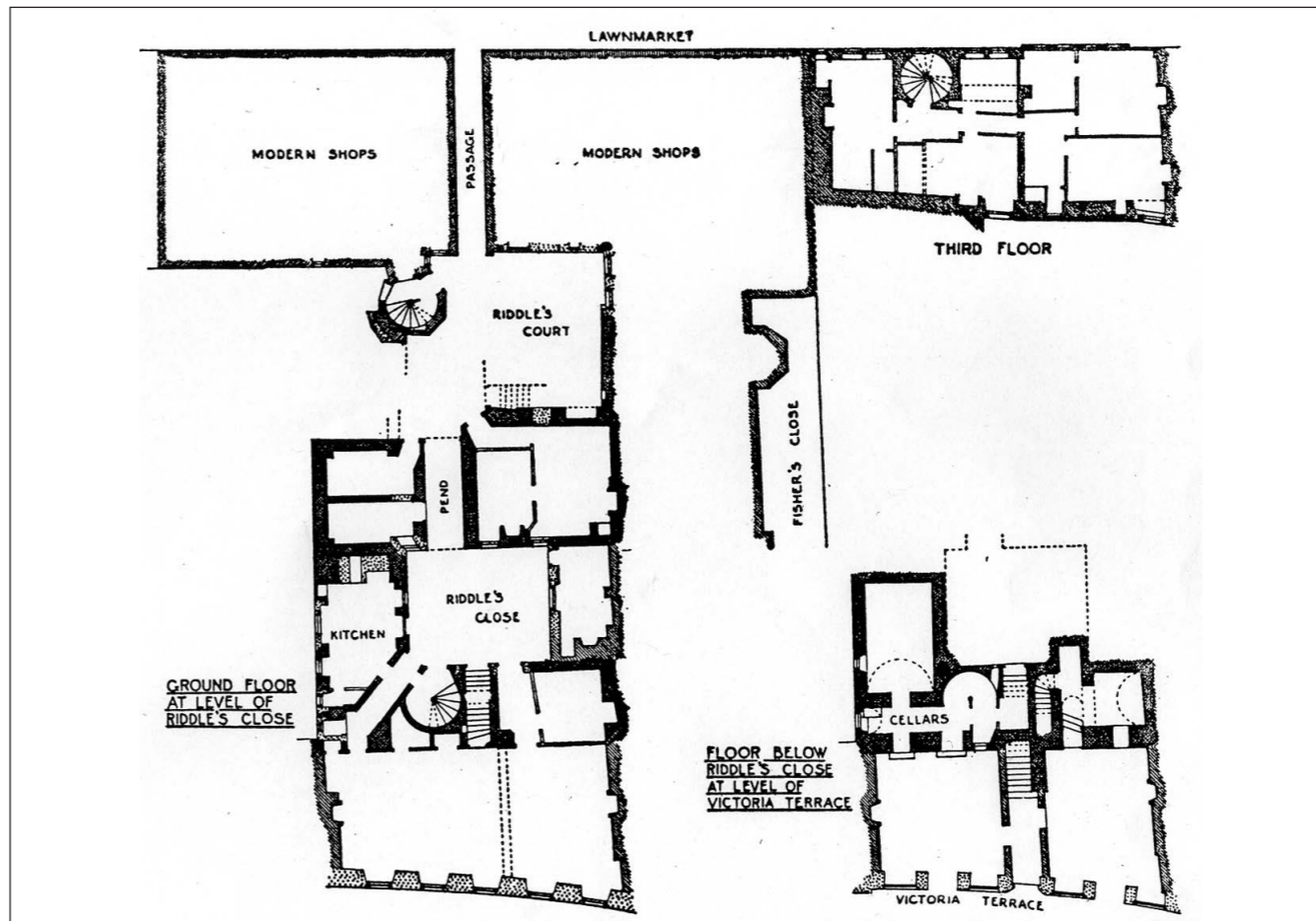
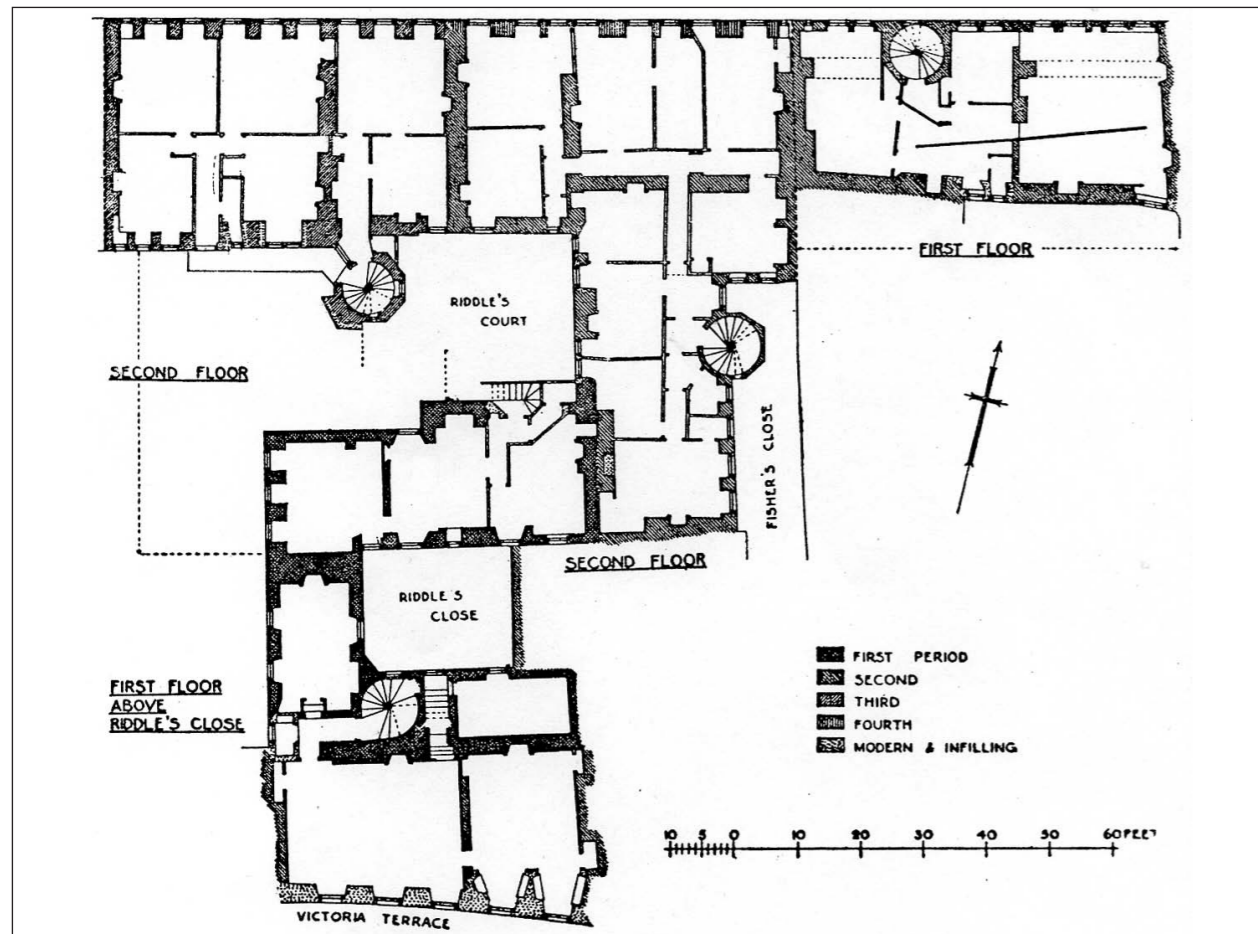


Fig. 2i - RCAHMS, 1951

Key

CFA ARCHAEOLOGY LTD
The Old Engine House
Eskmills Park, Musselburgh
East Lothian, EH21 7PQ
T: 0131 273 4380
F: 0131 273 4381
e: info@cfa-archaeology.co.uk
w: www.cfa-archaeology.co.uk

Fig. No: 2h-i Revision: 0

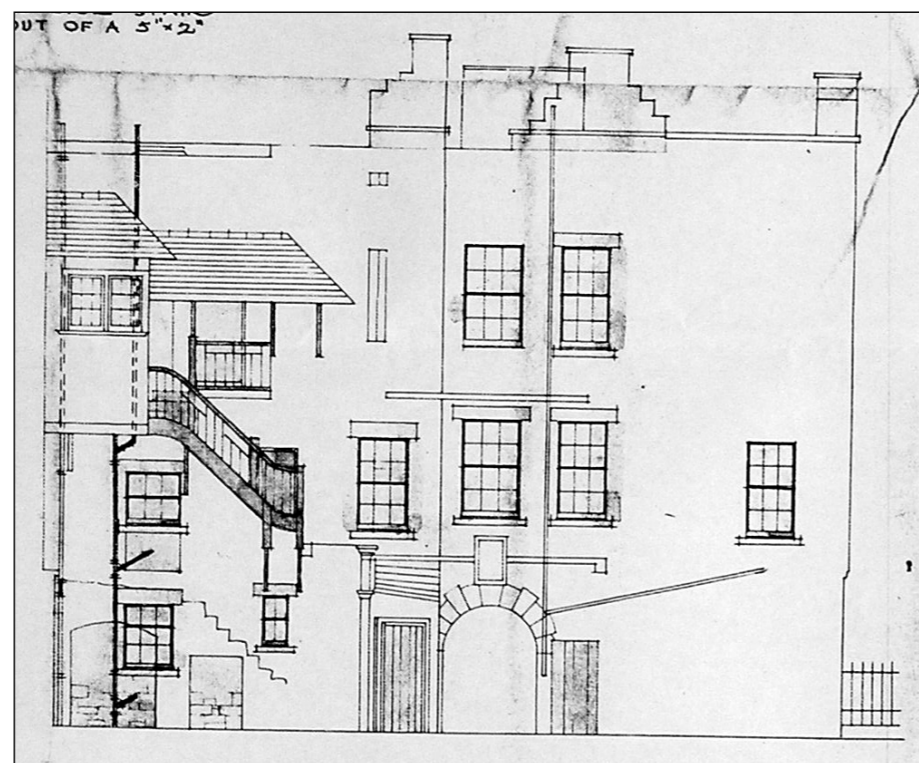
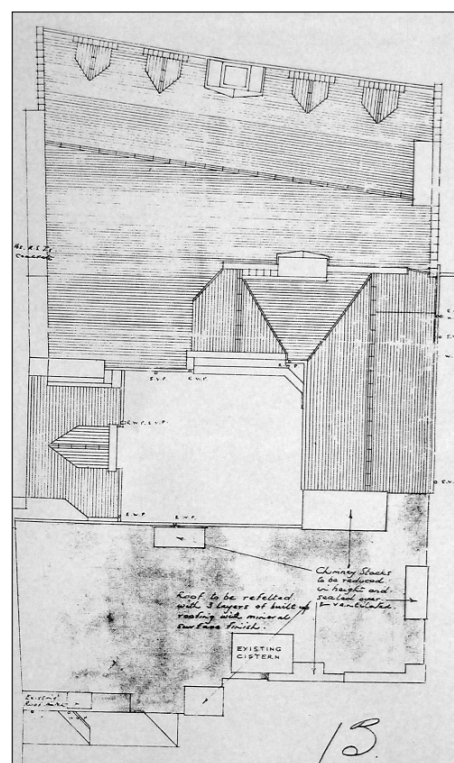
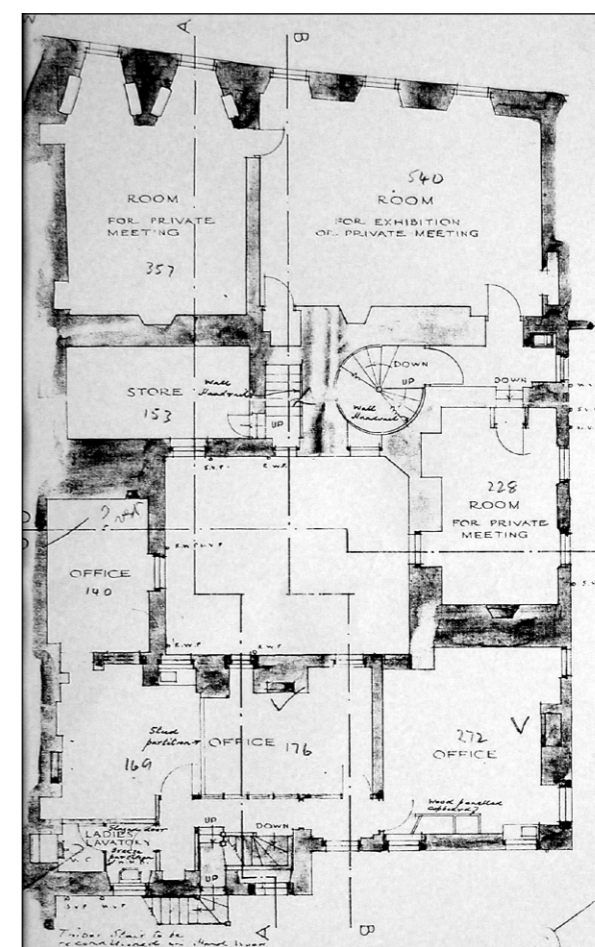
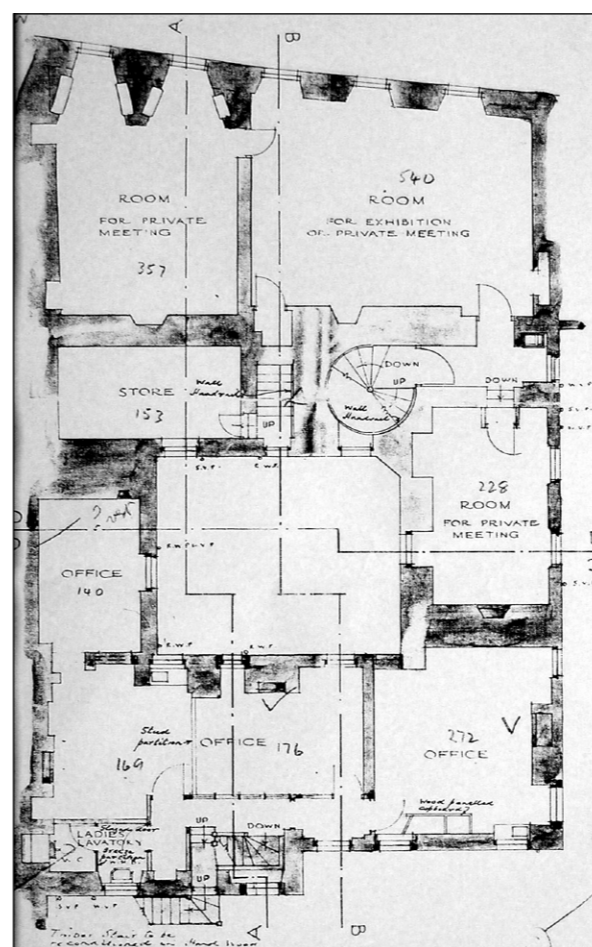
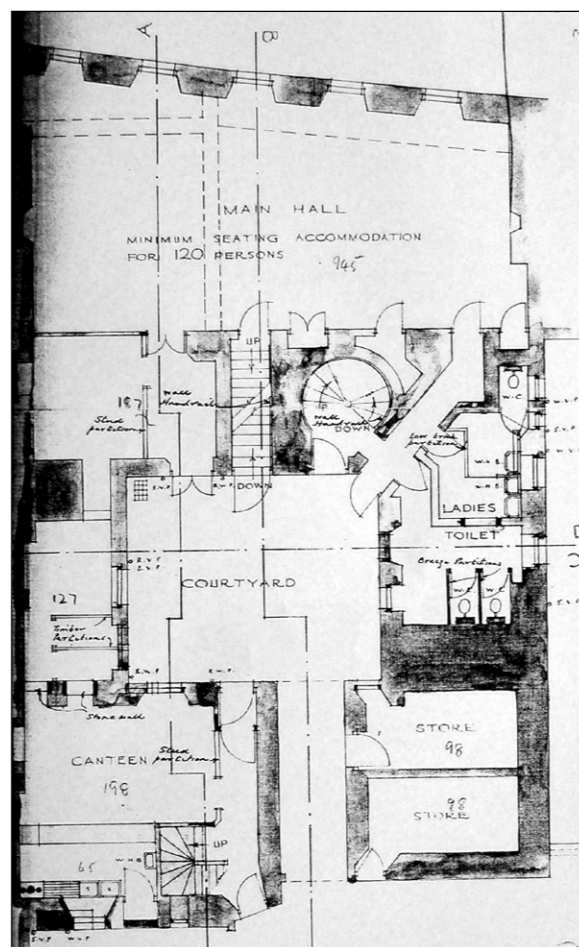
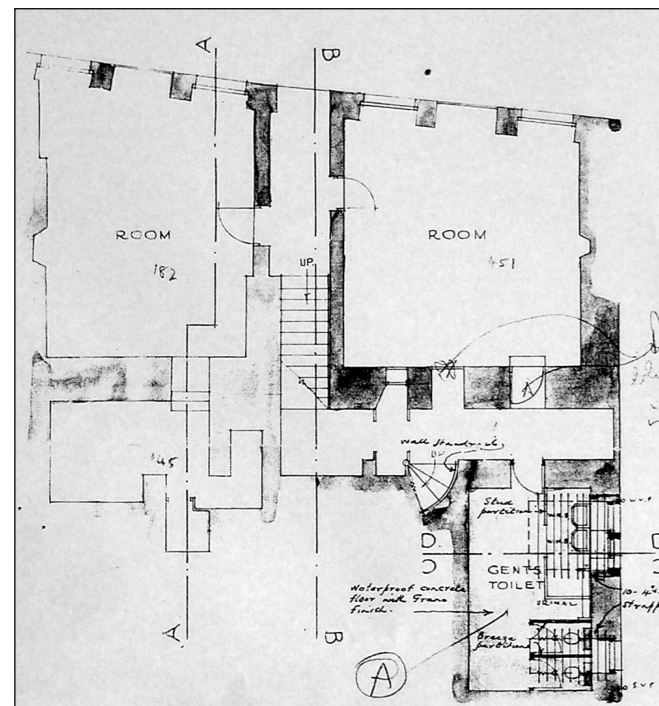
Title: Historical Plans

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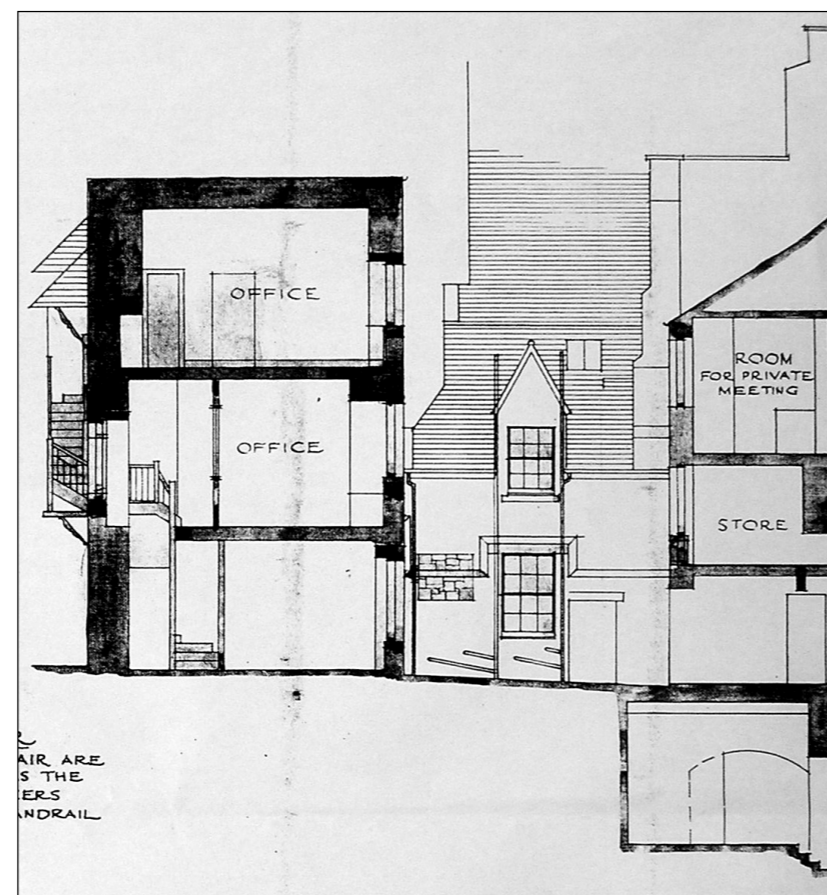
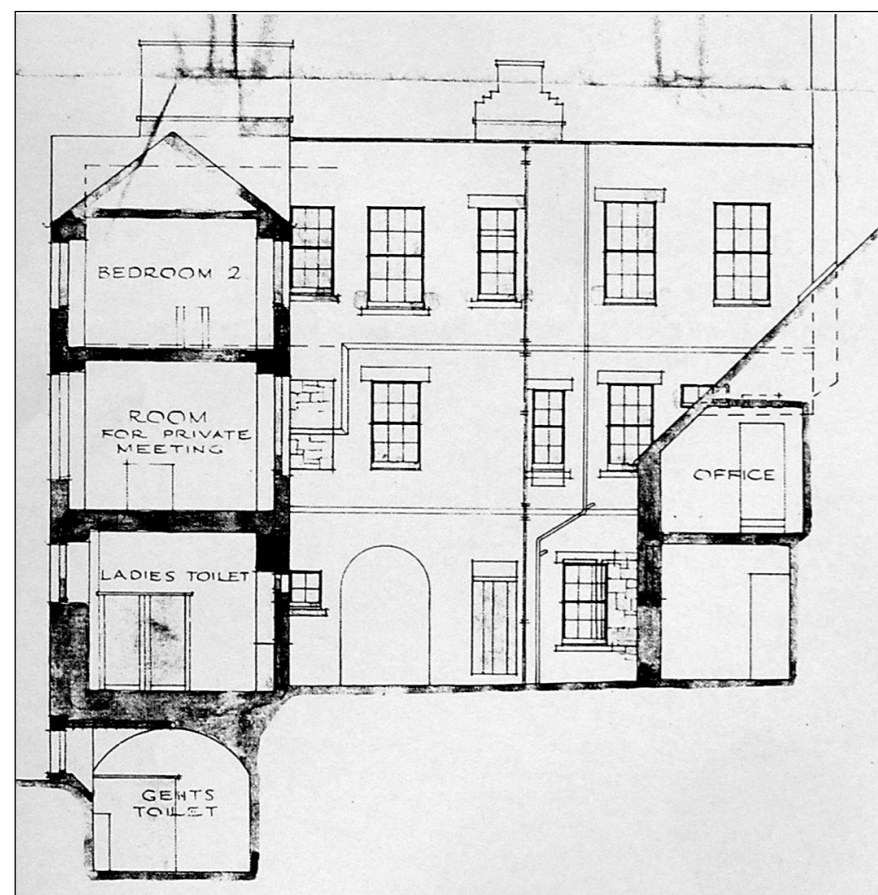
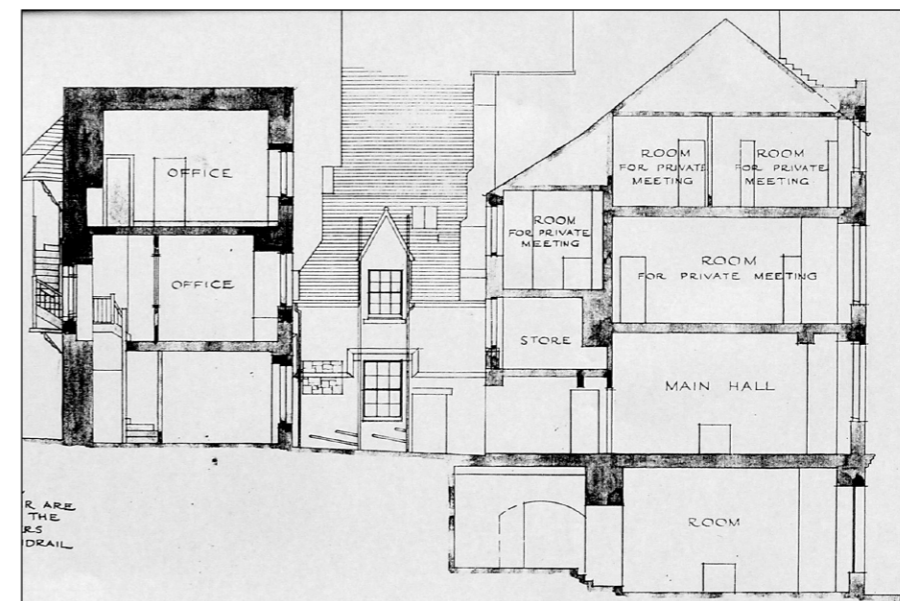
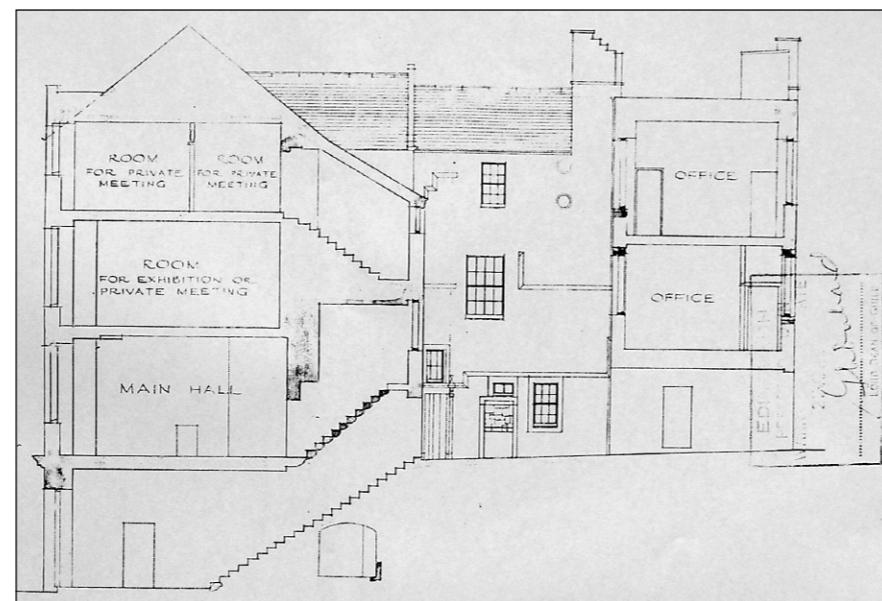
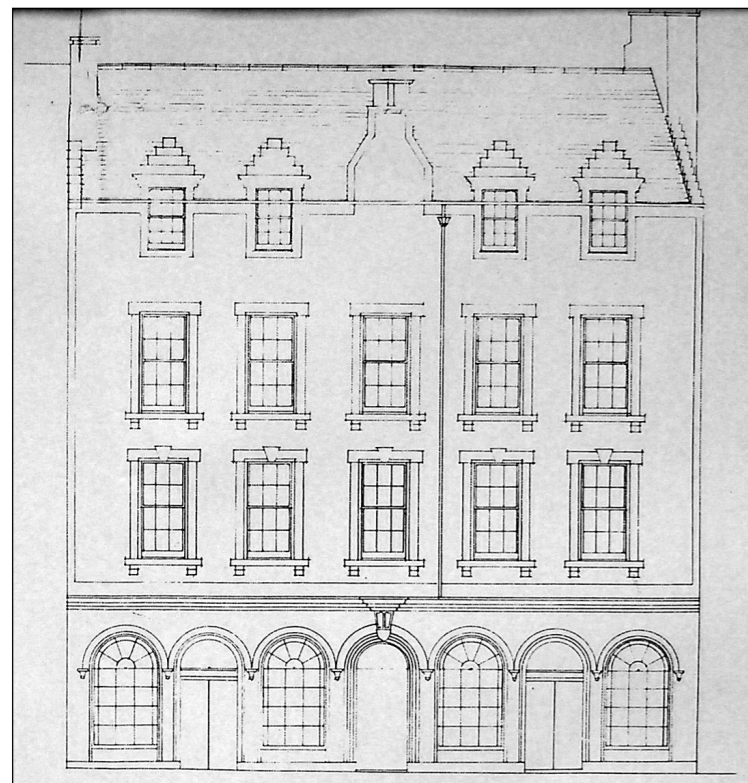
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Client: LDN on behalf of SHBT

Key



Key



4. RESULTS OF THE EXTERNAL BUILDING SURVEY

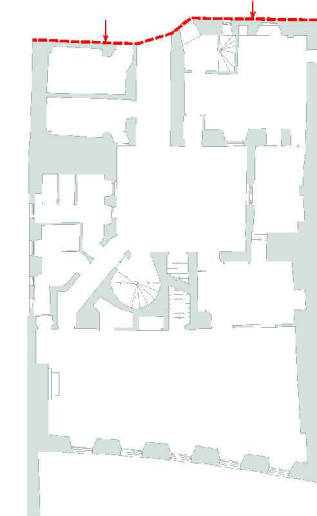
The data listed in Tables 2–7 provide an inventory of the key features extant on the external elevations (Figs 3a–3f) based on observations from the ground floor level. Some additional information was gained from photographs taken from the roof of the North Block looking into Riddle’s Court and from recent photographs where render has been removed at ground floor level. The inventory is designed to inform a later stage of work arising from the removal of all external render. It is envisaged that once the harling has been removed the data in the inventory will be expanded to include hitherto unrecorded features that are currently hidden.

Table 2. Principal features recorded on the north-facing elevation of the North Block (Fig 3a)

Feature No.	Summary Description
N1	Exposed building fabric at the base of the wall where the harling has eroded on the west side of the North block
N2	Backing coat of cement for the cement harling covering the west side of the north block
N3	Cement harling used to weatherproof the west side of the north-facing elevation
N4	Window, six-over-six sash and case, concrete sill. No surrounds, flush sides and harled
N5	Door, plank-built varnished oak.
N6	Door jambs with stugging, slight chamfering towards base, concrete lintel. East side of the door incorporates stonework of passage into Riddle’s Close comprising six individual blocks of ashlar
N7	Relieving arch above Door N5 comprising ten individual segments
N8	Stone ashlar archway above the passage; inscribed voussours with the Latin <i>VIVENDO DISCIMUS</i> (by living we learn)
N9	Passage gate, riveted black wrought iron double-leaved
N10	Door. Plank-built varnished oak, entrance to WEA offices
N11	Door surround (remains of). Heavy moulding stonework forming the door surround of a doorway that occupied this position within the former west-facing tenement block that occupied Riddle’s Court
N12	Corbelled ashlar stonework above Door N10
N13	String course above the corbelled stonework surmounting doorway N10. This feature is carried round the west-facing side of the advanced wall and above the passage
N14	Stonework, advanced of the main elevation. This stonework forms the remains of the lintel of the doorway that occupied this position within the former tenement building that formed part of Riddle’s Court
N15	Window, six-over-six sash and case, within round moulded surrounds, the sill and lintel are cast-concrete
N16	Dressed sandstone quoins forming long and short work on the corner of the return angle of the advanced North Block
N17	Door jamb? Five segments of a door jamb at second floor level
N18	Fragment of a door jamb? above feature N17
N19	String course, incomplete running between first and second floor windows
N20	Window, six-over-six sash and case window, framed by ashlar surrounds, concrete sill and lintel
N21	Window, sash and case, six over six framed by ashlar surrounds
N22	Ashlar masonry, between windows N20 and N21
N23	Relieving arch remains, represented by nine segments, above window N20.
N24	Relieving arch, represented by seven segments (more may be present below the cement harling?)
N25	Relieving arch immediately below window N26 with eight segments
N26	Window, six-over-six sash and case, with rounded ashlar surrounds. Droved lintel.
N27	Window, six-over-six sash and case, rounded surrounds, concrete sill
N28	Relieving arch, above window N26 with twelve segments

Feature No.	Summary Description
N29	Relieving arch, between window N27 and wall head
N30	Ashlar sandstone blocks between windows N26 and N27, eight individual courses
N31	Chimney stack (reduced and capped)
N32	Cement render covering all of the east side of the north block
N33	Window, nine paned within moulded surrounds, concrete sill, sandstone lintel
N34	Window, four paned, lighting the lower internal staircase
N35	Commemoration plaque to Patrick Geddes
N36	Staircase (remains of) sandstone treads advanced of the wall line
N37	Casement window with frosted glass lighting, ladies and gents WC
N38	Pentice staircase, 1960s replacement of an earlier nineteenth-century staircase of same design, supported on wooden brackets projecting from the elevation
N39	Door, plank-built, varnished oak, 1960s replacement of an earlier nineteenth-century doorway
N40	Wooden landing above pentice staircase
N41	Door, plank-built, varnished oak, 1960s replacement on similar nineteenth-century design by Capper
N42	Window, two nine-paned casement windows lighting the second floor WC
N43	Roof canopy projecting over the pentice staircase. Timber construction supported by wooden brackets. 1960s replacement of earlier nineteenth-century design by Capper
N44	Flat roof, edge of, with timber eaves board
N45	Roofline, slightly higher than the east side of the elevation
N46	Protruding stonework below window N34.

Key:



Title:
North-facing elevation of
North block

Project:
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Edinburgh
Historic Building Survey

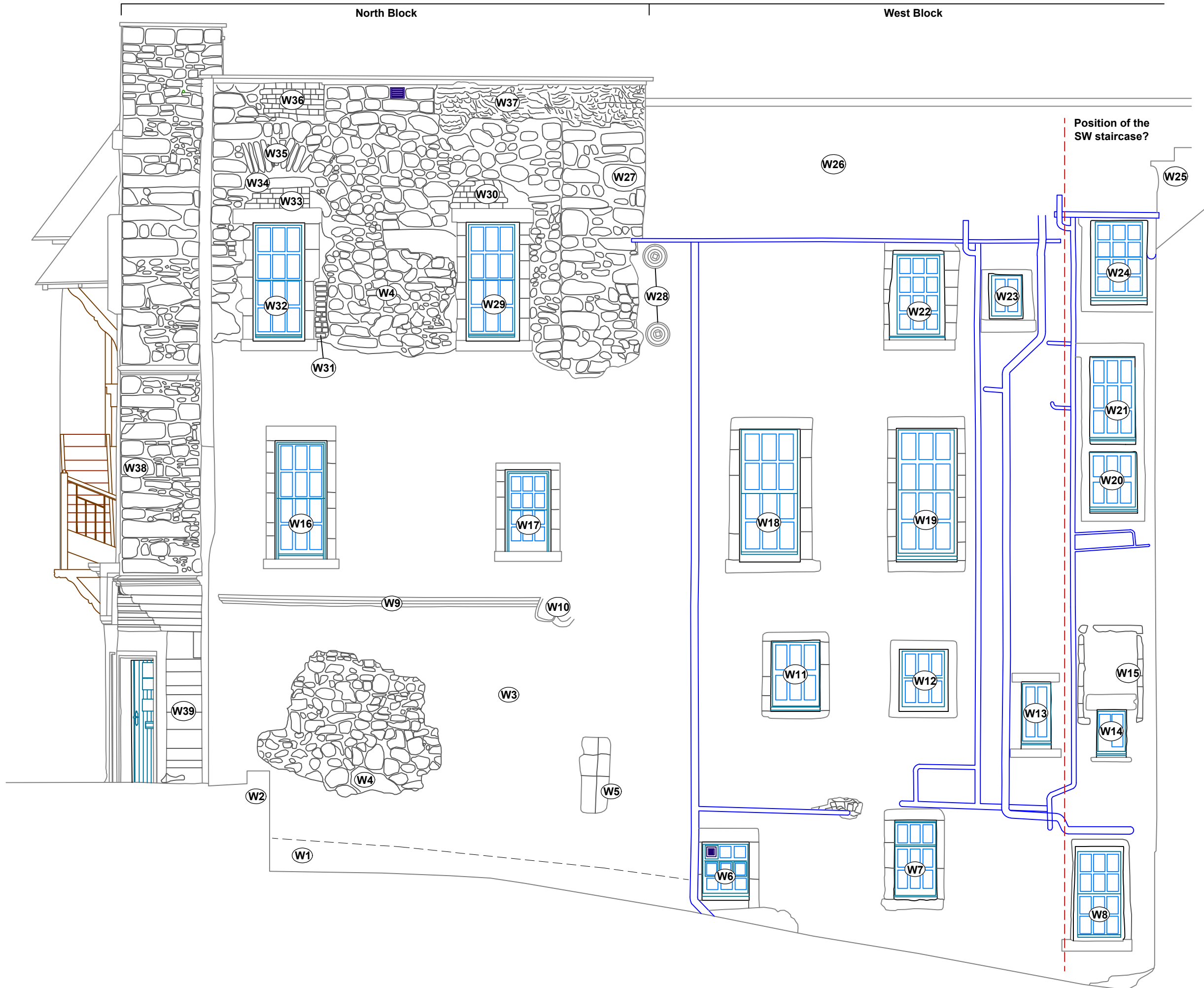
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LDN on behalf of SHBT

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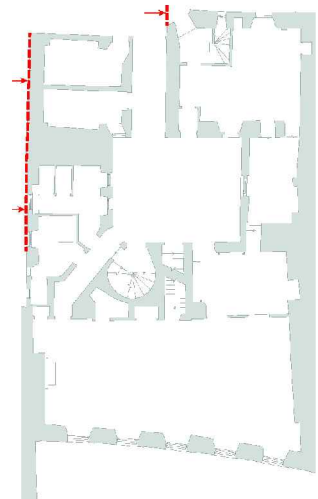


Table 3. Principal features recorded on the west-facing elevation of the North and West blocks (Fig 3b)

Feature No.	Summary Description
W1	Exposed fabric at the base of the elevation forming a distinct horizontal line protruding from the main wall by c.0.4m. Possible foundation course or wall footings.
W2	Stone-built revetment wall, c.1.5m high
W3	Wet-dash harling covering most of the elevation
W4	Exposed sections of wall fabric where the render has fallen away, most notably at second floor level of north block.
W5	Four dressed stones protruding from the main elevation, possibly jambs for a doorway?
W6	Window, six-paned in stugged surrounds, the lintel is cast concrete
W7	Window, three-over-six paned with rounded surrounds and a cast concrete lintel
W8	Window, six-over-six sash and case with for sockets on the lintel for window bars, glazing check slot present on the window surround
W9	String course comprising individual stone segments, terminating below Window W17
W10	Projecting stonework hidden by cement harling
W11	Window, six paned within stone surrounds, window bar sockets visible, concrete sill
W12	Window, six paned within stone surrounds
W13	Window, narrow four-paned with stone surrounds and concrete sill and lintel
W14	Window, four paned, one pane blocked for ventilation
W15	Blocked feature, exposed reveals of a blocked window or door? The interior blocking work is covered with harling
W16	Window, six-over-six sash and case with stone surrounds, sill and lintel of cast concrete
W17	Window, six-over-six sash and case with stone surrounds. Concrete sill
W18	Window, six-over-six sash and case with stone surrounds
W19	Window, six-over-six sash and case with stone surrounds
W20	Window six paned within stone surrounds which conjoin with the surrounds with window W21
W21	Window, nine paned immediately above window W20. The reveals conjoin with the reveals of window W20
W22	Window, six-over-six sash and case in stone surrounds
W23	Window, four paned within stone surrounds
W24	Window, six-over-six sash and case in stone surrounds
W25	Gable, lower section of a crow step gable situated at the west end of the south block roof
W26	Slate roof. A break in height is situated at the south end of the roof. This is only visible from the roof of the North Block.
W27	Break in build. Distinct change in fabric forming a large vertical section of long and short work. Possible line of a chimney?
W28	Tie-plates, black painted, probably cast iron with a square nut at the centre. Correspond with the two tie plates on the opposite side of the building's east-facing elevation (Feature E13)
W29	Window, six-over-six sash and case within stone surrounds, concrete sill and lintel
W30	Brick repair work, possibly replacing missing relieving arch for window W29
W31	Brick repair work on the south side of window W32
W32	Window, six-over-six sash and case, with regular and irregular surrounds. Sill and lintel concrete
W33	Brick repair work above window W32
W34	Moulded sandstone block, possibly the remains of an earlier window lintel surmounted by a relieving arch feature W35
W35	Relieving arch for an earlier window, comprising eleven individual segments
W36	Brick repair work at the wall head
W37	Brick repair work at the wall head forming a large section of south side of the north block
W38	Quoins, sandstone long and short work of the advanced north-facing elevation of the north block
W39	Ashlar built stonework (below the corbelling N12 and surrounding N10, Fig 3a)



Key:



CFA ARCHAEOLOGY LTD
 The Old Engine House
 Eskmills Park
 Musselburgh
 East Lothian, EH21 7PQ
 t: 0131 273 4390
 f: 0131 273 4381
 e: info@cfa-archaeology.co.uk
 w: www.cfa-archaeology.co.uk

Fig. No: **3b** Revision: **0**

Title:
West-facing elevation of the North block and West block

Project:
**Riddle's Close, Lawnmarket, Edinburgh
 Historic Building Survey**

Client:
LDN on behalf of SHBT

Scale at A3: **1:60**

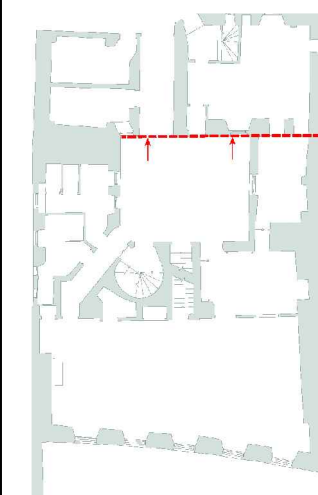


Drawn by: **LW** Checked: **LW** Report No: **2164**

Table 4. Principal features recorded on the south-facing elevation of the North Block (Fig 3c)

Feature No.	Summary Description
S1	Harling, cement render covering the whole elevation.
S2	Quoins, sandstone quoins and voussoirs surrounding the passage arch.
S3	Four paned window lighting the cellar room G02. Sandstone surrounds. Concrete sill and lintel. Possible later insert according to crude blocking work at the base of the window observed within the interior of G02 one of the cellar rooms. Probably originally a door.
S4	Door, plank-built varnished oak. Plate labelled 'canteen' fixed to it. The door has three rectangular lights above it.
S5	Chamfer moulded door jambs for door S4. Door step is concrete. Red ochre paint present on the jambs.
S6	Window, six-over-six sash and case within chamfer moulded surrounds.
S7	Cast iron or (steel?) bresumer beam situated above window S6, presumably introduced in the 1960s to act as load-bearing feature.
S8	String course, lower section, cast concrete stretching full width of the elevation.
S9	String course, upper section, cast concrete, dog-legs vertically between windows S10 and S11.
S10	Window, six-paned set within stone surrounds. Concrete lintel with the string course (S9) forming the window sill.
S11	Window, six-over-six sash and case. Lintel and sill concrete. Surrounds either side of the window are round moulded.
S12	Window, narrow, four over four sash and case within stugged stone surrounds. Concrete sill and lintel.
S13	Window, six paned window within stone surrounds. Concrete sill and lintel. Red paint survives on the east side reveal.
S14	Window, three paned, concrete sill and lintel partly hidden by the cat slide roof (Feature W6).
S15	Window, tight up against the east-facing elevation of the west block. Six-over-six sash and case. Sill concrete, lintel sandstone.
S16	Window, six-over-six sash and case window set within stone surrounds. Concrete sill and lintel. Patching repairs on both sides
S17	Window, narrow four-over-four sash and case window, concrete sill and lintel. Both red and cream sandstone used to construct the surrounds
S18	Window, six-over-six sash and case window within round moulded stone surrounds. Air vent in top middle pane. Concrete sill and lintel
S19	Window, six-over-six sash and case window within round moulded stone surrounds. Concrete sill and lintel. Patch repairs to both side reveals
S20	Drain pipe, cast-iron black painted
S21	Gutter, cast-iron
S22	Reduced chimney stack capped with concrete

Key:



North Block

CFA ARCHAEOLOGY LTD
 The Old Engine House
 Eskmills Park
 Musselburgh
 East Lothian, EH21 7PQ
 t: 0131 273 4390
 f: 0131 273 4381
 e: info@cfa-archaeology.co.uk
 w: www.cfa-archaeology.co.uk

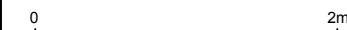
Fig. No: **3c** Revision: **0**

Title:
South-facing elevation of North block

Project:
**Riddle's Close, Lawnmarket, Edinburgh
 Historic Building Survey**

Client:
LDN on behalf of SHBT

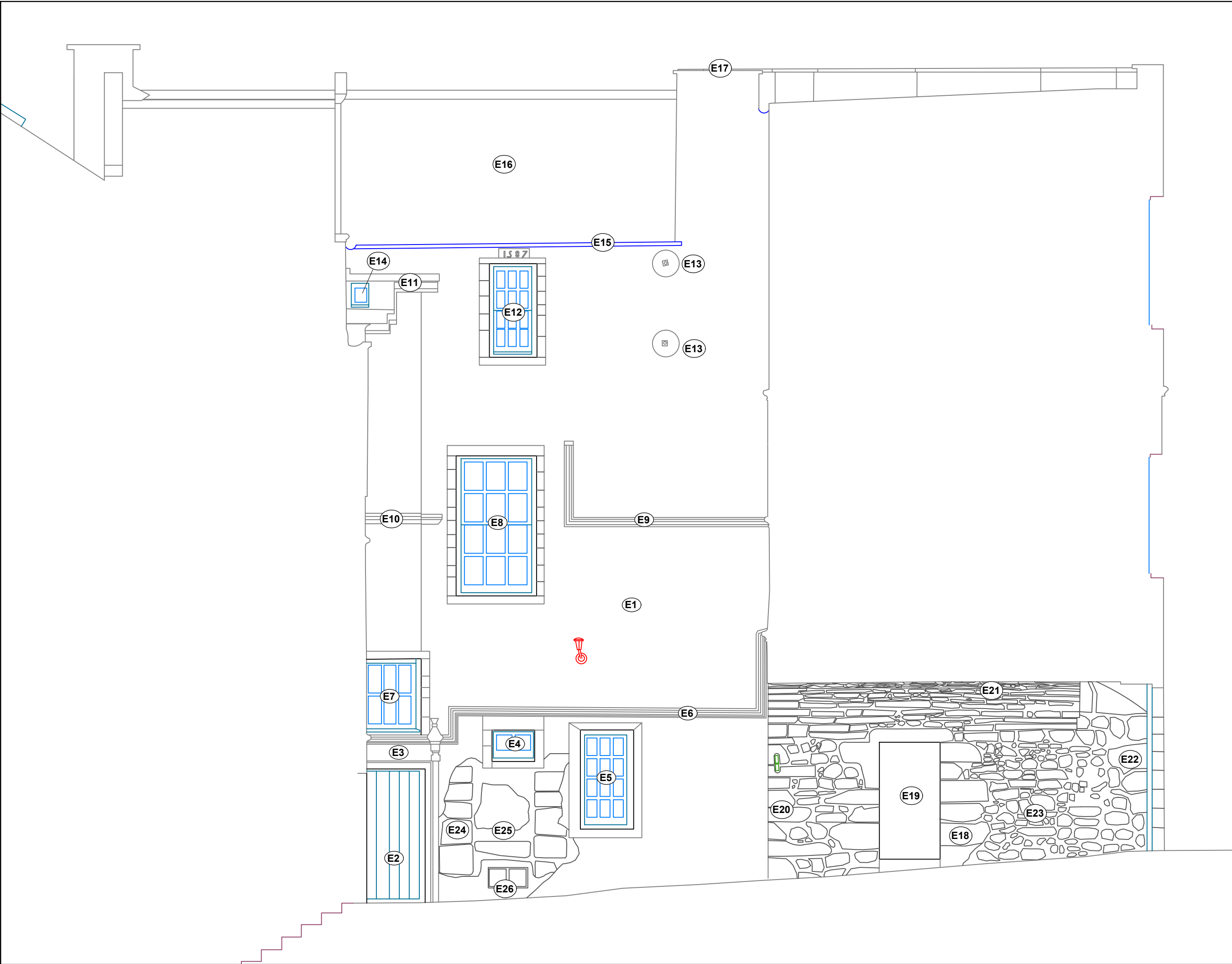
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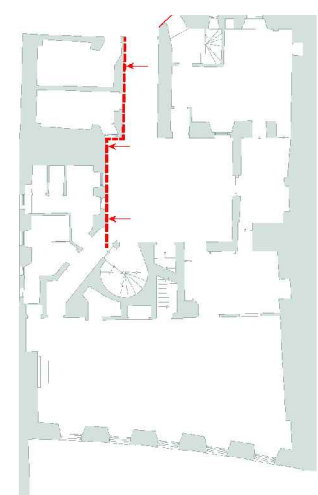
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Table 5. Principal features recorded on the east-facing elevation of the West Block, inner court (Fig 3d)

Feature No.	Summary Description
E1	Harling, cement render covering the whole elevation
E2	Door, plank-built varnished oak, 1960s replacement of an earlier door
E3	Architrave, cast concrete with representation of a thistle
E4	Window, two paned with stone surrounds, concrete lintel. Red ochre paint survives on the reveals
E5	Window, six paned sash and case window, raised stone margins with red paint present. 1960s insert into a ground floor doorway?
E6	String course, moulded cast concrete running below window E7 and then dog-legging upwards to longer horizontal section.
E7	Window, six paned hall-light within stone reveals. Concrete sill and lintel.
E8	Sash and case window, six-over-six, lighting the Pink Room (F08). Sandstone surrounds, concrete sill and lintel. Room number is correct
E9	String course, cast concrete, L-shaped arrangement stopping short with the top of window E8.
E10	String course, section of concrete broken close to the window E8 reveal.
E11	String course, section overlaid by lead sheeting.
E12	Window, six-over-six sash and case within stone reveals, concrete sill and lintel. This window has a carved date of 1587 in gold leaf above. The line of a reduced pediment above the window is visible.
E13	Circular tie-plates, cast-iron corresponding with two on the rear west-facing elevation (feature W28).
E14	Window, small square pane set in the angled corner of the junction between the south and west blocks. The window has a small hood over it. A string course E11 runs around its base then dog-legs up to more or less the level of the top of the window.
E15	Gutter, cast-iron, black painted.
E16	Slate roof with zinc galvanised steel ridge caps.
E17	Chimney with concrete cap on the north side of the elevation.
E18	Quoins, very large c.0.5m x 0.35m sandstone blocks surrounding the door to the cellar (Room G02).
E19	Door, plank-built varnished oak 1960s replacement of an earlier door.
E20	Quoins, rough dressed sandstone blocks to a height of c.2m.
E21	Passage roof, vaulted stonework of thinner droved blocks of noticeable difference with lower primary build (E23).
E22	Quoins situated on the north side of the passage, comprising irregular blocks of dressed sandstone.
E23	Passage wall, primary build comprising randomly laid rubble bonded with lime mortar.
E24	Ashlar surrounds run up both sides of brick blocking work (E25). A historical photograph taken by Dyket in 1904 shows a nine-paned window below window E4 with blocking work below. Wyllie's 1940 photograph shows that the window is blind and covered with a grill.
E25	Brick blocking work infilling the ashlar quoins.
E26	Modern ventilation grill with stone surrounds at the base of the wall.



Key:



CFA ARCHAEOLOGY LTD
 The Old Engine House
 Eskmills Park
 Musselburgh
 East Lothian, EH21 7PQ
 t: 0131 273 4390
 f: 0131 273 4381
 e: info@cfa-archaeology.co.uk
 w: www.cfa-archaeology.co.uk

Fig. No: 3d Revision: 0

Title:
East-facing elevation of West block, inner court

Project:
**Riddle's Close, Lawnmarket, Edinburgh
 Historic Building Survey**

Client:
LDN on behalf of SHBT

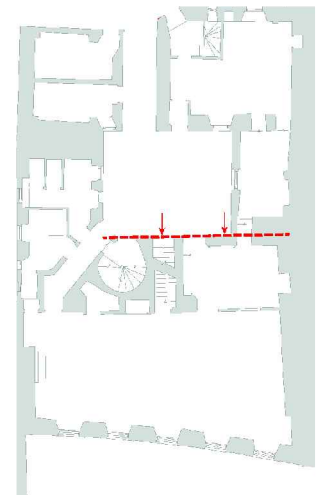
Scale at A3: 1:50

Drawn by: LW Checked: LW Report No: 2164

Table 6. Principal features recorded on the north-facing elevation of the South Block inner court (Fig 3e)

Feature No.	Summary Description
A1	Harling, cement render covering the whole elevation.
A2	Door, double-leaved plank-built varnished oak. Fire-exit.
A3	Door, plank-built, varnished oak. This door leads to the pend running below the south block and into the lower Victoria Street youth cafe.
A4	Door surround, sandstone with concrete architrave with ornamental thistles.
A5	Door, plank-built varnished oak, main door to south block at the base of the turnpike staircase.
A6	Door surrounds, sandstone with concrete architrave and thistles.
A7	Door, plank-built varnished oak leading to ground floor corridor.
A8	Cast concrete architrave above door A7.
A9	String course, cast concrete, running above the ground floor doors.
A10	Window, six-over-six sash and case within round surrounds. Sill concrete. Lintel droved sandstone. This window has been inserted into an earlier opening.
A11	Window, six-over-six sash and case in stone surrounds. The sill is concrete and the lintel appears to be sandstone (weathered).
A12	Window, six-over-six sash and case within stone surrounds with ochre paint on west side segments. Sill concrete.
A13	String course, cast-concrete running across the width of the elevation. Dog-legs upwards at the west end.
A14	Segmented scallop feature comprising seven individual segments projecting from the main wall line. Past interpretations include a support for a goods loading beam or mantel/hood over a bell. The quality of the masonry makes this unlikely. Alternative use could be painted heraldic device over the doorway – the ‘Great Entrance’ since removed?
A15	Window, six-over-six sash and case within rounded surrounds, plain on the east side and droved on the west side.
A16	Window, small four paned window lighting a staircase on the second floor.
A17	Window, six-over-six sash and case window within round moulded surrounds. Concrete lintel.
A18	Window, six-over-six sash and case window within round moulded surrounds. Concrete lintel.
A19	Window, six paned window set within stone surrounds. Lighting attic space?
A20	Square recess feature that formerly housed a bust of Patrick Geddes.
A21	Window, six paned window set within stone surrounds, lighting attic space?
A22	String course, at the base of the pediment.
A23	Pediment with roll roundel finials. Formally inscribed S on the left and M on the right (base) as seen on historical photograph.
A24	Drain pipe running alongside windows A15 and A10.
A25	Drain pipe with hopper head dated 1862 (historical photograph).
A26	Water spout, this feature has a hollow channel cut into its top face and is fed by a triangular shaped funnel that projects from the main elevation alongside the west side of the chimneystack (A27).
A27	Chimney stack. This feature is constructed from random rubble with three stages of shouldered construction which is best seen facing eastwards. The west side of the chimney is flush whilst the rear (east side) is stepped. The shoulders are covered with coping stones. The chimney is capped by four concrete slabs.

Key:



CFA ARCHAEOLOGY LTD
 The Old Engine House
 Eskmills Park
 Musselburgh
 East Lothian, EH21 7PQ
 t: 0131 273 4390
 f: 0131 273 4381
 e: info@cfa-archaeology.co.uk
 w: www.cfa-archaeology.co.uk

Fig. No: **3e** Revision: **0**

Title:
North-facing elevation of South block, Inner court

Project:
**Riddle's Close, Lawnmarket, Edinburgh
 Historic Building Survey**

Client:
LDN on behalf of SHBT

Scale at A3: **1:60**

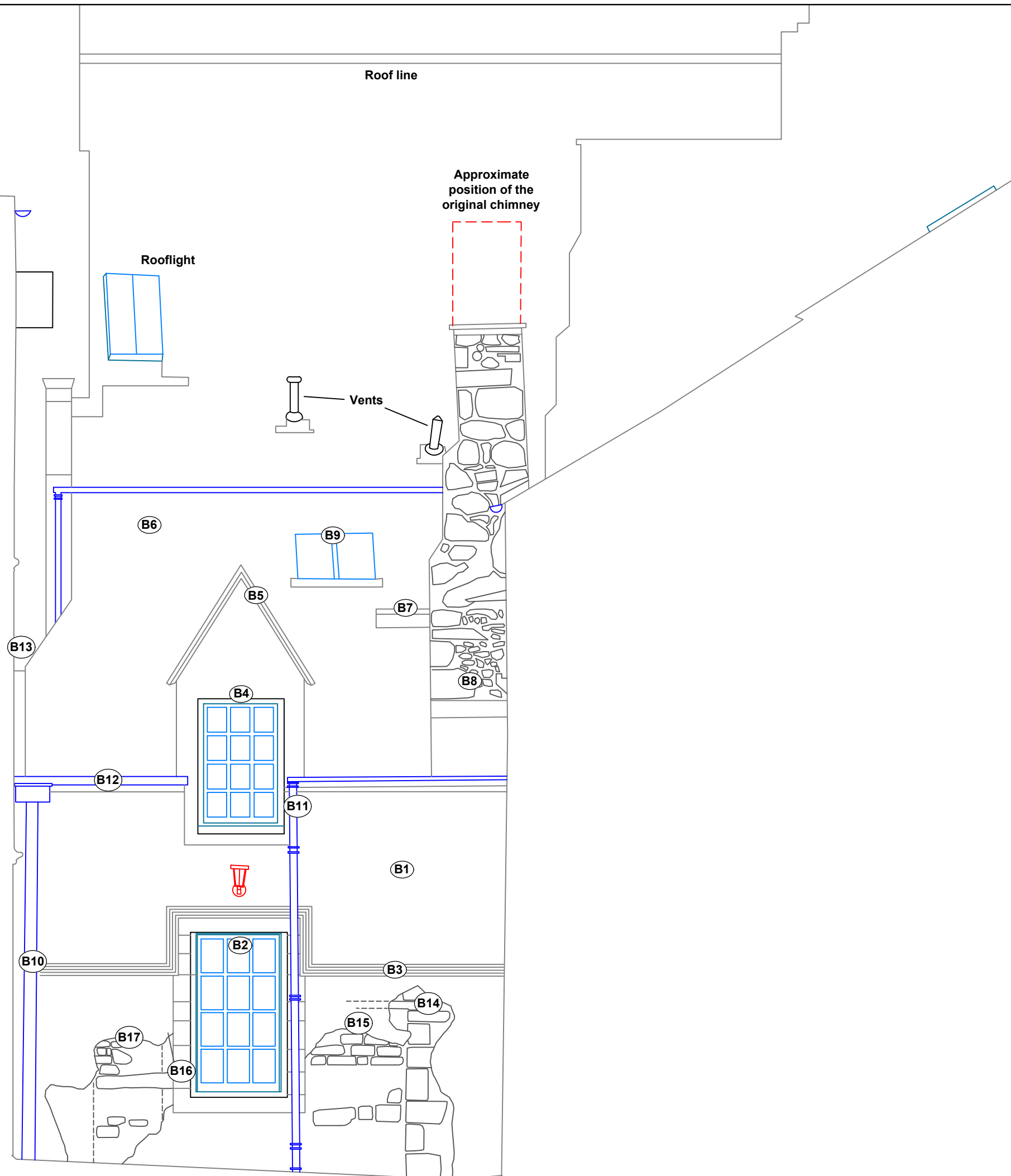
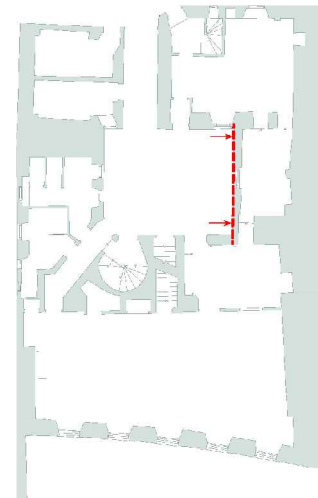


Drawn by: **LW** Checked: **LW** Report No: **2164**

Table 7. Principal features recorded on the west-facing elevation of the East Block (Fig 3f)

Feature No.	Summary Description
B1	Harling, cement render over stone, some stonework exposed at the toe of the wall where the harling has fallen away. At least two coats of render have been applied judging by the layers exposed at the base of the wall.
B2	Central window with sandstone surrounds, six-over-six sash and case window with cast concrete sill and lintel. 1960s insertion of an earlier doorway.
B3	String course running across the elevation and above window B2.
B4	Window with stone built pediment. Concrete sill. Exposed stonework above the six-over-six sash and case window.
B5	Coping stones, cast-concrete on top of window B4 pediment.
B6	Roof, grey slate cat-slide roof.
B7	Water cannon spout projecting off the north-facing elevation of the chimney stack.
B8	Chimney, west-facing side with large stone quoins at the corner, staggered and reduced in height. Approximate height shown in red.
B9	Roof light, two paned within roof B6.
B10	Rainwater drain pipe on the north side of the elevation, black-painted cast-iron.
B11	Rainwater drain pipe on the immediate south side of window B4, black-painted, cast-iron
B12	Gutter, cast-iron at base of roof B6.
B13	Flashing, lead flashing at the junction of the north and east Blocks.
B14	Door surrounds and lintel partially exposed during recent removal of the harling, comprising long and short work with lintel above.
B15	Blocking material within B14, comprising an assortment of rough dressed blocks of sandstone and random rubble bonded with lime mortar.
B16	Door surrounds exposed during the removal of the harling. A single large block of sandstone forming one of the window reveals shows that the blocking work (B17) was contemporary with the insertion of window B2.
B17	Blocking work within doorway B16. The full extent of this is not yet known, comprises an assortment of random rubble bonded with lime mortar.

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Fig. No: **3f** Revision: **0**

Title:
West-facing elevation of East block

Project:
**Riddle's Close, Lawnmarket, Edinburgh
Historic Building Survey**

Client:
LDN on behalf of SHBT

Scale at A3: **1:50**

Drawn by: **LW** Checked: **LW** Report No: **2164**

5. RESULTS OF THE INTERNAL BUILDING SURVEY

5.1 Wall thickness analysis

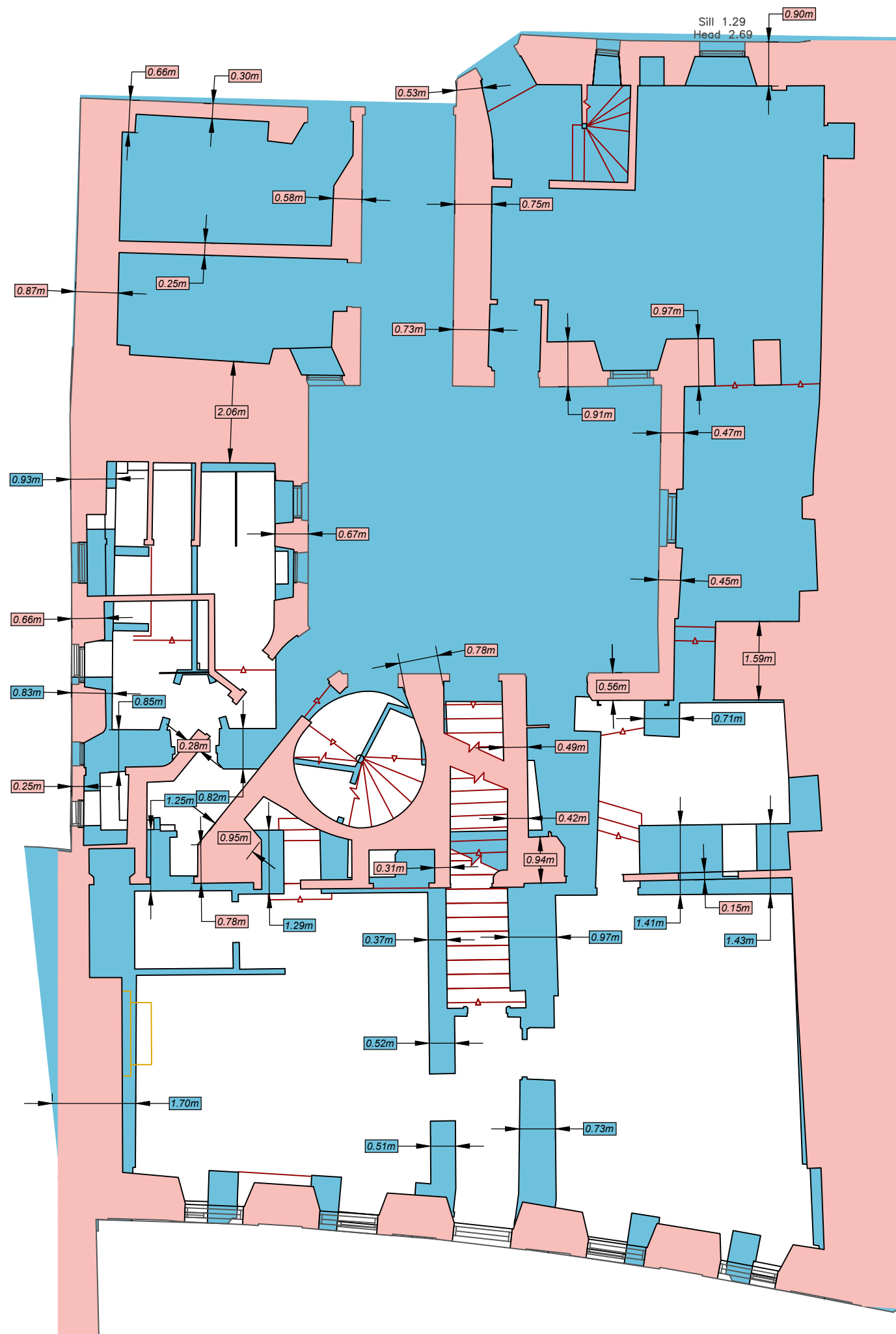
Wall thickness analysis was carried out by superimposing the architect's floor plans and measuring off the thickness in CAD (Figs 4a–c). Overlaying the complete set of floor plans was attempted but abandoned as it resulted in a confused plan which was difficult to decipher. The basement and ground floor overlay (Fig 4a) shows how the latter sits on its foundations. The wall between the cellar rooms and the north end of the west block is massive at just over 2m thick on the ground floor (Fig 4a). The same wall is a constant 1.6m on the first floor (Fig 4b) and second floor overlay (Fig 4c).

Analysis of the wall thickness plans shows a massive wall on the east side of the building complex. A conjectured wall thickness has been interpolated onto Fig 6. The inset is taken from Capper's 1892 cross-section within the east block roof which shows the position and relative thickness of the Riddle's Court property and the adjoining Baden Powell House. The position of a window recently found within the roof space of the east block is also shown on this cross-section.



Key:

- Basement
- Ground floor



CFA ARCHAEOLOGY LTD
 The Old Engine House
 Eskmills Park
 Musselburgh
 East Lothian, EH21 7PQ
 t: 0131 273 4380
 f: 0131 273 4381
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 w: www.cfa-archaeology.co.uk

Fig. No: **4a** Revision: **0**

Title:
Basement and ground floor plans showing comparative structural thicknesses

Project:
**Riddle's Close, Lawnmarket, Edinburgh
 Historic Building Survey**

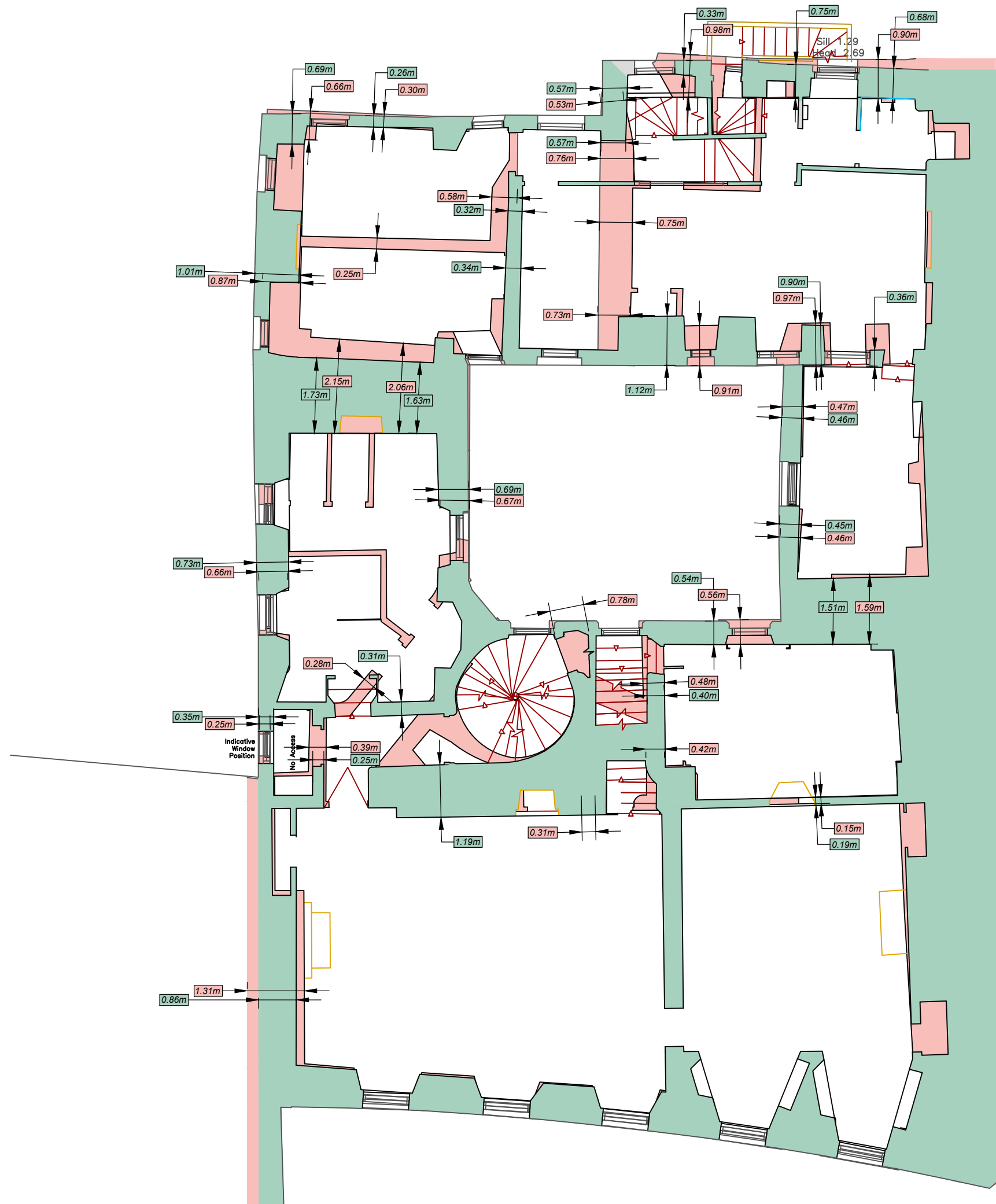
Client:
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Scale at A3:
1:100



Key:

- Ground floor
- First floor



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Fig. No: **4b** Revision: **0**

Title:
Ground floor and first floor plans showing comparative structural thicknesses

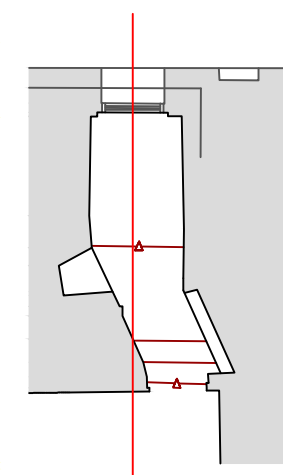
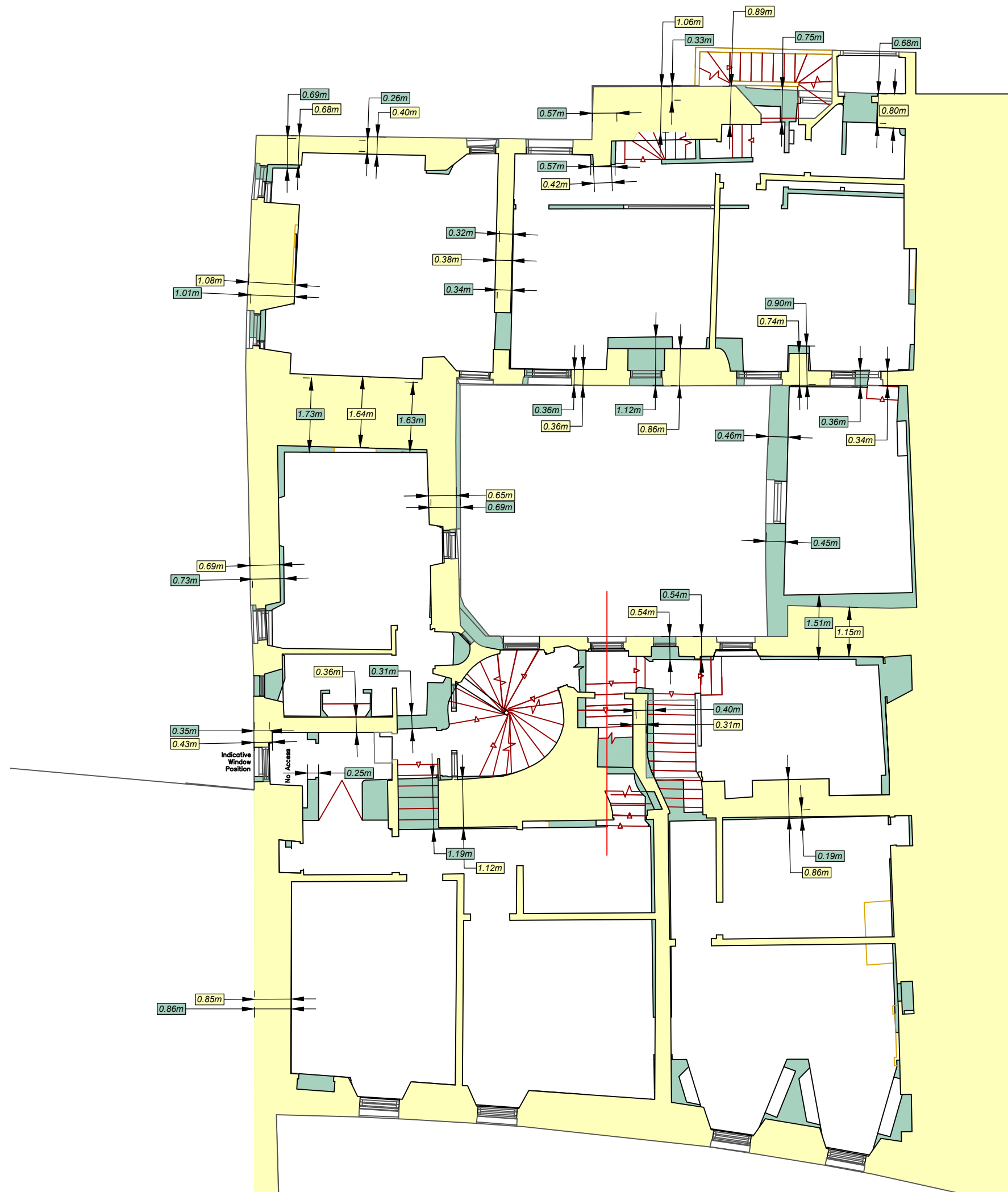
Project:
**Riddle's Close, Lawnmarket, Edinburgh
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Client:
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Key:
 First floor
 Second floor



Mezzanine Level

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Fig. No: **4c** Revision: **0**

Title:
First and second floor plans showing comparative structural thicknesses

Project:
**Riddle's Close, Lawnmarket, Edinburgh
 Historic Building Survey**

Client:
LDN on behalf of SHBT

Scale at A3:
1:100



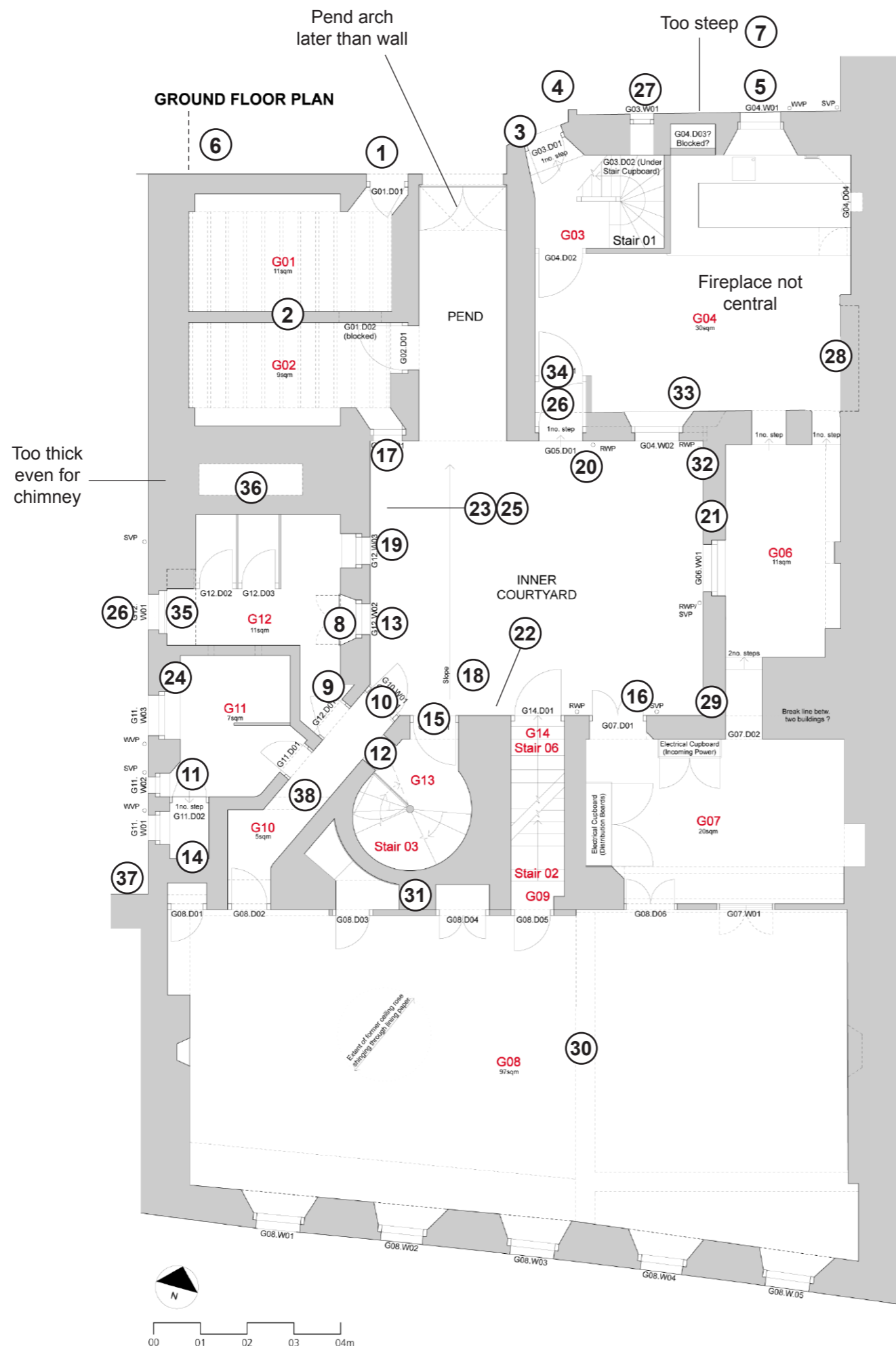
Drawn by: **LW** Checked: **MC** Report No: **2164**

5.2 Schedule of Constructional Irregularities

A room by room inspection was carried out to identify features of architectural and archaeological interest that were visible within the present room layout in order to create a schedule of architectural irregularities (Table 8). These results were then added to the architect's floor plans and the comparative wall thickness analysis and plotted to produce Figs 5a–5k.

Table 8. List of architectural irregularities recorded during the internal and external survey

Irregularity No.	Room No.	Description
<i>Fig 5a</i>		
		<i>Basement Plan - Summary Description</i>
1	Passage to B06	Angled (cut-back?) wall
2	Stair 06	Rounded arris
3	off B10	Stair in 1951 (RCAHMS)
4	B08	Blocked window on east wall of barrel-vaulted room
5	Stair 06	Stairs uneven
6	B02	Lower room 3 step difference from upper
7	B07–8	Uneven rear wall
<i>Fig 5b</i>		
		<i>Ground Plan - Summary Description</i>
1	G01	Inserted door to G01
2	G01–2	Inserted partition wall between G01 and G02
3	G03.D01	Inserted door with corbelled out stonework above
4	G03.D01	Fine early door reveal exposed as a projecting stub
5	G04.W01	Former entrance to store
6	ext G01	Evidence of former building abutting the NW corner of G01
7	G04.W01	Evidence of steps at the base of the wall below pentice staircase
8	G12.W02	Cut back in window in ladies WC
9	G12.D01	Wall curves, reveal of an earlier window opening?
10	G10.W01	Wall curves at south end of the passage possibly representing repair work
11	G11	Wall curves. Original scar
12	G13	Stair did not access passage at the end of the corridor. How did it?
13	G12.W02	Evidence of an earlier window
14	G11.D02	Change in floor level, later infill?
15	G13	Former entrance to store replaced with later window
16	G07.D01	Door at first floor of this facade. Projecting moulding fabric of a coronet?
17	G02.D01	Settlement crack on main elevation
18	G13D01 & G14D01	Stringcourses and thistles in concrete. Doors openings appear to be 17th-century in proportion
19	courtyard	West wall steps back Level 1
20	courtyard	Wall surface south facade
21	courtyard	East block ground floor, position of an earlier doorway
22	courtyard	South block top storey
23	courtyard	If the dormer is original, roof has been raised
24	external	West wing originally higher than south-west
25	external	Dormer sign of significance/high status
26	external	Windows shown on Drummond's 1854 drawing
27	G03.W01	Entrance to store on historical drawing
28	G04	Blocked Fireplace not in a central position, later addition?
29	courtyard	Ground floor window blocked in c.1892 according to McGibbon & Ross plan c

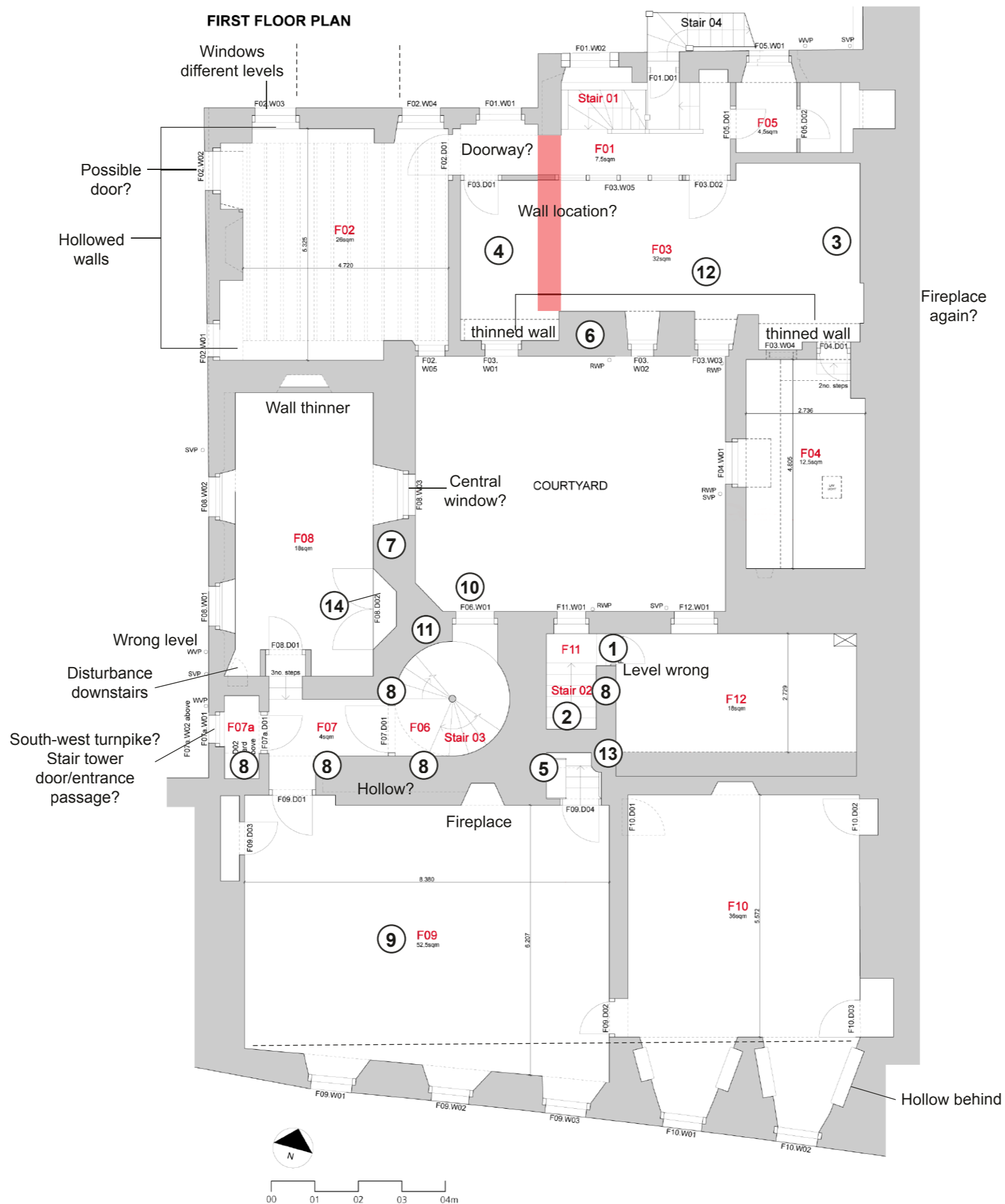


Key

1. Inserted door to G01
2. Inserted partition wall between G01 and G02
3. Inserted door with corbelled out stonework above
4. Fine early door reveal exposed as a projecting stub
5. Former entrance to store
6. Evidence of former building abutting the NW corner of G01
7. Evidence of steps at the base of the wall below pentice staircase
8. Cut back window in ladies WC
9. Wall curves, reveal of an earlier opening
10. Wall curves at south end of the passage possibly representing repair work
11. Wall curve. Original scar
12. Stair did not access passage at the end of the corridor. How did it?
13. Evidence of an earlier window
14. Change in floor level, later infill?
15. Former entrance to store replaced with later window
16. Door at first floor of this facade. Projecting moulding fabric of coronet?
17. Settlement crack on main elevation
18. Stringcourses and thistles in concrete. Doors appear to be 17th-century in proportion
19. West wall steps back Level 1
20. Wall surface south facade
21. East block ground floor, position of earlier doorway
22. South block top storey
23. If the dormer is original, roof has been raised
24. West wing originally higher than south-west
25. Dormer sign of significance/high status
26. Windows shown on Drummond's 1854 drawing
27. Entrance to store on old historical drawing
28. Blocked fireplace not in a central position, later addition
29. Ground floor window blocked in 1880
30. Cross wall there 1880 & 1897 removed later to create large open plan room
31. Open in 1888
32. Door in 1880 shown on Capper's 1892 part revealed during render removal
33. Door 1880 replaced by later window
34. Existing opening on Capper's 1892 plan
35. See Aitken's 1895 plan showing much larger window opening
36. See Aitken's 1895 plan showing position of a chimney flue
37. Change in wall alignment
38. Main structure arch

Irregularity No.	Room No.	Description
30	G08	Cross wall there 1880 & 1897 removed later to create large open plan room
31	G08	Open in 1888
32	G04.W02	Door in 1880 shown on Capper's 1892 part revealed during render removal
33	G04	Door 1880 replaced by later window
34	G04.D01	Existing opening on Capper's 1892 plan
35	G12	See Aitken's 1895 plan showing much larger window opening
36	internal	See Aitken's 1895 plan showing position of a chimney flue
37	external	Change in wall alignment
38	G10	Main structure arch
<i>Fig 5c</i>		<i>First Floor Plan – Summary Description</i>
1	F12.D01	1880 Entrance squint
2	Stairs 02	1880 Stairs squint
3	F03	'Capper' 1892 fireplace
4	F02	Door 1897
5	F09.D04	Different profile 1897
6	F03	Fireplace 1897
7	F08	Walls thinner than on 1851 plan
8	F07	External work?
9	F09	Panelling later?
10	F06.W01	Door?
11	S03	Disturbance?
12	F03	Arches – scalloping corbels
13	F09.D04	Rounded arris
<i>Fig 5d</i>		<i>Second floor Plan – Summary Description</i>
1	Stair 05	Stairs appear to be Victorian, cut through partition wall
2	S08	Wall thickness on north side of Room S08, rebuilt
3	S08	Cupboard containing blocked late nineteenth-century window facing east
4	Hallway S09	Where was the original access to this floor?
5	S07a	Angles under cupboard ceiling – route of staircase?
6	Hallway S07	Later wall opening to provide modern access to spiral staircase
7	S07a	Cupboard – was this actually a stair? (See 5 above)
8	S08	Level of the floor in Room S08
9	external	Window – doubtful but chimney odd
10	S18	Solid wall
11	external	Why difference in the higher (roof?) level
12	external	Turnpike on south west end of West Block could distribute to both floors
13	S15	Brick partition wall?
14	S08	Three steps into Room S08 showing lower level
15	S08	Ingenook in recess?
16	S02	Scalloping and corbels, thinned walls
17	S03	Plaster 1649? (see historical research on who commissioned this feature)
18	S03.W04	Windows inserted
19	S01	Door/window jamb above
20	Stair 04	Original joists 1m above
<i>Fig 5e</i>		<i>Sectional elevations C–C and D–D Summary Description</i>
1	external	Missing gable crow-steps
2	external	Existing gable crow-steps
3	external	Differing moulding profile

FIRST FLOOR PLAN



Key

1. 1880. Entrance squint
 2. 1880. Stairs squint
 3. 'Capper' 1892 fireplace
 4. Door 1897
 5. Different profile 1897
 6. Fireplace 1897
 7. Walls thinner than on 1851 plan
 8. External work?
 9. Panelling later?
 10. Door?
 11. Disturbance?
 12. Arches - scalloping corbels
 13. Rounded arris
 14. Wall press
- See Capper's plan

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The Old Engine House
Eskmills Park, Musselburgh
East Lothian, EH21 7PQ
T: 0131 273 4380
F: 0131 273 4381
e: info@cfa-archaeology.co.uk
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Fig. No:	5c	Revision	0
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Title
Irregularities - First floor plan

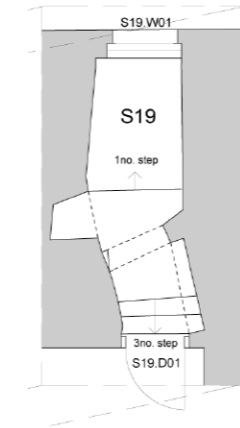
Project
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Edinburgh
Historic Building Survey

Scale at A3
1:200

Client
LDN on behalf of SHBT

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SW	SW	2164

SECOND FLOOR PLAN



- Key
1. Stairs appear to be Victorian, cut through partition wall
 2. Wall thickness on north side of Room S08, rebuilt
 3. Cupboard containing blocked late 19th-century window facing east
 4. Where was the original access to this floor?
 5. Angles under cupboard ceiling - route of staircase?
 6. Later wall opening to provide modern access to spiral staircase
 7. Cupboard - was this actually a stair? (See 5 above)
 8. Level of the floor in Room S08
 9. Window - doubtful but chimney odd
 10. Solid wall
 11. Why difference in the higher (roof?) level?
 12. Turnpike on south-west end of West Block could distribute to both floors
 13. Brick partition wall?
 14. Three steps into Room S08 showing lower level
 15. Inglenook in recess?
 16. Scalloping and corbels, thinned walls
 17. Plaster 1649? (see historical research on who commissioned this feature)
 18. Windows inserted
 19. Door/window jamb above
 20. Original joists 1m above

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 The Old Engine House
 Eskmills Park, Musselburgh
 East Lothian, EH21 7PQ
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 F: 0131 273 4381
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Fig. No:	5d	Revision	0
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Title
Irregularities - Second floor plan

Project
**Riddle's Close, Lawnmarket, Edinburgh
 Historic Building Survey**

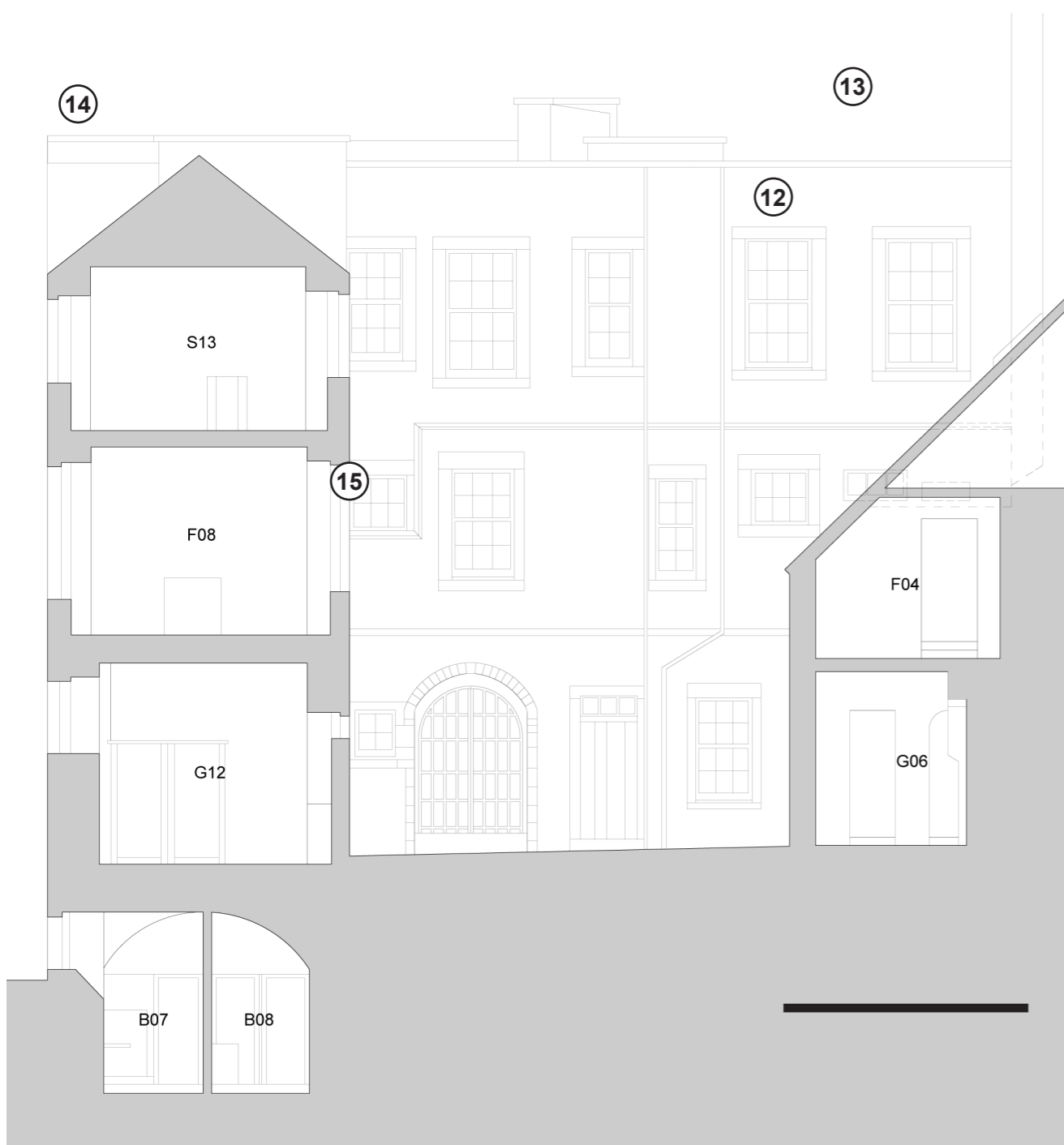
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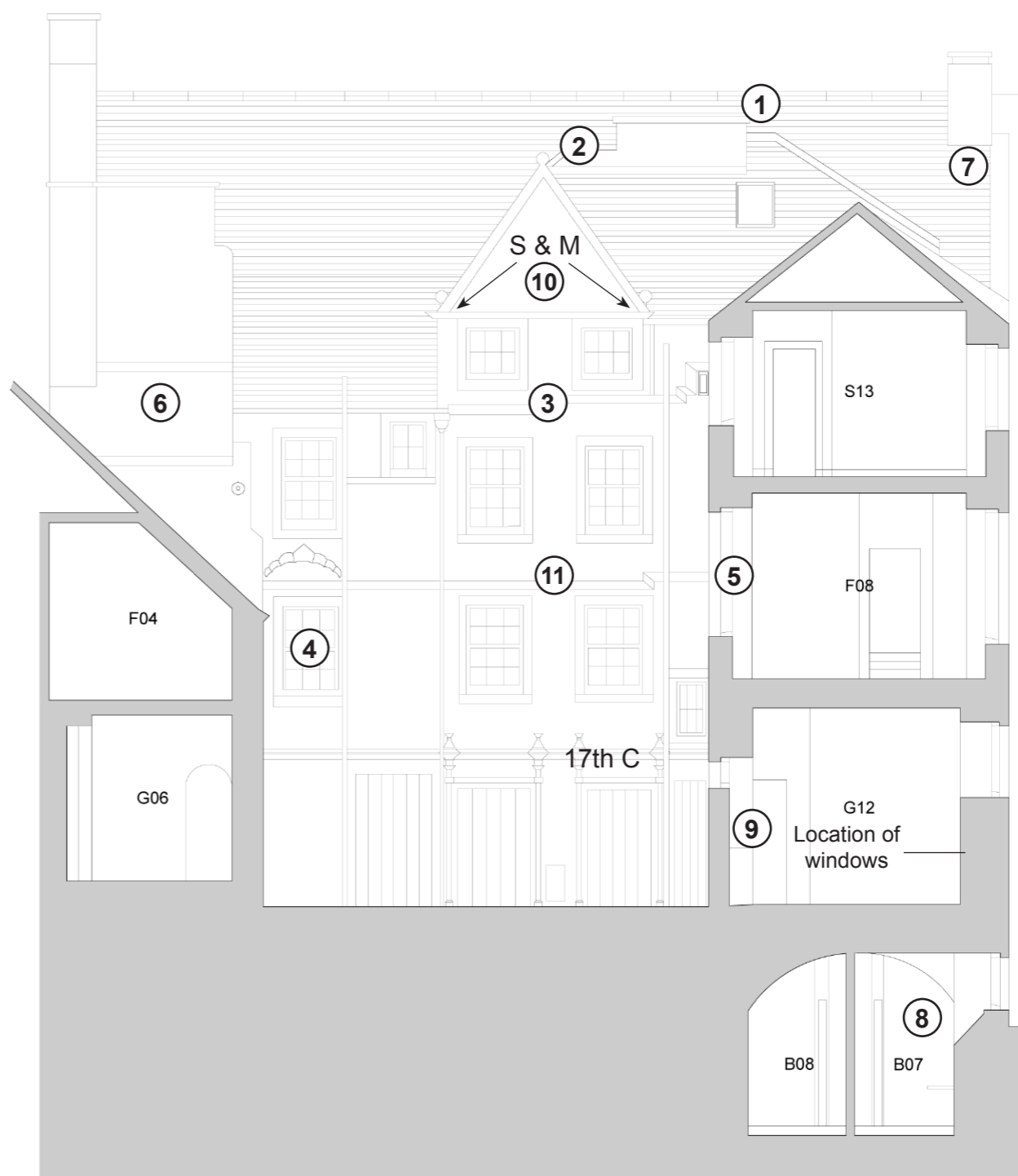
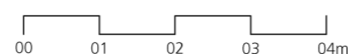
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Key

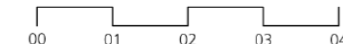
1. Missing gable crowsteps
2. Existing gable crowsteps
3. Differing moulding profile
4. Door? Alteration to a window
5. Thinned wall
6. Roof raggle
7. West block lower than the south?
8. Kitchen? / major store
9. Position of a door?
10. S & M on the scroll skewputs, what do these initials stand for?
11. Two windows all the way up. High-lighting what? Circulation? Staircase?
12. Disturbance at the wall head
13. Missing upper storey
14. If right hand side only is a chimney stack, what is on the left?
15. Window missing



SECTIONAL ELEVATION C-C



SECTIONAL ELEVATION D-D



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The Old Engine House
Eskmills Park, Musselburgh
East Lothian, EH21 7PQ
T: 0131 273 4380
F: 0131 273 4381
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Fig. No: 5e Revision: 0

Title: Irregularities - Sectional elevations C-C and D-D

Project: Riddle's Close, Lawnmarket, Edinburgh
Historic Building Survey

Scale at A3

Client: LDN on behalf of SHBT

Drawn by: SW Checked by: SW Report No: 2164

Irregularity No.	Room No.	Description
4	external	Door? Alteration to a window
5	F08	Thinned wall
6	external	Roof raggle
7	external	West Block lower than the south
8	B07	Kitchen? / major store
9	G12	Position of a door?
10	external	S and M on the scroll skewputs, what do these initials stand for?
11	external	Two windows all the way up. High-lighting what? Circulation? Staircase?
12	external	Disturbance at the wall head
13	external	Missing upper storey
14	external	If right hand side only is a chimneystack, what is on the left
15	F08	Missing window
<i>Fig 5f</i>		<i>1951 elevation showing floor levels (west-facing elevation)</i>
1	external	Argument for stairs (accessed from the West Bow)
2	external	First floor levels different
3	external	Blocked up door (reduced ground levels or accessed by a forestairs?)
4	external	Chimney thickness exposed at wall head (lower covered in render)
<i>Fig 5g</i>		<i>1951 Section through West Block</i>
1	external	Different roof structures, west facing roof on the west block has been reconfigured
2	G12, F08	Thinned wall
3	external	West wing levels different to south
<i>Fig 5h</i>		<i>1897 Ground and First floor plans</i>
1	G06-7	Wall is solid
2	Stair 02	Openings on each side of the wall, what was their function?
3	G08.D03	Cupboard space within the curve created by the spiral staircase
4	G04	Solid wall
5	G04/G06	Opening
6	courtyard	Opening of a door recently exposed again following the removal of harling on the north end of the west elevation of the east block
7	G08	Wall
8	G11	Step
9	F09	Press and moulded corner
10	F09	Cut back wall
11	F09	Wall thickness
12	F08	Cupboard?
13	F04	Unconformity in wall alignment
14	F04	No access to East Chamber, doors missing, drawing error?
15	F03	Thinned wall
16	F02	Door location
17	F03	Fireplace in first floor south block
<i>Fig 5i</i>	external	<i>Historical Photograph</i>
1	chimney	Smoke discoloration from another chimney?
2	gable	Original gable built up with brickwork
3	gable	Older gable
4	chimney	Split in chimney
5	wall	Moulding into a window
6	chimney	Roof raggle



Floor levels make sense with a stair here

Key

- 1. Argument for stairs (accessed from the West bow)
- 2. First floor levels different
- 3. Blocked up door? (reduced ground levels or accessed by a forestair)
- 4. Chimney thickness exposed at wall head (lower covered in render)

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 The Old Engine House
 Eskmills Park, Musselburgh
 East Lothian, EH21 7PQ
 T: 0131 273 4380
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Fig. No:	5f	Revision	0
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Title
 Irregularities - 1951 elevation showing floor levels

Project
 Riddle's Close, Lawnmarket, Edinburgh
 Historic Building Survey

Scale at A3

Client
 LDN on behalf of SHBT

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Key

- 1. Different roof structures, west-facing roof on the West Block has been reconfigured
- 2. Thinned wall
- 3. West wing levels different to south

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Fig. No:	5g	Revision	0
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Title
 Irregularities - 1951 elevation showing floor levels

Project
 Riddle's Close, Lawnmarket, Edinburgh
 Historic Building Survey

Scale at A3

Client
 LDN on behalf of SHBT

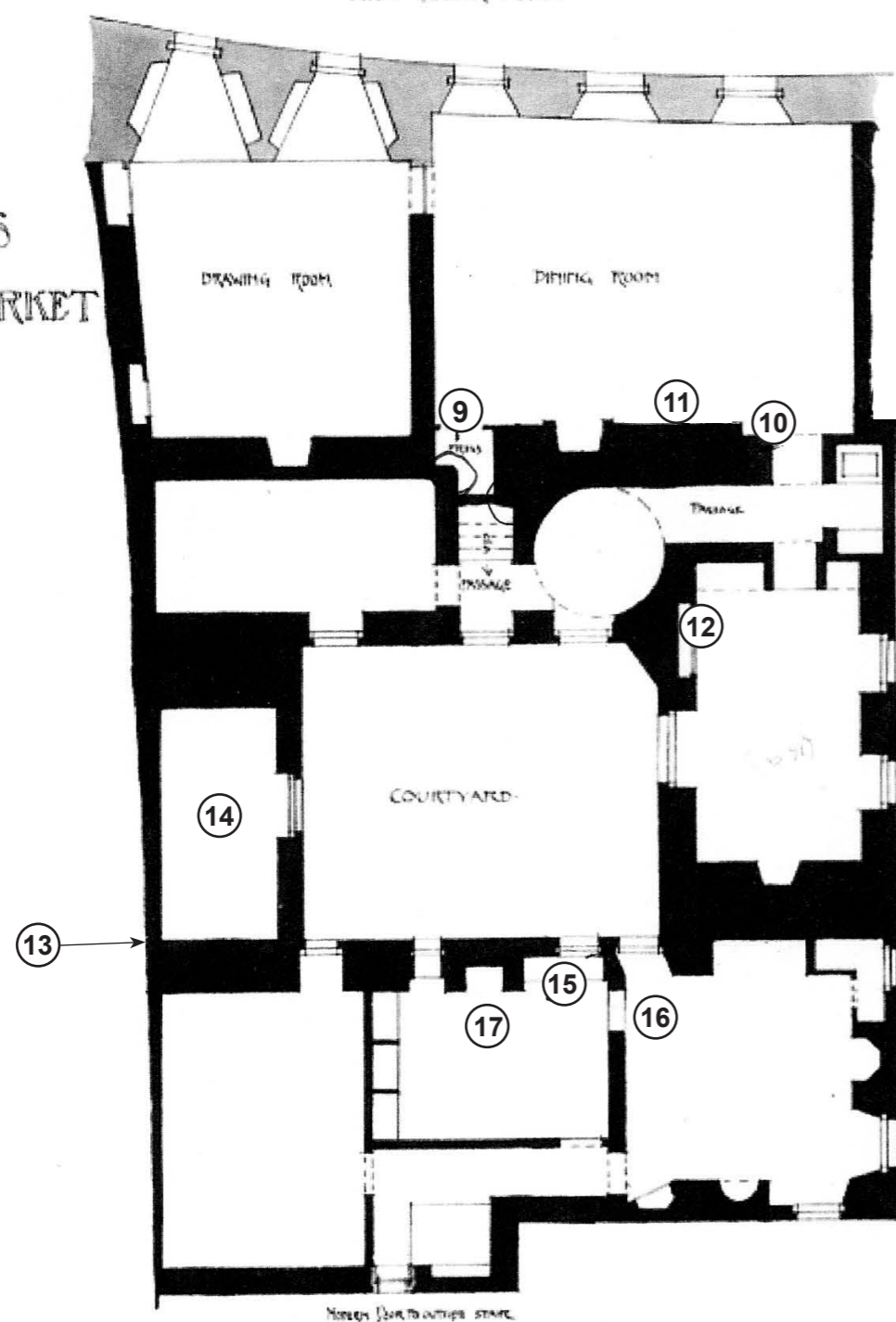
Drawn by:	Checked by:	Report No.:
SW	SW	2164

Key

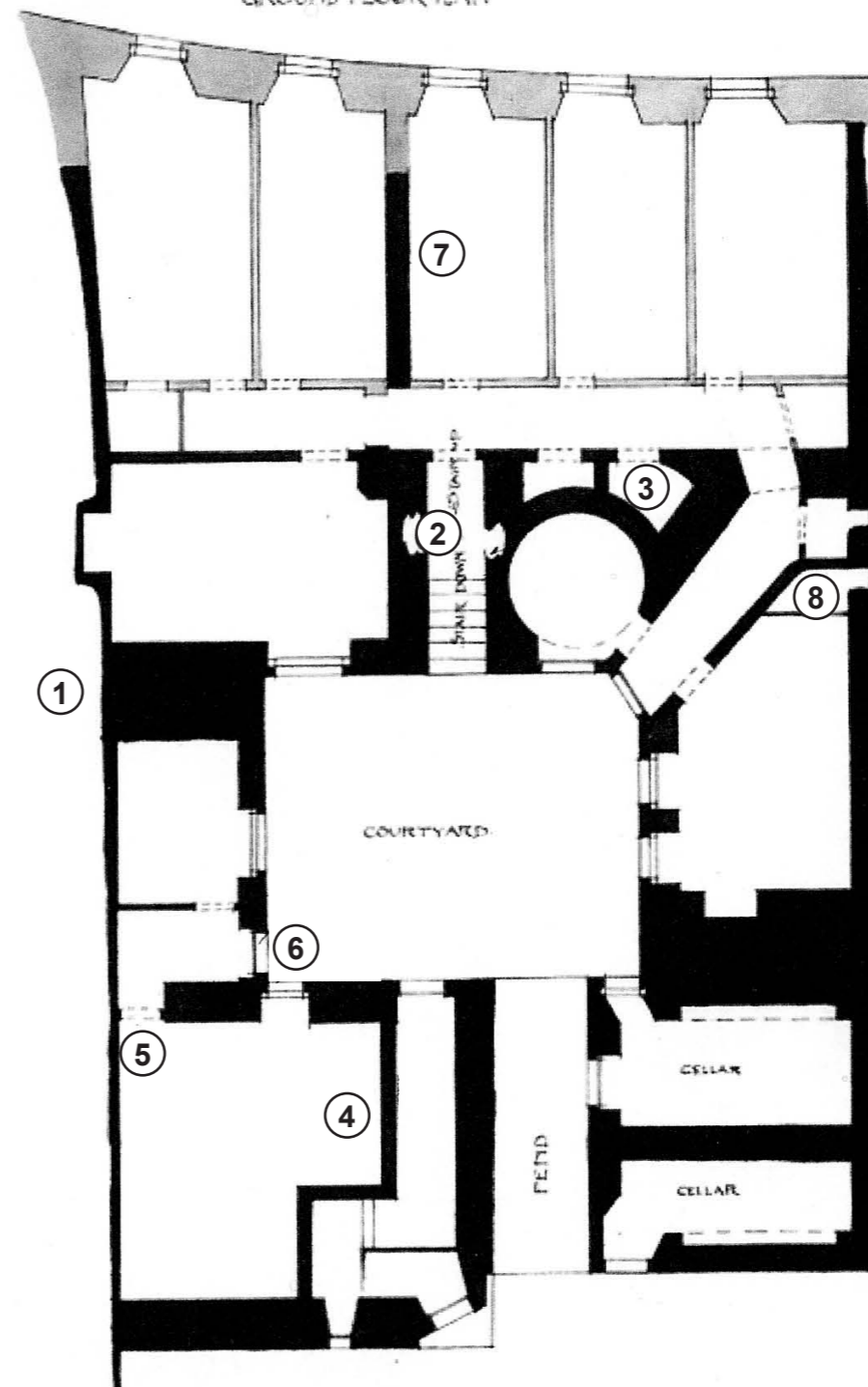
1. Wall is solid
2. Openings on each side of the wall, what was their function?
3. Cupboard space within the curve created by the spiral staircase
4. Solid wall
5. Opening
6. Opening of a door recently exposed again following the removal of harling on the end of the west elevation of the East Block
7. Wall
8. Step
9. Press and moulded corner
10. Cut back
11. Wall thickness
12. Cupboard?
13. Unconformity in wall alignment
14. No access to East Chamber, doors missing, drawing error?
15. Thinned wall
16. Door location
17. Fireplace in first floor South Block

RIDDLE'S COURT
LAWNMARKET

FIRST FLOOR PLAN



GROUND FLOOR PLAN



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Fig. No:	5h	Revision	0
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Title
Irregularities - 1897 ground and first floor plan

Project
Riddle's Close, Lawnmarket, Edinburgh
Historic Building Survey

Scale at A3

Client
LDN on behalf of SHBT

Drawn by:	Checked by:	Report No:
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Indicative position of modern close

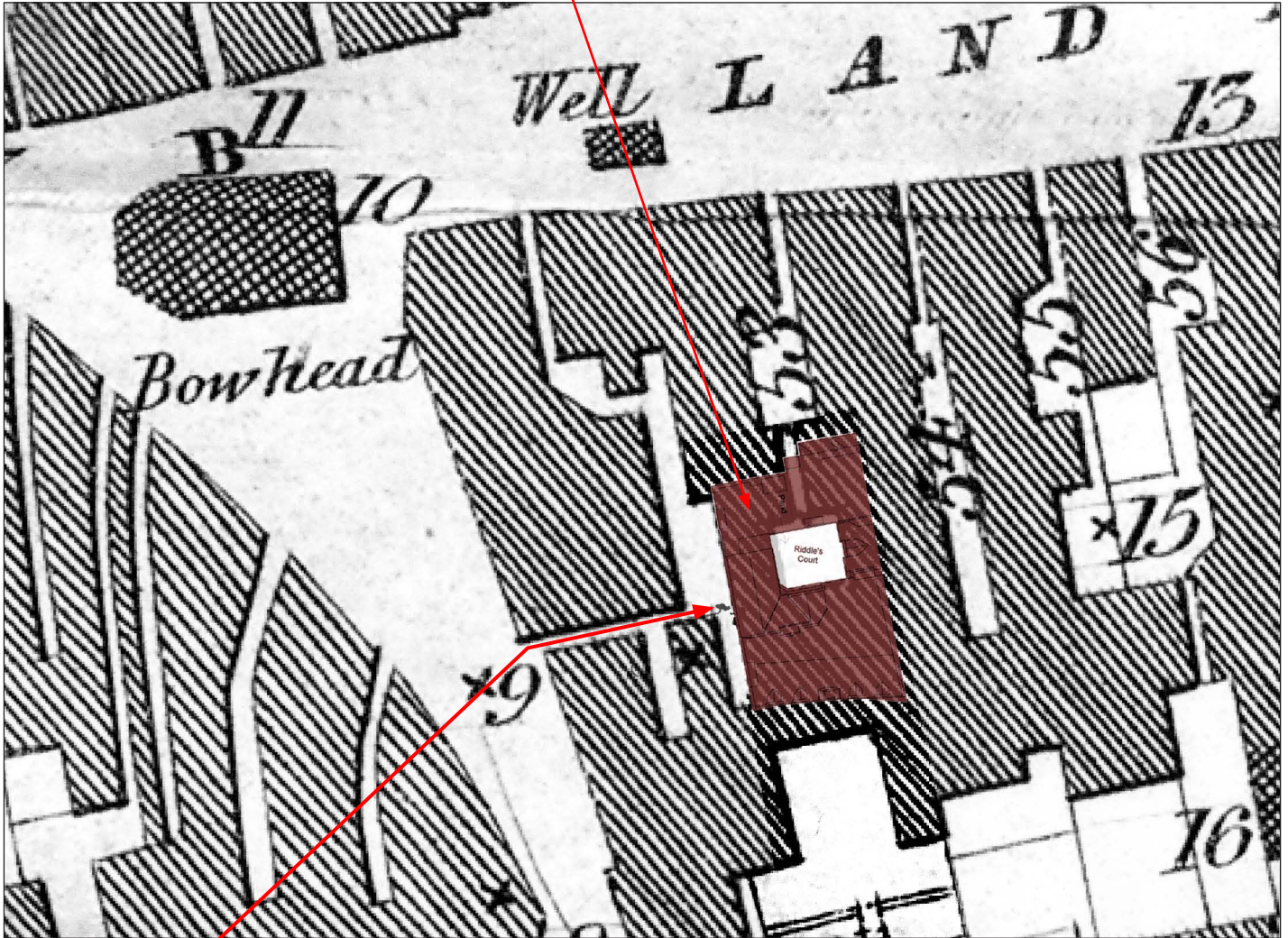




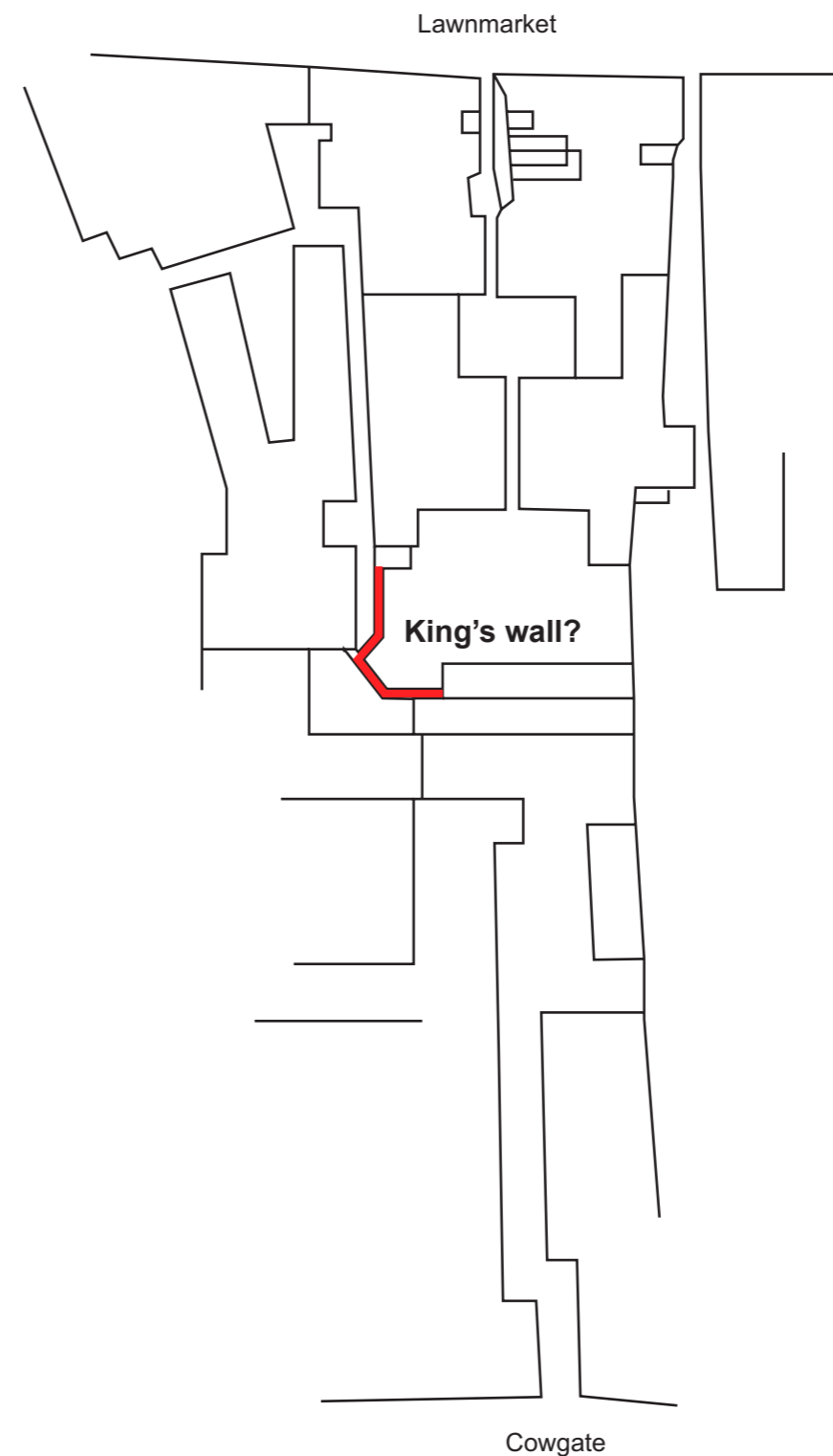
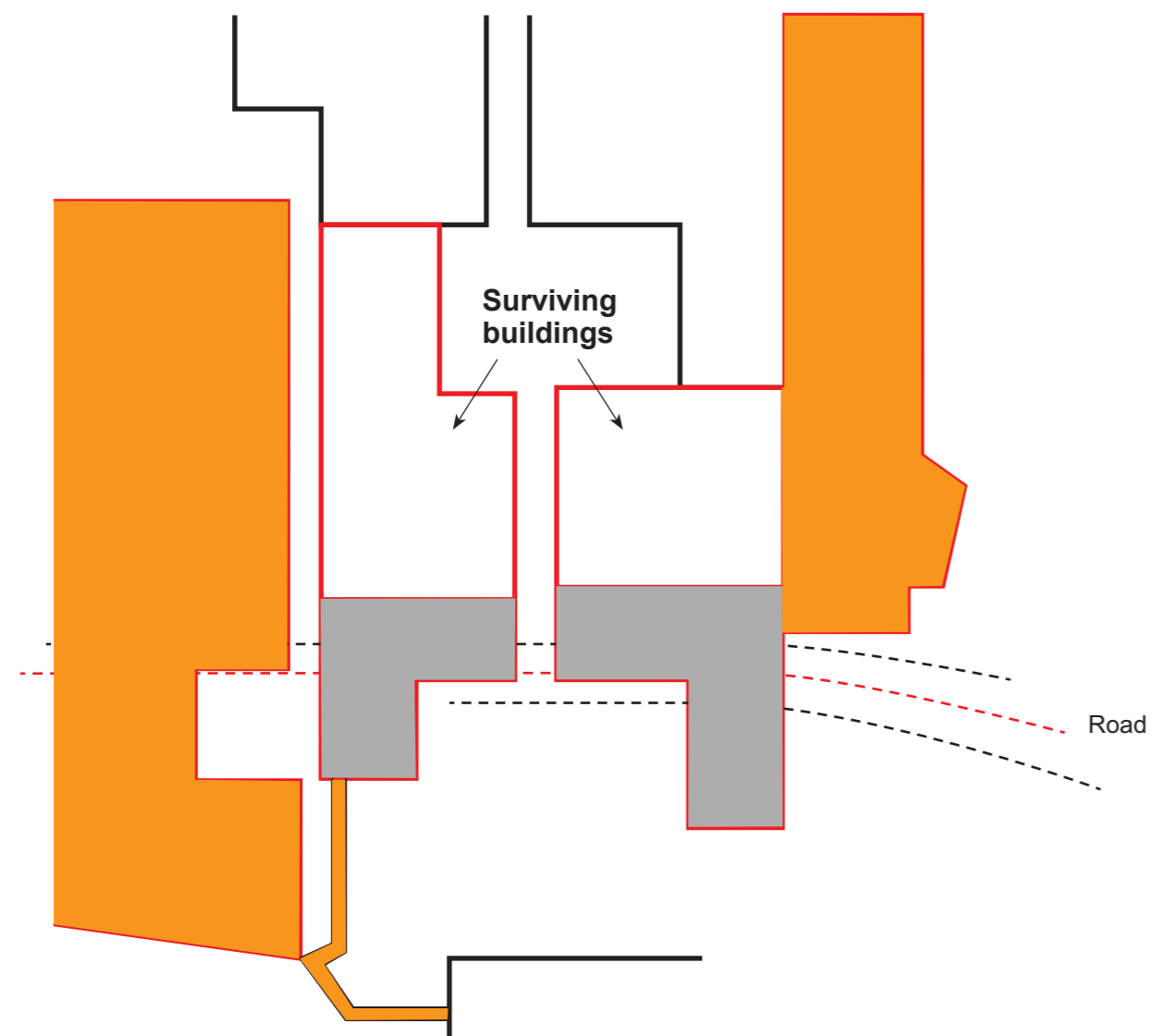
Fig. 5i - Irregularities- Edgar's 1742 map showing the possible route to the south west staircase on the South Block.

Possible route to southwest staircase on south block

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Fig. No:	5j	Revision	0
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Title
Irregularities-1827 maps
showing the impact of the
creation of Victoria Street

Project
Riddle's Close, Lawnmarket,
Edinburgh
Historic Building Survey

Scale at A3



Client
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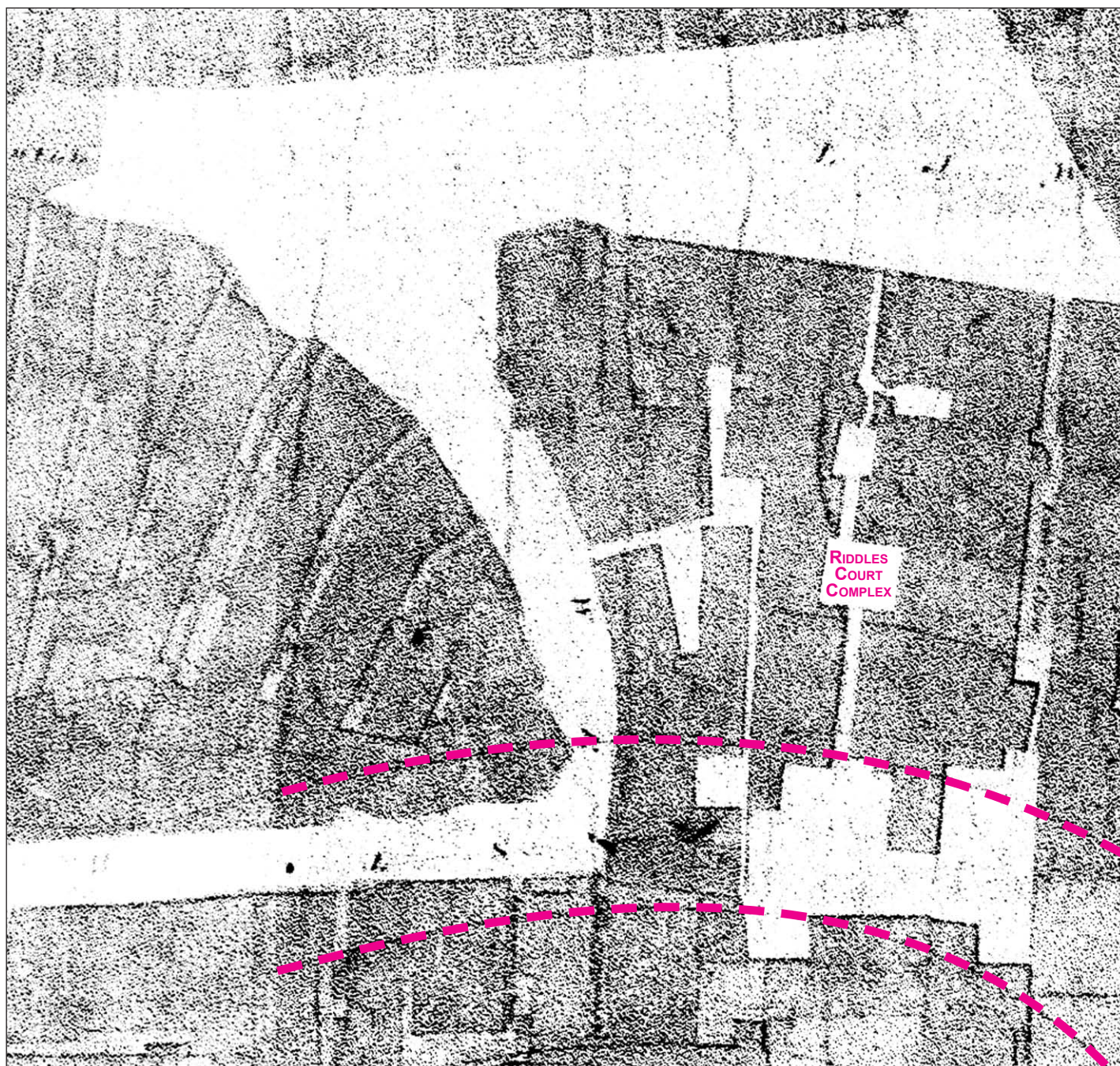




Fig. 5k - Irregularities - 1828 map showing the relative scale of the wings removed by the construction of Victoria Street (RCAHMS dated 1828 as part of the Improvement Scheme. Red 1/158)

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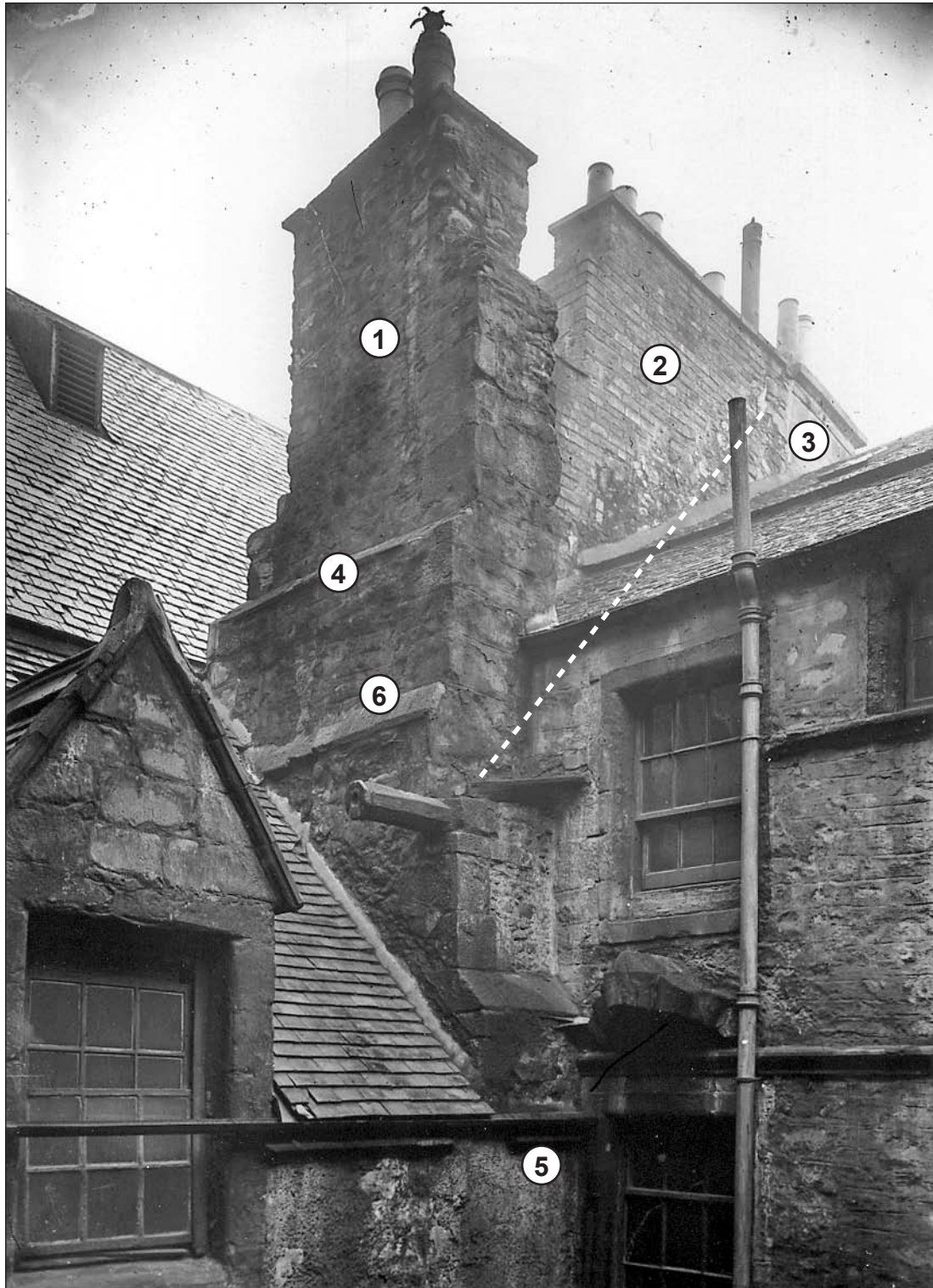




Fig. 5I - Irregularities on the chimneystack at between the East and South Block

- | | |
|----------------------------|-------------------------|
| 1. Smoke. Another chimney? | 4. Split in chimney |
| 2. Original gable | 5. Moulding into window |
| 3. Older gable | 6. Roof raggle |

Fig. No: 5I	Revision: 0	Project: Riddle's Close, Lawnmarket, Edinburgh Historic Building Survey			CFA ARCHAEOLOGY LTD The Old Engine House Eskmills Park, Musselburgh East Lothian, Eh21 7PQ T: 0131 273 4380 F: 0131 273 4381 e: info@cfa-archaeology.co.uk w: www.cfa-archaeology.co.uk
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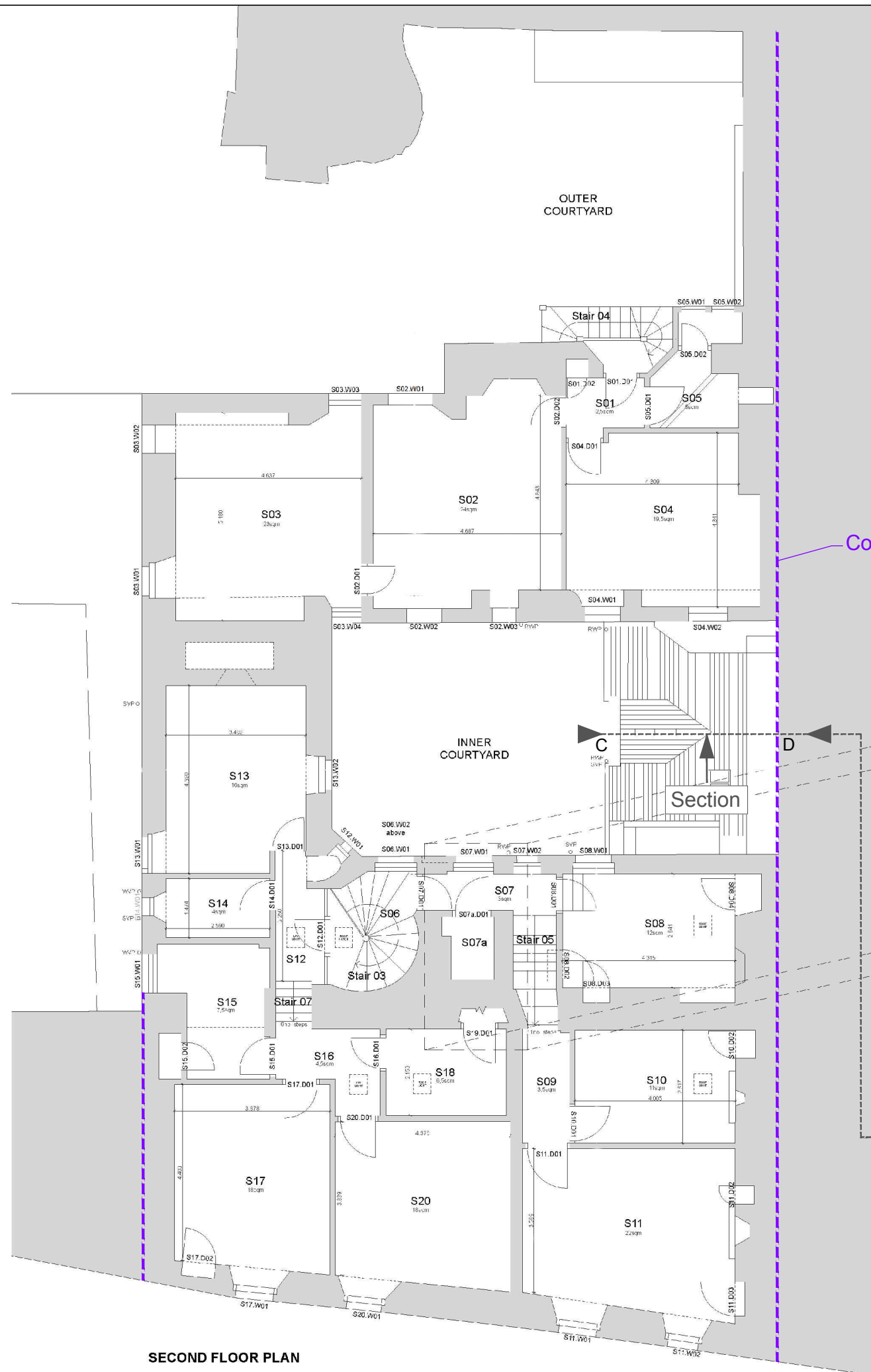
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Drawing Title:
EXISTING
Second Floor Plan

Drawing Status:
PRELIMINARY / FOR DISCUSSION ONLY
DRAFT 08.01.2009

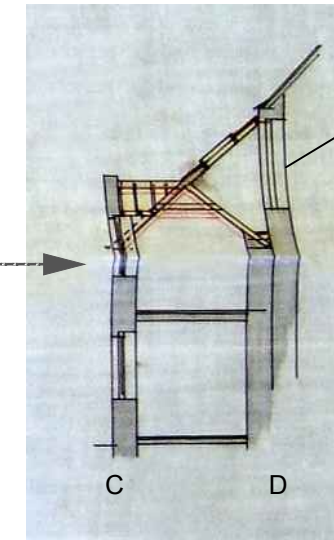
Scale: Date: Drawn: Reviewed:
1:500/A1 Aug 2008 CHMK
1:1000/A3

Key:



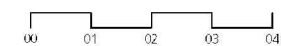
Conjectural Property Boundary

Section



Recently discovered window

(Inset, Capper's 1892 Section)



SECOND FLOOR PLAN

Figure 5i shows the possible route from the West Bow to the south-west staircase on the south block and the indicative position of Riddle's Court superimposed on the 18th-century Edgar street plan. This shows how much of the south block and open ground was lost when Victoria Street was constructed in 1837 (Fig 5j). The possible position of the King's Wall that was also lost when Victoria Street was constructed is also shown on Fig 5j. Allowing for differences in scale it is estimated that the buildings extended southwards at least 5m from the present south-facing elevation of Riddle's Court.

5.3 Roof Inspections

In order to identify possible oak timbers suitable for dendrochronological analysis, roof inspections were carried out within the west end of the south block roof, the cat slide roof between the pedimented dormers and the pitched roof of the west block (hereafter north side of the south block) and the east end of the north block. In all cases only limited access was possible but sufficient information was gained from photographs to make an informed judgment on the character and relative age of the existing roof timbers.

South block roof timbers

Nineteen principal A-frame collar rafters have been used in the construction of the roof. Of these, eleven trusses are clearly earlier than the eight machine sawn timbers that are probably of nineteenth-century date, when the south block was truncated to create Victoria Street. The rafters within the present roof show clear evidence of re-use; some have been braced with vertical timbers (Plate 1). All the older rafters have large Roman numerals carved into them (Plate 3), which is a standard sixteenth and seventeenth-century technique (Newland 2010) and shows that they were originally laid out on the ground in kit form by a carpenter. The older elements are oak, some of which have mortice slots cut into them (Plate 2), and one has pegs still in situ (Plate 4). The rafters are roughly hewn, rectangular in shape and measure 0.16m by 0.05m; they are set roughly 0.4m apart. The rafters have been nailed directly to the timber ridge piece and covered with pine sarking boards which are 0.27m wide. The collars are rough-hewn pine with bark surviving (Plate 3) and have been nailed to the rafters where they overlap. In some cases the collars have been chopped back to make them flush with the rafters.

The roof has been reconfigured and adapted to suit the major structural intervention when Victoria Street was constructed in the late nineteenth-century. However, based on the limited work carried out in the west end of the roof, further analysis on the position of the mortise joints and their angle in relation to the existing collar arrangement would be needed. This would provide further information on whether the older timbers are from an earlier more elaborate roof with a much steeper pitch or whether they have been imported from elsewhere. The former seems likely and it seems that there was sufficient suitable timber in the existing roof, with only eight new timbers required to replace those that were in a poor condition.

The existing roof plan shows the south block roof curving outwards at its east end in line with the existing south-facing elevation of Victoria Street. In order to accommodate the new roof it seems probable that that the roof trusses used at the east

end must either be wider than those used at the west end or have been scarfed out. A partition wall divides the existing roof space making it difficult to establish how the rafters differ at each end of the roof.

South block, north side roof timbers

The examined section of the roof space on the north side of the south block roof showed that the single pitched roof timbers rested on a transverse timber plate supported by corbels (Plates 5 and 6) built into the head of the rear wall. The corbels had been carved to accommodate the main transverse and the principal rafters. The roof at this location also included more recent timber repair work (Plate 7). The timbers appear to be machine sawn and rough-hewn oak covered with pine sarking boards (Plate 8).

North block roof timbers

Only very limited access is possible to the current roof of the north block from the WEA office toilets at the east end of the building. It is known from old photographs that there was a further, possible storage floor within the attics. The flat roof of the north block appears to be rafted on a lattice arrangement of timber work. Three large oak timbers measuring c.0.15m by 0.08m are aligned northerly and span the width of the building. The timbers were seen to protrude from lattice work (Plate 9). It is possible that these large timbers are re-used tie-beams from an earlier pitched roof that was removed, with the current flat roof placed on top.

Evidence for much later occupation within the removed pitched roof of the north block survives in the form of a section of lath and plaster, possibly of 19th-century date, built near to the north side of the wall (Plate 10).

During the course of the roof inspection the fragmentary remains of a window or possible door jamb were found (Plate 11). This was located close to the party wall of the adjoining Baden Powell House. The remains comprised three blocks of mortared ashlar with roll-moulding (Plate 12) on the rear side (facing the Baden Powell House) and the remains of a plastered splayed reveal. The height of the masonry was approximately 0.5m. Grouted holes on the interior of the rebate for a window strongly suggest the presence of window bars. The significance of this feature is that it rests below a later roofline that can be traced on the exterior west-facing elevation of the Baden Powell House. This opening faced east and its position relates to an earlier gable wall that was removed when the north block roof was re-modelled. The presence of early harled finishes and possible limewash suggest a sixteenth-century date. If the feature was a door jamb it is possible that a spiral staircase was once present that is now missing.



Both north and south blocks had taller, steep-pitched roofs, as revealed by their two raggles against the eastern gable. Since it is also known that the Great Tenement was originally higher than its adjacent buildings to the east, it emphasises the relative scale of the building this far back down a close.



Plate 1 - South Block, general view of the A-frame roof trusses at the west end



Plate 2 - South Block, close up of the rafter collars showing lap jointing onto the principal rafters

Fig. No: Plates 1-2		Revision: 0	Project: Riddle's Close, Lawnmarket, Edinburgh Historic Building Survey			CFA ARCHAEOLOGY LTD The Old Engine House Eskmills Park, Musselburgh East Lothian, Eh21 7PQ T: 0131 273 4380 F: 0131 273 4381 e: info@cfa-archaeology.co.uk w: www.cfa-archaeology.co.uk
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Plate 3 - South Block, close up of a numbered pine collar with bark in situ



Plate 4 - South Block, detailed shot of a mortise joint with a peg still in situ, note the neighboring rafter with a mortise joint at the wrong angle

Fig. No: Plates 3-4		Revision: 0	Project: Riddle's Close, Lawnmarket, Edinburgh Historic Building Survey			CFA ARCHAEOLOGY LTD The Old Engine House Eskmills Park, Musselburgh East Lothian, Eh21 7PQ T: 0131 273 4380 F: 0131 273 4381 e: info@cfa-archaeology.co.uk w: www.cfa-archaeology.co.uk
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Plate 5 - South Block, north side, one of four corbels supporting the roof structure



Plate 6 - South Block, north side, detail of the corbel and overlapping timber work

Fig. No: Plates 5-6		Revision: 0	Project: Riddle's Close, Lawnmarket, Edinburgh Historic Building Survey			CFA ARCHAEOLOGY LTD The Old Engine House Eskmills Park, Musselburgh East Lothian, Eh21 7PQ T: 0131 273 4380 F: 0131 273 4381 e: info@cfa-archaeology.co.uk w: www.cfa-archaeology.co.uk
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Plate 7 - South Block, north side, complicated arrangement of timber repair work



Plate 8 - South Block, north side, pine sarking boards nailed to oak rafters

Fig. No: Plates 7-8		Revision: 0	Project: Riddle's Close, Lawnmarket, Edinburgh Historic Building Survey			CFA ARCHAEOLOGY LTD The Old Engine House Eskmills Park, Musselburgh East Lothian, Eh21 7PQ T: 0131 273 4380 F: 0131 273 4381 e: info@cfa-archaeology.co.uk w: www.cfa-archaeology.co.uk
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Plate 9 - North Block, north side, one of three re-used oak beams carrying the timbers for the flat roof



Plate 10 - North Block, north-east end, stud partition work relating to earlier (19th century?) occupation of the attic space





Fig. No: Plates 9-10		Revision: 0	Project: Riddle's Close, Lawnmarket, Edinburgh Historic Building Survey		
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Plate 11 - North Block, north-east end, the remains of window rybats



Plate 12 - North Block, north-east end, moulding on the rear (east-facing side) of the window rybats

Fig. No: Plates 11-12		Revision: 0	Project: Riddle's Close, Lawnmarket, Edinburgh Historic Building Survey		
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6. HISTORICAL RESEARCH RESULTS: SIXTEENTH & SEVENTEENTH CENTURIES

Alasdair Ross

6.1 Introduction

While a lot of previous research has been undertaken on the history and architecture of the Edinburgh property now known as Riddle's Court, to date the historical evidence has not been systematically researched. This is particularly noticeable in relation to the period encompassed by the late sixteenth and seventeenth centuries, for which very few hard facts have been established in relation to the property. Essentially, the Tait report, which in turn is reliant upon an anonymous early twentieth-century manuscript about the property in Edinburgh Library (Wright 2009, 16), underpins all current materials available about the structure, both in written format and on the web (see for example RCAHMS record NT27SE 270). To sum up the contents of the Tait report, it is known that John McMorran purchased the site *c.*1590 and subsequently redeveloped it before his death in 1595. John's brother Ninian then inherited the property but by 1635 it belonged to John Smith. Thereafter, the property was acquired at an unknown date by Sir John Clerk of Penicuik before he subsequently sold it to Sir Roderick Mackenzie of Preston Hall. Thereafter, little seems to be known about ownership of the property until David Hume took up residence in the court in 1751 (Wright 2009, 22–29).

Using this unpublished manuscript in combination with published and translated Edinburgh protocol records, Tait established a development plan for the site, showing how it had been developed by various owners during the sixteenth and seventeenth centuries. Underpinning this plan was the logical assumption that the various tenements of land in and around the site ran on a north–south axis from the High Street downhill to the feature known as the King's Wall and the Cowgate (Wright 2009, app 7.2). What follows concentrates on the crucial period for the initial and subsequent development of the property between *c.*1590 and *c.*1710 and is almost wholly based upon hitherto unpublished documentation. It will begin by establishing exactly which families owned the property and the length of their respective tenures during that same period.

A timeline is presented at the end of this section broken down by respective property and floor level where applicable (Tables 2-5).

6.2 The McMorran family

For the purposes of this report the progenitors of the McMorran family who later owned Riddle's Court were William McMorran and his wife Katherine Wode. They are known to have had two sons called John (who was shot and killed in 1595) and Ninian, the former being the creator of the 'great tenement' later known as Riddle's Court. From a later (1630) list of writs relating to that property it is clear that John McMorran purchased his first piece of real estate on the south side of the High Street, a piece of waste ground, in 1580 from the Henrysone family. This was followed in 1586 by a second purchase of a larger piece of property from the same family which included back lands, houses, buildings, closes, yards and other pertinents. Thereafter, beginning in April 1586, by 13 January 1587 John had received by charter and sasine

all of the lands he had bought from the Henrysone family and this seems to have concluded his acquisition of lands on the south side of the High Street. Given the importance of these latter dates, it should be questioned if the window pediment that bears the date 1587 in the court commemorates the date of his final sasine in relation to these tenements. The subsequent creation of his 'great tenement' post-1590 only lasted for about a quarter century. One of his sons, Ninian (2), split up the great tenement into two properties. In 1616 an agreement between Ninian (2) and his brothers George and Ninian (3) saw Ninian (2) sell the fore tenement (the one closest to the High Street) of the great tenement to his brother George, plus a smaller tenement, for 10,000 merks. That part of the property was then described as containing several dwelling houses, galleries, and cellars.¹ The great gate is not mentioned in this agreement and it remained part of the back tenement property; this may have been a deliberate choice by Ninian (2) to ensure freedom of access to the back tenement from the High Street.

At this time it should be noted that the McMorran family also owned rights to property on the north side of the High Street. These dated back to 1563 when William McMorran and his wife Katherine Wode received £20 Scots in annual rent from Marjorie Blakstok and her husband Nicoll Syldor. This annual rent remained with the McMorran family until 1630 when it was sold to Sir John Smith.² The McMorran family also received substantial rents from four booths that they owned on the south side of the High Street, adjacent to the 'Over Bow'.³ In 1600 Ninian (1) McMorran also acquired lands at Kingsbarns in Fife.⁴

What little is known about the descendants of John (1) is rendered graphically in the family tree (Appendix 1). This genealogical tree clearly demonstrates that the branch of the family descended from him was devastated between 1624 and 1626 when five (of six) children died in quick succession.⁵ No cause of death is listed in their short testaments but it is known that an outbreak of plague occurred in Edinburgh in November 1624 after the arrival of an infected individual from Gdansk (Oram 2007). Since the plague disproportionately infected children and young adults there must be a strong possibility that all five of these deaths in Riddle's Court during a single fourteen month period were as a result of pestilence.

More importantly, the last wills and testaments left by earlier generations of the family provide some clues about how they created the wealth that allowed them to purchase the properties of their great tenement. For example, in John (1) McMorran's testament, which was formally registered on 23 July 1596, it listed him as owning shares in nine ships with additional goods scattered in warehouses across Europe. These included wine in Dieppe, unspecified goods in Bordeaux, wax, salmon, and pistols. Altogether, at the time of his death John owned various goods to the combined value of £37,860 3s 10d Scots and only owed his creditors (including a count in Florence) £16,415 13s 2d, leaving a healthy surplus for his heirs.⁶ John's son James (1) also traded goods into Europe but he clearly specialised in a single commodity.

¹ NAS, B22/8/26, 1629-1631 (no pagination).

² NAS, B22/8/26, 1629-1631 (no pagination).

³ NAS, B22/8/8, 1599-1603, ff.173r-175v.

⁴ NAS, GD81/339.

⁵ NAS, CC8/8/53/2-4; CC8/8/53/266-67; CC8/8/53/676-77.

⁶ NAS, CC8/8/29/480-83.

According to his last will and testament he must have been a lead ore merchant because upon his death he owned 36,748 stones of lead ore in a warehouse in Leith, 11,000 stones of lead ore in a warehouse in Flanders, 10,000 stones of lead ore at Lead Hill,⁷ and another 1,000 stones of lead ore ‘on the way’. When the value of this ore was added to the £800 10s of silver ware that he owned his heirs divided a total of £22,766 11s 4d between them.⁸

It is also fortunate that John (1) McMorrان left a separate inventory of his goods and gear which was formalised on 16 November 1596 (Appendix 2; MacPhail 1924, 226–30). Following a list of various items of clothing that had belonged to John (1), the inventory begins to describe the contents of various rooms in the great tenement. This part of the list describes a total of four chambers: a chamber of dais (or parlour); a children’s chamber located within the chamber of dais; a third high chamber located above the children’s chamber, and a gallery chamber. The list then moves on to describe the contents of a hall (containing, amongst other items, three deer heads, a dresser of walnut, an iron chimney, brass candlesticks, and a large English bible) and a kitchen. This is a total of six separate rooms on either two or three levels which cannot have comprised the entirety of the structure as we currently understand it. Accordingly, in 1595 John (1) McMorrان and his family can only have occupied a part of the great tenement building. All of which might indicate that the structures built by John (1) on the great tenement had been designed to be a property investment, with the family only occupying a proportion of the area while the rest was available for commercial leasing. Since at least two of these long-term tenants were earls (not to mention the famous banquet), it would further indicate that some amount of fore-planning in design and content had taken place before the great tenement was constructed.

6.3 Sir John Smith

On 7 February 1630 Ninian (2) McMorrان (presumably still acting as tutor to Isobel, his sole surviving niece) sold the back tenement (the tenement furthest away from the High Street) of the great tenement, along with its yard that went south to the town wall, to Sir John Smith and his wife Janet Eleis for 12,000 merks. This sale included the several houses, galleries, cellars, and other pertinents built upon the same, all entered at the great yett, together with the said great yett and close within the same, and the turnpike within the said close. The latter part of this entry obviously refers to the great gate. At the date of sale the tenant of that property was John, first earl of Lauderdale, who was shortly warned by Ninian to remove himself, his ‘men’ tenants, and his servants from the property.⁹ Importantly, no other tenants are mentioned in the document so it can only be presumed that the earl of Lauderdale leased the entire back tenement from the McMorrان family at that time. Accordingly, the period between 1616 and 1630 saw the sale of the entire great tenement as it was split into two properties; one was sold outside the McMorrان family, the other to a collateral branch of the family. The total price of the great tenement was £22,000 merks and it is a shame that the total cost of building the property in the first instance is not known. But, given the McMorrان’s obvious success in international trade, it might be guessed that they also made a profit on the sale of the great tenement.

⁷ This could refer to the Lead Hills site in Lanarkshire.

⁸ NAS, CC8/8/52/293-94.

⁹ NAS, B22/8/26, 1629-1631 (no pagination).

Unfortunately, perhaps, the new owner of the back tenement, Sir John Smith, was something of a rogue, particularly in relation to his international business affairs. This eventually resulted in him losing the back tenement of Riddle's Court to Sir John Clerk of Penicuik (first baronet, 1649-1722) in 1676, even though the two men were related through marriage (Smith was described as the uncle of Clerk's mother). Essentially, between 1658 and 1675 Smith and his sons borrowed various sums of money for their business dealings, all of which were secured against various properties that they owned. The Clerk of Penicuik papers that were consulted for this project never specified exactly what Smith and his sons had initially done to upset John Clerk of Penicuik (1611-74) but it does seem to have involved another Scottish merchant called James Eleis, resident at Campvere, who acted as a factor for John Clerk and who also may have been related to Smith's wife. Letters written by James Eleis to John Clerk not only complain that Smith owed him £7,140 Scots, but that Smith had also refused to have their (unspecified) business dispute to be judged by 'honest neutrall men'.¹⁰

The business dispute between Clerk and Smith was sufficiently serious to become common knowledge. On 7 March 1663 the Lord Register in Edinburgh wrote to Clerk asking him to forgive Smith:

Edinburgh from my lord register the 7 off March 1663 anent Sir John Smith
Sir, Finding some papers betuix yow & your ladies uncle at the register, & this procedur being verie vnsutable betuix freinds so neerlie enteressed: My relation to yow both Obleidgeth me to Entreat some forbearance frome yow, he professing his reddines to give yow all iust satisfaction at the sight of any freind, or indifferent person. If yow can have it thus, it wilbe more satisfaction to yow both, Then that yow sould be the occasion of any discredit to him, & encurre the censure of too sharpe dealing, when your busines may be otherways done. I sall never desyre yow to doe any thing to your prejudice, if without that, yow can be secured, Yow will have more peace in freindlie agreement, then in the extremities of law. I entreat yow present my service to your lady, & pardon this freedome frome
Your affectionat seruant Primerose¹¹

This, however, did not mean that John Clerk of Penicuik (1611-74) was not prepared to lend the Smiths even more money secured against other properties:

26 June 1663

Wee Sir John Smyth of Grotell knight and Mr Robert Smyth of Southfield my eldest lawfull sone Grant and confes ws be this presentis to have borrowed & received reallie and with effect at the terme of Candlemas last by past from John Clerk of Penycuik The hail soume of Sevin thousand punds usuall money of this realme Wherof we discharge him and all otheris whom it effeiris And renunes all exceptions of the law that can be proponed or alleaged in the contrair For the which soume of Sevin thousand punds money abovespecified We bind and obleis us our airis and successoris vpon owr owne proper charges and expenses to mak dew and lawfull resignation In the handis of the provest or any one of the baillies of the burgh of Edinburgh of ane anuelrent of Four Hundreth and Tuentie punds money abovespecifiet or of such and anuelrent as shall be ansyrable to the foirsaid principall soume Conforme to the lawes and practices of this realme for the tyme yeirlie to be uplifted and tane at tua termes in the yeir Lambes & Candlmes be equall portiones furth of our great ludging and tenement of land within the burgh of Edinburgh high & laich back & foir with housses sellaris yairds pairts pendicles & pertinents therof Lying on the southsyd of the hiestreit of the samen burgh in that

¹⁰ NAS, GD18/2514.

¹¹ NAS, GD18/5167/4.

close called Mcmorans close Containing lying and bounded In maner mentioned in the Infetment and seasine therof granted to me the said Sir Jon Smyth [...]¹²

But whatever the original dispute between the Smiths and the Clerks had been about it was also sufficiently severe for Sir John Clerk of Penicuik (first baronet, 1649-1722) to take extraordinary action immediately after his father's death in 1674. A series of sixty-nine separate but linked legal documents show that after 1675 Clerk deliberately set out to buy all of the Smith family bonds from their creditors.¹³ These documents also explain why, when Sir John Clerk eventually foreclosed on Smith and his sons after June 1676, he ended up in possession of the south-most tenement that formed Riddle's Court, together with some other tenements in the same area.

6.4 Post-1676

Sir John Clerk seems to have kept the south-most tenement of Riddle's Court until 20 May 1684 when he formally sold the property to Roderick Mackenzie of Prestonhall, brother of George MacKenzie (the future earl of Cromartie), together with a further four tenements of land on the south side of the High Street that Ninian McMorran had also previously sold to Sir John Smith in 1630.¹⁴ By March 1702 Roderick Mackenzie of Prestonhall had clearly sold part of the back tenement (the upper lodging) to his brother George MacKenzie (the future earl of Cromartie). On that date George Mackenzie alienated a property he referred to as the 'upper lodging' in the back tenement of the great tenement, together with the great gate, the court, and a fore tenement that bordered upon the High Street to his wife Margaret, countess of Wemyss. In the document that recorded this transaction, it is stated that Roderick Mackenzie had previously alienated the other part of the same back tenement (the lower lodging) to Sir Thomas Stewart of Balcashie who, in turn, had subsequently disposed of the same to Sir Archibald Mure, ex-provost of Edinburgh.¹⁵ This information is important because it is the first time in the historical record that ownership of the back tenement is known to have been split between different people. Unfortunately, a quick search of muniments relating to both Mure and Stewart of Balcashie revealed no details about the back tenement. However, it is important to note that splitting the back tenement between different owners would effectively ensure that any subsequent alterations made to the internal fabric of the tenement block would not have been made across the entire structure. This may, for example, account for the now noticeable differences in floor levels between the various sections of the tenement.

6.5 The Architecture of the Great Tenement

In his historical report, Tait, through a series of drawings, represented the development of the various tenements around the area that became known as the 'great tenement' after 1590. In these representations he followed convention that all of these tenements ran on a north-south axis between the High Street and the King's or Town Wall. However, the new material found for this current investigation is quite clear that while the tenements between the High Street and the facade of the great gate

¹² NAS, GD18/2532/1.

¹³ NAS, GD18/658.

¹⁴ NAS, GD18/2419.

¹⁵ NAS, GD305/1/96/13.

to McMorrans Court may have run in that direction, the two tenements below them which were conjoined to form the ‘great tenement’ of land ran in a west–east axis at 90° to the others. This crucial information is repeated in three different documents of 1616, 1630, and 1684.¹⁶ These two west-east running tenements were referred to as the ‘fore land’ (the one nearest to the High Street) and the ‘back land’ (being the tenement closest to the King’s Wall).

6.6 The fore land tenement of the great tenement

The earliest and clearest description of this property dates to 1616 when Ninian (2) McMorrans sold it to his brother George. At that time the fore tenement was described as containing (Appendix 3):

[...] all and hail that over dwelling house presently then occupied by the late Niniane Mcmorane elder merchant burgess of the said burgh entering by the northwest turnpike of the said fore tenement and also all and hail that other laiche (low) dwelling house then occupied by Patrick Whitelaw merchant entering by the southwest turnpike of the same, together with the gallery pertaining thereto leading and built from the south to the north to the fore side wall of the back land pertaining to me sometime occupied by the said earl of Dunfermline and the hous called the brew hous lying under the same gallery and entered within the close of the said back tenement occupied by the said earl of Dunfermline and used by him as his stable, with the voyde at the north end thereof sometime used as a watt drope, which gallery, brew house, and voyde at the north end thereof are part and pertinent of the said fore tenement, together with the laiche house of the said fore tenement called the woman house, occupied by the said earl of Dunfermline and lying in the ground of the said fore tenement upon the east side of the great gate having presently two entrances, the one next and contiguous to the turnpike yet of the said Partick Whitelaws dwelling, the other within the close of the said back tenement, And also all and hail that low cellar upon the west side of the said yet lying directly under the west chalmer of the said dwelling house presently occupied by the said Patrick Whitelaw and entering presently within the said green gate, Together also with one other cellar lying contiguous to the same upon the west side of the close entering without the said green gate presently also occupied by the said Patrick Whitelaw [...]¹⁷

This clearly describes an L-shaped building with two turnpikes and three tenants. The upper dwelling house had belonged to Ninian (1) McMorrans and it possessed its own turnpike at the north-west. Underneath this apartment was a laiche (low) dwelling occupied by Patrick Whitelaw with its own turnpike at the south-west of the structure. From this structure a gallery ran on a north–south axis to join the wall of the back tenement which belonged to Ninian (2). This gallery was clearly two stories in height because there was a house (called the brew house) located underneath the actual gallery (this must be the right-hand or west structure as you stand in Riddle’s Court). In 1616 this brew house was used as a stable by the earl of Dunfermline and its entrance lay within the close of the back tenement. The north end of the brew house also contained a ‘little sait for a watt drop’. There clearly was also a void space at the north end of the gallery. The final structure in this complex was another laiche (low) house called the woman’s house on the east side of the great gate. It too was occupied by the earl of Dunfermline. This had two entrances, one next to the south-west turnpike belonging to Patrick Whitelaw, the second from the close of the back tenement. Finally, there was one cellar located directly underneath the west chamber

¹⁶ NAS, B22/1/65, f.27v; B22/8/26, 1629–1631 (no pagination); GD18/589.

¹⁷ NAS, B22/8/26, 1629-1631 (no pagination)

of Patrick Whitelaw's house, access to which was from within the green gate.¹⁸ The second cellar was located next to the first on the west of the close but its entrance lay without the green gate. This mention of a green gate is something of a mystery but it may just refer to the colour of the great gate, which at this time still belonged to Ninian (2) as part of the back land tenement. Since the gate and the house above it were not part of this transaction, their omission may also help explain why this 1616 description of the fore tenement seems somewhat disjointed.

At the same time Ninian (2) also sold another tenement to his brother, described in the following way:

And siclyk all and hail the said back land sometime pertaining to the said late James Forret skinner [...] lying beneath the forsaid tenement of land pertaining to the said James Forret and containing the chalmers and cellars so underwritten Viz. two chalmers entering within the northmost turnpike of the said tenement within the close the upmost whereof is presently occupied by the said Niniane Makmorane elder and has one entry also in the said Ninian's westmost chalmer of his said dwelling house, And also one other chalmer within the said turnpike occupied by the said William Inglis servitor to the said earl of Dunfermline and also one other chalmer without the said turnpike entering in the close by a door and stair built by me the said Niniane and presently occupied be [blank] Together also with two cellars lying in the ground of the same, the one whereof occupied by the said Patrick Whitelawe and the other by the said Niniane Mcmorane elder, Which tenement of the said late James Forret lies within the said burgh upon the south side of the king's high street of the same between the tenement of land of the said late Edward Littill upon the west and the tenement of the said late Mitchell Henrysone now pertaining to the airs of the said late James Nicoll on the east parts¹⁹

This is obviously the tenement which once stood to the right of the current entrance of the great gate. But this part of the document is interesting for other reasons: here, Ninian (2) describes 'closing up' the two tenements and assigning all drops, closes, and cobbles to his brother, which seems to imply they had become one property. In return, George promised to do two things. First, to permanently close up the entrances of the two cellars and the brew house of the fore tenement which were located within the great gate and the courtyard beyond (the future Riddle's Court). Second, George and his heirs had to promise never to open any new doors within either the great gate or the courtyard beyond in all time coming. In return for these undertakings, Ninian (2) promised to close up the doors (plural) and passage at the south end of the brew house within the same courtyard. Finally, Ninian (2) reserved the right to him as owner of the back tenement to repair the great gate whenever it should become faulty, using six couples in the walls of the said gate.

But George McMorran, it seems, was the typical 'neighbour from hell'. There are two serious complaints recorded against him in the burgh records. In the first of these, on 25 July 1631, he had created a hole on a side wall of his tenement to the detriment of one of his neighbours. Ordered by the Dean of the Goldsmiths Guild to repair this hole with 'stane and lyme', George had instead dressed it, inserted a glass case, and

¹⁸ Since this is the only occasion that the great gate is described as the 'green gate', it can be suggested that the scribe responsible for formally registering the document misread 'grete' as 'grein'.

¹⁹ NAS, B22/8/26, 1629-1631 (no pagination)

turned it into a window. The Guild court subsequently ordered George to remove the glass and restore the hole in his wall.²⁰

The second case against him occurred on 15 August 1638 when Sir John Smith complained that George had built a new ravel of wood adjacent to the exterior of the great gate, so big that it prevented horses with loads of coal and other cargoes from entering the gate and accessing the courtyard within, contrary to the good order of the neighbourhood. Interestingly, in the same complaint Smith also mentioned that George had not yet closed up the three entrances in the great gate and the courtyard which he had promised to do in 1616. The Dean of Guild and his council subsequently visited the site with Smith and McMorran and found in favour of Smith. George McMorran was ordered to remove his ravel from outside the gate and close up the three entrances with stone and lime forthwith.²¹ No further complaints are recorded against him in these respects by Smith so it must be presumed that George complied with the order from the Guild.

George, however, also complained about his neighbours. On 25 September 1639 he accused Adame Bartane, merchant burgess, Patrick Thomsone, merchant his tenant, and Jonat Eistoun, widow of the late Alexander Stewart, merchant burgess, of washing their pots and throwing filth and excrement out of one of their windows into a gutter running above George's laiche (low) gallery, to the great damage of his land. In this instance the court found for George and ordered his neighbours to glass their windows next to the guttering.²²

6.7 The back land tenement of the great tenement

The earliest description of part of the back land tenement dates to the 1596 inventory of John McMorran's goods and gear (Appendix 2). This describes a total of six rooms on either two or three floors, depending on whether the gallery chamber was located above the high chamber: four chambers (one dais, one for children located within the former, a high chamber and a gallery chamber), a hall, and a kitchen. The next description of the interior of this property dates to 1616 (Appendix 3). It begins by describing the back tenement as having a kitchen on its west side, the kitchen being aligned from north to south with chambers above it. This part of the document also states that a yard was located south of the tenement and a close on the north. This latter feature likely refers to the court itself which is variously described as a close or a court. Once again, this only seems to refer to one part of the greater back tenement.

Upon the purchase of the property by Sir John Smith in 1630 a more detailed description of the back tenement is provided, describing twenty-five rooms (also Appendix 3):

[...] said great back tenement containing the several houses galleries cellars and others particularly underwritten built upon the same, and all entered at the foresaid great yett, together with the said great yett and close foresaid within the same and at the turnpike within the said close with free ische and entry thereto by the same [...] All lying south of the

²⁰ Edinburgh Library, SL144/1/5, Dean of Guild Minute Book, 1624-1646 (no pagination). It should be noted that three of these minute books were unavailable to us because they were undergoing conservation. They may contain further details about the tenements.

²¹ Ibid.

²² Ibid.

foremost gable of the dwelling house disponed by me to the said George Mcmorane [...] Viz. one laiche (low) hall two pantries one kitchen and one little narrow gallery; at the west end of the said hall a little low hous under the said gallery, one chalmer at the east end of the said hall with one gallery upon the south side thereof and one chalmer upon the north side of the said other chalmer and one chalmer immediatly above the same with one low coal house on the west side of the said close outwith the said low hall three low vaults in the ground of the said tenement and under the said low hall chalmers and others foresaid. Item one low house immediatly underneath the said large gallery at the east end thereof and two studies and one gallery upon the south side of the said chalmer with one other chalmer upon the north side thereof. Item one high chalmer above the said chalmer at the east end of the said hall. Item one loft and one chalmer at the end thereof above the said high hall and one other chalmer at the head of the said turnpike, all lying within the said great tenement of land containing the said two tenements of land back and fore as said is and sometime occupied by the said late earl of Dunfermline and now by John earl of Lauderdale [...]

The first part of this description seems familiar. There is a low hall with two pantries, a narrow gallery, and a kitchen and, apart from the pantries and the gallery, this seems to mirror part of the 1596 description. We are then told about a small low house at the west end of the hall under the gallery (which seems to be a new addition), a chamber at the east end of the same hall, which has a gallery on its south aspect, and another chamber located on the north side of the previous chamber. These two chambers could be the same rooms as the dais and children's chambers mentioned in the 1596 description. Above this complex of rooms we are told about another chamber located above the previous two chambers, which could be the high chamber of 1596. Following this we are told about a structure that seems to be an addition to the property, a coal house on the west side of the close (court) 'outwith' the low hall. The final part of this section then describes three vaults underneath the low hall and its associated chambers. Though this is new information it can be presumed these vaults were also present in 1596.

The subsequent part of this description then gets a bit confused but seems to return to a gallery at the east end of the low hall. It describes a low house underneath a gallery with a further two studies and another gallery on the south side of that house. We are then informed about yet another chamber to the north of the previous house chamber. This part of the building is clearly aligned north-south and so it could have sat on the left hand side of the current courtyard as you enter it. In any event, the description then returns to the house/chamber at the east end of the low hall and informs us that there was another chamber/hall above it (variously described either as a high chalmer or a high hall). Above this high hall there was yet another chamber and a loft, together with one further chamber at the head of the turnpike. All of this indicates that, including the vaults, in 1630 the back tenement covered four floor levels in total. This means that unless the 1596 description missed out describing a substantial part of the back tenement block, definitely one and possibly two stories could have been added to the structure between 1596 and 1630.

The next description of the back tenement dates to 1684 when Sir John Clerk of Penicuik sold it to Roderick MacKenzie of Prestonhall, brother of George MacKenzie (the future earl of Cromartie), providing a total of twenty-six rooms, including galleries and vaults (see Appendix 4):

[...] viz Ane laigh hall tuo pantries ane kitchen and ane litle narrow gallerie at the west end of the said hall ane litle laigh hous vnder the said gallerie ane chamber at the east end of the said hall with ane gallerie vpon the southsyde therof And ane chamber vpon the north syde of the

said other chamber And ane chamber immediatlie above the same with ane large coall hous at the west syde of the said clos outwith the laigh hall, thrie large Volts in the ground of the said tenement and under the said large hall chamber & otheris forsaidis

Item ane large hous immediatlie beneath the said large gallerie at the east end therof

Item ane high hall with ane kitchane & chamber at the east end therof, Tuo studies and ane gallerie vpon the southsyde of the said chamber with ane other chamber vpon the northsyde therof

Item ane high chamber above the said chamber at the east end of the said hall

Item ane loft and ane chamber at the east end therof above the said high hall and ane other chamber at the head of the said turnpike [...]

This description is almost identical to the previous description of 1630 but there has been one obvious change: the high hall has had a kitchen added to its east end. Presumably, this extra room must have been created through a process of sub-division of the high hall and its east chamber since no other new rooms are noted either above or below the new kitchen.

The final new description found of the back tenement dates to 1702, after the tenement had been divided into two separate properties (presumably) by Roderick MacKenzie of Prestonhall, and this description lists fourteen rooms, three closets, a wardrobe, and an unspecified number of vaults (see Appendix 5):

[...] All and hail that upper lodgeing in the backland lyeing upon the south syde of the land mercat of Edinburgh in the closs of old called McMorran's closs, And which lodgeing is presently possest be us, Consisting of ane outer room, Dyneing room, & Draweing room, in the body of the laigh hous with three rooms above them, with ane room and closet in the south west Jamm,²³ And Kitchen and room above it in the new west Jamm, with two rooms two closets and ane wardrop in the south east Jamm, with ane Chamber and two little rooms upon the entrie, Together with the Cellaris or Volts belonging to the said lodgeing, And as the samen is more particularly bounded and comprehended in the original rights and securities thairoff, All lyeing upon the west syde of the Brode stair as goes to the garden [...]

Few of these rooms bear any resemblance to previous lists relating to the property and this is unsurprising since three new jamps (extensions) have been added to the tenement on its south-west, its south-east and (most recently) to the west. To all intents and purposes these extensions appear to have been undertaken during the period that Roderick MacKenzie owned the tenement. Unfortunately, no records relating to these works were found in the family muniments and so the precise date when Roderick sold the upper lodging to his brother George is unknown. The other major point of interest in this description is mention of the broad stair to the east of the tenement which led to a garden. This may be a reference to the stairs still found centrally in the tenement which lead southwards through the basement area to Victoria Street, and confirmation of a garden in the back yard of the back tenement is also of great interest.

In the Dean of Guild books we have been allowed to examine (others are currently being conserved) there was only one complaint concerning the back tenement. This dated to 9 March 1614 when Ninian McMorran made a formal complaint against John Mure, a tailor burgher. The gist of this complaint was that Ninian had been accustomed to his sewers and water gangs running freely downhill from the great tenement to the Cowgate without interruption. However, John Mure had dug a ditch

²³ Dictionary of the Scots Language (Jamm): a projecting wing of a building, an additional portion extending laterally from the main body of the building

parallel to and against the south wall of the great tenement, causing all of the foul waters from the great tenement to back up and begin undermining Ninian's southern wall. The Dean of Guild and his council made a visit to the site and ordered Mure to fill the ditch in again, making sure that the earth was piled against Ninian's wall, and that all of his sewage and other waters once again had free passage to the Cowgate.²⁴

6.8 Final points

It is also worth considering that although the McMorran family seem to have been satisfied with their great tenement, subsequent owners may have taken a different view. Of note in this regard is the purchase by Sir John Smith in October 1636 of two stables, each of which had dwelling houses above them, directly below the great tenement (towards the Cowgate).²⁵ Since few of his personal papers survive it is difficult to determine from this purchase alone whether he envisaged expanding the great tenement southwards. Fortunately, the property description that accompanied the sale of property from Sir John Clerk of Penicuik to Roderick Mackenzie of Prestonhall shed further light on this matter (see Appendix 4). One section of this document is quite clear that Sir John Smith had acquired all of the property between the southern edge of his back tenement (the King's Wall) and the Cowgate. These tenements had been sold to him by James Alison and Robert Law and he had proceeded to build upon these lands. Clearly, before he was bankrupted by Sir John Clerk, Smith owned a block of property which effectively ran from the High Street down to the Cowgate, with the back tenement of the former McMorran great tenement located centrally upon this strip of land. What he proposed to do with this in the longer term is another matter altogether. One final point of architectural interest in relation to these other lands between the great tenement and the Cowgate is that Sir John Clerk had removed the thatch from them and re-roofed them in slate before he sold the properties to Roderick MacKenzie of Prestonhall.

²⁴ Edinburgh Library, SL144/1/4, Dean of Guild Minute Book, 1613-1623 (no pagination).

²⁵ NAS, GD18/658.

Table 9. Summary time line of historical events

Date	Description
6/8/1584	John McMorran begins buying property to the south of the High Street
13/1/1587	Final sasine recorded to complete John McMorran's purchases of property to the south of the High Street
1595	John McMorran shot and killed
Unknown	Alexander Seton, earl of Dunfermline, begins to rent the south (major) part of the great tenement; including the courtyard floor east and north-east, and the whole of the back tenement and parts of the fore tenement
1/8/1612	The Convention of the Royal Burghs meets in Ninian's McMorran's house
10/2/1616	Ninian (2) McMorran sells the fore tenement of the great tenement (minus the great gate) + one other tenement to his brother George for 10,000 merks; as part of this deal George agrees to close up with stone and mortar the three entrances belonging to him in the courtyard and the great gate [great tenement broken up into two properties] [the two tenements sold to George are linked on the first floor via Ninian (1) McMorran's apartments] ²⁶
Unknown	Earl of Lauderdale takes over as tenant from the earl of Dunfermline, possibly after Seton died on 16 June 1622?
7/2/1630	back tenement sold by Ninian (2) McMorran to Sir John Smith for 12,000 merks and Earl of Lauderdale evicted
1662	City Council rents the Chancellor's House from Sir John Smith @ £50 per month
1665	John Clerk of Penicuik begins to buy up the Smith family bonds that were secured against property
June 1676	Sir John Clerk of Penicuik forecloses on Sir John Smith and receives title to all of Smith's lands to the south of the High Street, including the back tenement of the great tenement
20/5/1684	Sir John Clerk sells on these lands to Roderick MacKenzie of Prestonhall
Unknown	MacKenzie sells half of the back tenement [the eastern side] to (1) Sir Thomas Stewart of Balcashie who subsequently disposes the same to (2) Sir Archibald Mure, late provost of Edinburgh [back tenement broken into two properties]
28/3/1702	MacKenzie disposes the other half [the west side] of the back tenement to his wife, the countess of Wemyss. This half still includes the great gate and the court.

²⁶ Theoretically there should be a blocked up doorway somewhere high on the wall to the right of the great gate.

Table 10. 1616 Fore tenement room details. Numbers and letters in parenthesis relate to those shown on Figures 7a-b.

Date	Doc ref	Ground level (GL)	GL galleries	Second floor (SF)	SF galleries
1616	Sale of fore tenement by Ninian (2) to his brother George	North-west turnpike (1)		Over house (a) occupied by Ninian (1) McMorran, accessed by turnpike (1)	Gallery (θ) running in a N-S direction, on the foreside wall of (a) and (b)
		South-west turnpike (2)			
		Low dwelling house (B) occupied by Patrick Whitelaw, accessed by turnpike (2)			
		House called the brew house, located underneath Gallery (θ). This house accessed from 'the close of the back tenement' and used as a stable by the earl of Dunfermline			
		A void at the north end of this stable			
		Low house called the woman house to the east of the great gate, again occupied by the earl of Dunfermline. This house has two entrances, one next to turnpike (2) and the other from the close of the back tenement.			
		The low cellar (1) entered from a doorway in the great gate		West chamber of the fore tenement occupied by Patrick Whitelaw, directly above the low cellar	
		Cellar (2) lying next to cellar (1), accessed from outside the great gate			

Table 11. 1616, The other tenement (directly linked to the fore tenement but standing closer to the High Street on the west side of the great gate)

Date	Doc ref	Ground level (GL)	GL galleries	Second floor (SF)	SF galleries
1616	Sale of another tenement by Ninian (2) to his brother George. This was once owned by George Forret. [this now demolished building on RH entrance of great gate]	A NW turnpike			
		Low chamber		Chamber occupied by Ninian McMorran (1). This has two entrances: the NW turnpike and from the western chamber of Ninian's overhouse in the fore tenement of the great tenement	
		Cellar (1) occupied by Patrick Whitelaw		Chamber occupied by William Inglis, servant to the earl of Dunfermline, accessed from the NW turnpike (no floor level specified but assumed to be upper)	
		Cellar (2) occupied by Ninian McMorran (1)		Chamber without the turnpike, accessed by a door and stair built by Ninian (2) McMorran (staircase indicates an upper level)	

Table 12. Back Tenement rooms 1596–1702. Figures and letters in parenthesis relate to those shown on Figs 7c-d

Date	Doc ref	Vaults	Ground level (GL)	GL galleries	Second floor (SF)	SF galleries	Third floor	Alterations
16/11/1596	McMorran inventory		Chamber of dais		Gallery chamber			
			Children's chamber		High chamber (above the children's chamber)			
			Hall					
6/2/1630	Sale of back tenement to Smith	Great gate of six crucks part of back tenement since 1616						
		Three vaults underneath the low hall and chambers (a) & (b)	Low hall with two pantries	Narrow gallery (α) at W end of hall				
			Low house to W of					

Date	Doc ref	Vaults	Ground level (GL)	GL galleries	Second floor (SF)	SF galleries	Third floor	Alterations
			hall, under narrow gallery (α)					
			Kitchen (1)					
			Chamber (a) to E of hall	Gallery (β) on S side of chamber (a)				
			Chamber (b) on N side of chamber (a)		Chamber (c), directly above chamber (b)			
			Low coal house on W side of the close, outwith the low hall		High hall		Chamber (f), above E part of high hall	
							Loft above east part of high hall	
			Large house at E end of the low hall, underneath gallery (γ)	Gallery (γ)	Chamber (d) at E end of high hall		High chamber (g), directly above chamber (d)	
					Study (z) to S of chamber (d)	Gallery (δ) to S of studies (y & z)		
					Study (y) to south of chamber (d)			
					Chamber (e) to N of chamber (d)			
							Chamber (h) at head of great turnpike in the courtyard	
20/5/1684	Sale of tenement to Mackenzie	Three vaults, underneath the low hall and chambers (a) & (b)	Low hall with two pantries	Narrow gallery (α) at west end of hall				
			Low house to west					

Date	Doc ref	Vaults	Ground level (GL)	GL galleries	Second floor (SF)	SF galleries	Third floor	Alterations
			of hall, under narrow gallery (α)					
			Kitchen (1)					
			Chamber (a) at E end of hall	Gallery (β) on S side of chamber (a)				
			Chamber (b) on N side of chamber (a)		Chamber (c), directly above chamber (b)			
			Low coal house on W side of the close, outwith the low hall					
			Large house at east end of the low hall, underneath gallery (γ)	Gallery (γ)				
					High hall		Chamber (f), above E part of high hall	
							Loft above east part of high hall	
					Kitchen (2) at E end of high hall			
					Chamber (d) at E end of high hall		High chamber (g), directly above chamber (d)	
					Study (z) to S of chamber (d)	Gallery (δ) to S of studies (y & z)		
					Study (y) to S of chamber (d)			
					Chamber (e) to N of chamber (d)			
							Chamber (h) at	

Date	Doc ref	Vaults	Ground level (GL)	GL galleries	Second floor (SF)	SF galleries	Third floor	Alterations
							the head of the great turnpike in the courtyard	
8/3/1702	Mackenzie to his wife, the countess of Wemyss. This is described as the upper lodging to the west of the broad stair that runs to the garden	The great gate	Outer room		3 rooms above the outer, dining and drawing rooms			SW extension containing a room and a closet (floor level not specified)
		Vaults (unspecified number)	Dining Room					New W extension consisting of a kitchen (3) with a room above it
			Drawing room					SE extension containing two rooms, two closets, and a wardrobe
			A chamber and two little rooms (upon the entrie) – this could either refer to the entrance or to the entry to the SE extension					

7. HISTORICAL RESEARCH RESULTS: THE EIGHTEENTH CENTURY

Alasdair Ross

7.1 The Fore Tenement, post-1702

It was clear from the first report that there were far fewer records relating to the fore tenement (that closest to the Lawn market) of McMorran's Court than the back tenement. This disparity continues into the eighteenth century and can probably be accounted for by the simple fact that while the back tenement continued to be owned by aristocrats, the fore tenement did not attract such clientele – this makes the latter much harder to trace in the historical record for this period. In 1639 the fore tenement still belonged to George McMorran but it disappears from the historical record thereafter until it reappears in a sasine of 1709 when Gabriel Rankin of Orchardhead inherited it (or part of it) from his father Walter, an Edinburgh burghess. At that time the fore tenement was still split into two different properties belonging to Catherine Hutchison (the lower lodging) and Patrick Graham (the upper lodging). The amount of rooms and cellars listed in 1709 does not appear to have increased since 1639.²⁷ The fore tenement does not obviously appear again among the records consulted for this stage of the project although a sasine of 1749 notes that Alexander Home disposed two dwelling houses and their cellars in Roystan's Close to John Mein, a slater, who then subsequently sold the same to James Carmichael, a writer to the signet.²⁸ There is no further detail and it is difficult to decide whether this sasine refers to the fore tenement or some other part of the Court.

There are further difficulties. A sasine of 1730 describes yet another part of the original great tenement surrounding the courtyard and it seems likely that this must either have been part of the fore tenement or one of the arms orientated on a north-south axis, likely that arm bordering upon Fisher's Close to the immediate east. At this time the tenants of this property (wherever it was) were named as James Mackenzie of Royston (a son of George MacKenzie, first earl of Cromartie) who also held a small apartment in the upper lodging of the back tenement – (see below) and William Carmichael. No distinction is made between the two tenants in terms of the amounts of rooms occupied; instead, the whole structure is described as containing eight fire rooms, a kitchen, and two cellars²⁹. A description of this part of the fore tenement re-appears in 1908 (see pp.66-67), and it has been identified as the building previously known as the Forret Tenement.

7.2 Riddel's Land

A property referred to as Riddel's Land enters the official Edinburgh sasine record in 1753 shortly after the death of George Riddel.³⁰ However, it is clear from this entry and subsequent entries that all of these records refer to the new tenement built by Riddel which faced onto the Lawn market.³¹ None of these records make any reference to the structures which used to comprise Riddle's Court. This must raise the

²⁷ NAS, B22/2/19.

²⁸ NAS, B22/2/44, ff.48r-50r.

²⁹ NAS, B22/2/24, ff.130v-131v.

³⁰ NAS, B22/2/53, ff.54r-57r.

³¹ NAS, B22/2/51, ff.3r-4v.; B22/2/59, ff.8v-10v; B22/2/62, ff.76v-78v.

possibility that the name of the Court changed (from McMorran's/Smith's Court to Riddle's Court) as a reflection of the magnificence of Riddel's new property on the Lawn Market.³² There is certainly a sense in the historical record of this time that Riddel's Land was the new focus of attention.

7.3 The Back Tenement, post-1702

The section of the previous report on the back tenement of Riddle's Court ended in 1702 with half of the back tenement in the ownership George MacKenzie first earl of Cromartie (referred to as the upper lodging), and his wife the countess of Wemyss, and the lower lodging in the possession of Sir Archibald Mure (who had acquired it from Sir Thomas Stewart of Balcashie, who in turn had bought it from Roderick MacKenzie of Prestonhall, brother of George Mackenzie.³³ At this time it was also possible to count the number of rooms and vaults. In 1684 the entire back tenement consisted of twenty-six rooms, including pantries, galleries, and vaults, and it has also been established that a new kitchen had been added to the high hall sometime between 1630 and 1684. Furthermore, in 1702 the upper lodging of that back tenement consisted of fourteen rooms, three closets, a wardrobe, and an unspecified number of vaults. However, these numbers cannot be evaluated against the 1684 total because it is also known that by 1702 three new jams (extensions) had been added to the structure. These were located on the south-west, the south-east, and on the west of the tenement. Because we do not know the total extent of these extensions it is impossible to decide precisely how many new rooms they (presumably) added to each lodging.

7.4 The Lower Lodging, post-1702

It now seems clear that Sir Archibald Mure did not enjoy his possession of the lower lodging for long. He was dead by 1708 at which time his three daughters, Margaret, Jean, and Isobel, together with their respective husbands (Dr James Forrest – a medic, John Cunningham of Caddell, and James Sinclair of Stempster - a notary public), jointly inherited the lodging. There are few surviving records relating to the lower lodging but it seems likely that there had been a dispute among the three sisters and their respective spouses over their joint legacy. Mostly, this is because the subsequent owner of the lower tenement, Sir Robert Stewart of Tillicoultry, a lord of Session, purchased the lodging in what appears to have been two separate legal transactions from the three inheritors: firstly, two thirds from Margaret and Jean and their husbands, and latterly the final third from Isabella and her husband in 1708.³⁴

In any event, the document also specifies that the lower lodging which belonged to the three sisters was described as containing, a vestibule, dining room and a gallery, a lower chamber, an upper chamber above it, a stair in the middle of the lower lodging,³⁵ with a kitchen entered by the said vestibule, two rooms in the south-east jamb with a vault called the charter house under the said lodging, and also the three rooms in the south-east jamb accessed by the turnpike, and two gardens, superior and

³² The sasines give fairly good descriptions of the interior of Riddel's Land and are these relevant to the current investigation

³³ NAS, GD305/1/96/13.

³⁴ NAS, B22/2/19, ff.158r-160r.

³⁵ This must be the stair lost in the 1890s?

inferior.³⁶ Clearly, this was a lodging that, despite its name, occupied more than one floor of the back tenement. It seems obvious that the turnpike was key to this arrangement.

7.5 The Upper Lodging, post-1702

The documentation is quite clear that in 1702 both the upper lodging of the great tenement and the great gate were in the possession of Countess Margaret of Wemyss, wife of Lord George MacKenzie and later earl of Cromartie after 1703.³⁷ She died in 1705 and her husband on 17 August 1714.³⁸ The identity of the subsequent owner of the upper lodging is initially surprising but, given that she was related through marriage to Countess Margaret of Wemyss, perhaps understandable.³⁹ This was Duchess Anne of Buccleuch (1651-1732).⁴⁰

It is easy to see why Duchess Anne has not hitherto been recognised as an owner and tenant of the upper lodging since there are absolutely no references to the place-name Riddle's Court (or indeed any of its other incarnations) in the Buccleuch muniments. Instead the property is usually described as being 'in the Lawn Mercat on the south side of the High Street at the foot of that close or vennall entering on the west side of Fisher's Land'.⁴¹ Fortunately, further proof of her ownership is found in other records. After purchasing the upper lodging the duchess installed Sir James Mackenzie of Royston, one of the senators of the College of Justice, and a son of the first earl of Cromartie, first as her long-term tenant and later in life rent in 1728.⁴² This explains why the place-name of the original McMorran's/Smith's/Riddle's Court was in 1730 *nunc vocat* Royston's Court.⁴³ Final and incontrovertible proof of the ownership of the upper lodging by the Buccleuch family is found in 1749 (see Appendix 6). Later renovation accounts would suggest that Duchess Anne was also the owner of the wing of the side tenement bordered on the east by Fisher's Close and occupied by Lord Roystoun and William Carmichael.

After Duchess Anne's death in 1732 the upper lodging and other parts of the tenement remained in the family as the property of Duke Francis until 1749 when he sold the property (and another tenement) to Baillie William Alexander (see Appendix 6). This is an important document because it also provides a room count. In 1749 at the point of sale the upper lodging contained eleven rooms, three closets, one wardrobe, four vaults (two large and two small), a garden, and the great gate. One of these vaults was called the charter room. This is a reduction in the number of rooms by a factor of three from the 1702 survey of the same lodging, implying that the property had

³⁶ Ibid, ff.158r-160r.

³⁷ NAS, GD305/1/96/13.

³⁸ Colin Kidd, 'Mackenzie, George, first earl of Cromarty (1630–1714)', *Oxford Dictionary of National Biography*, Oxford University Press, 2004; online edn, May 2006 [<http://www.oxforddnb.com/view/article/17580>, accessed 1 March 2013].

³⁹ Janet Sorensen, 'Wemyss, David, fourth earl of Wemyss (bap. 1678, d. 1720)', *Oxford Dictionary of National Biography*, Oxford University Press, 2004 [<http://www.oxforddnb.com/view/article/29035>, accessed 1 March 2013].

⁴⁰ Eirwen E. C. Nicholson, 'Scott, Anna, duchess of Monmouth and suo jure duchess of Buccleuch (1651–1732)', *Oxford Dictionary of National Biography*, Oxford University Press, 2004 [<http://www.oxforddnb.com/view/article/67531>, accessed 1 March 2013].

⁴¹ NAS, GD224/172/2.

⁴² Ibid.

⁴³ NAS, B22/2/24, ff.130v-131v.

undergone extensive renovation between 1702 and 1749 with larger rooms being created.

After 1749 the upper lodging disappears from the historical records consulted during the current survey and a search for any records relating to William Alexander (the next owner) proved fruitless in the limited time involved. In part, this may be a reflection of the fact that the tenement was no longer owned by aristocracy (the people whose papers are more likely to survive). This dating also roughly coincides with the creation of the New Town in Edinburgh and the appearance of new properties which may have been considered to have been more desirable to a certain class of people. While the disappearance of this property from records is disappointing, this is more than ameliorated by the fact that Duchess Anne had clearly been unhappy with the state of the property she had bought in 1714. Beginning in 1714 and lasting until 1730 she embarked upon an almost annual campaign of remediation and alteration of the upper lodging and these building accounts have survived, providing incredible detail for the annual upkeep of the property. A representative selection of transcriptions of these accounts has been included in the appendices to this report and these include a number of silent corrections to the text, particularly the replacement of the letter thorn (y) with *th*.

7.6 The Upper Lodging Building Accounts, 1714-c.1730

These accounts are extensive and in them the upper lodging of the back tenement is invariably described in the following format:

Accompt of mason work don in the ludging belonging to her grace the duches of Becluch and inhabited by the right honourable the Lord Roystoun [...]

The accounts list work done by quarriers, nailers, masons, painters, joiners, metal wrights, and plasterers over a period of sixteen years so what follows is thematically divided into those various areas of expertise.

7.7 The Fabric of the Building

Between 1715 and 1716 there are a number of references both to the stonework of the actual tenement and to the courtyard itself. These begin in 1715 when an unspecified number of pavement slabs were ordered (see Appendix 7[a]). Shortly afterwards more extensive work was undertaken on the fabric of the tenement (see Appendix 7[b]). This not only names the masons and labourers who carried out the work, it also identifies the various quarries from which the raw stone was extracted. These were identified as ‘Tilahewn’, ‘Mr Frasers qwarie at the Winmile’, ‘the Eastpark qwarie’, and Craigmiller. Only two of these have been identified to date. It seems likely that the East Park quarry was located on the grounds of the property of the same name owned by the Buccleuch family (ex-barony of Smeaton and part of their Dalkeith estate),⁴⁴ while the sandstone quarry at Craigmillar is well-known for having supplied material to construct Craigmillar Castle, parts of Edinburgh Castle, and for Holyrood Palace.⁴⁵ It is interesting that the flagstones were obtained from two different quarries because this must raise the possibility of a patterned or even perhaps coloured effect

⁴⁴ NAS, GD224/212/1.

⁴⁵ <http://www.scran.ac.uk/database/record.php?usi=000-000-523-905-C>

wherever they were laid. A final point to be made at this stage is the sourcing of the lime for these operations from both Gilmerton and Westhouses. The former was certainly an area of extensive limestone quarrying but the location of the latter has not yet been identified other than it was close to Melrose.⁴⁶

7.8 Chimney exteriors and interiors

Work on the exteriors of the tenement chimneys began in August 1714, which involved some pointing and harling, as well as the actual fabric of these structures (see Appendix 7[c]). Five months later in January 1715 two entirely new chimneys were constructed. One of these was described as ‘a fine chimney’ for the bedchamber. The second was described as ‘a lairge chimney’ for the dining room. The former cost £36 and the latter £48.⁴⁷ Nine months later in September 1715 a wright called John Halliwell took down the old lining and boxing of two chimneys and was paid £2 11s for this work. By 21 April 1716 the chimney in the servants’ dining room had also been altered but no further details about the precise nature of these alterations are supplied other than exterior wooden scaffolding was employed and ale was supplied to the masons and workers.⁴⁸

Between 1720 and 1727 it is clear that alteration were also being made to these chimneys in the interior of the upper lodging since the accounts refer to the replacement of ‘brods’ for carrying away smoke on a number of occasions, though they do not generally specify which rooms were affected (see, for example, 7[d]). The exception was those which were required for the dining room. These were described as being ‘bond’ bords 3.5ft by 2ft broad, costing 2s. But perhaps the biggest alterations to the exteriors of the chimney systems occurred in May 1727 when 400 half-bricks, costing 11s 8d, were required for increasing the height of the chimney heads. Whatever renovation work was being done, her grace split the cost with William Carmichael who owned the lower lodging by that time (see Appendix 7[e]).

7.9 Fireplaces

On 8 May 1717 Duchess Anne paid the freight of two marble fireplaces brought to Edinburgh from London by ship (see Appendix 7[f]). One month later these two fireplaces were erected in the dining and drawing rooms of the upper tenement by three masons called Richard Smith, William Thorburn, and James Clerk at a total cost of £44 4s 4d (see Appendix 7[g]). Unfortunately there is no indication where the marble originally came from and what it cost, but the duchess is known to have previously bought Dutch marble for use in Dalkeith House and she may have turned to the same source on this latter occasion.⁴⁹ It seems likely that the single marble fireplace still surviving in the building may be one of this pair. The accounts also describe the preparation involved in inserting these marble fireplaces which necessitated the removal of part of the existing floor in the little dining room to fit the new hearth (see Appendix 7[h]).

⁴⁶ NAS, RHP6010; GD224/376/30-46.

⁴⁷ NAS, GD224/261/31.

⁴⁸ Ibid.

⁴⁹ NAS, GD224/625.

7.10 The Roof Exterior

Like the outer fabric of the building, the accounts indicate that the roof of the tenement was also in need of serious attention after 1714. This process began before 22 December of that year when a slater called Robert Jack was paid £14 3s 8d for undertaking pointing, slating, ridging, and thatching work across different parts of the roof (see Appendix 8 [a]). This is one of three references in the accounts to thatching associated with the main structure between 1714 and 1715. From this it seems logical to suggest that the entire roof was slated at some point post-1715. On two occasions large quantities of lead were also required to repair the roof; first in 1715 when the plumber Joseph Forster used 10st 13lb of lead, and secondly on 23 March 1716 when Forster was again employed for general repairs. On this second occasion he used 11st of lead but received back 7lb in cuttings which reduced the size of his final bill (see Appendix 8 [b]).

It is clear from the accounts that vast quantities of slate were required for the roof between 1714 and 1730. A small patching job was undertaken in October 1715 which required the use of 200 slate nails, and again on 4 October 1716 when the slater John Mein (who certainly later lived in the Court) was employed to slate a watergate and mend another part of the roof with slates and nails, liming the same. This cost £6 in total.⁵⁰ But the largest repairs to the roof of the tenement took place in June 1720 when 5,200 new slates were used by the slater John Watson and he also replaced a large portion of the ridge at a total cost of £531 18s 2d (see Appendix 8[c]). This may have been the occasion when the last sections of thatching were replaced with slates.

7.11 The Roof Interior

Unsurprisingly, since the exterior of the roof required extensive renovation and repair so the interior also required the replacement and repair of materials; this is blamed on the ingress of water and resulting dampness. Most of this work was undertaken between 18 November 1719 and June 1720 when it is clear that a major repair project had been undertaken that employed the wright William Ranken (see Appendix 9 [a]). It very much looks as though the roof couples were receiving added support (a consequence of a change from thatch to slate?) and the account specifies the use of Swedish, Bergen, and Druntain (Trondheim) dales in the renovations. This account also notes that the wooden lining from an old ‘ches’ window was recycled for use in the west gable of the structure. Another later account also notes the reuse of ‘old’ wooden panelling as doors (see Appendix 15[f]). It is also interesting that the eastern side of the roof run was singled out for repair and renovation.

There are at least three other occasions, in August 1714, June 1720, and September 1722, when large quantities of dales from Trondheim and Bergen were required but those accounts do not specify what they were used for and in which part of the structure they were employed (see Appendix 9 [b] and [c]).

⁵⁰ NAS, GD224/261/31.

7.12 Floors

By 1 September 1715 a wright called John Halliwell had replaced a large part of the dining room floor at a cost of £2 11s and the nails for this (and other) work were supplied to Halliwell from within the Buccleuch estate by a female nail maker called Widow Jean Relly (see Appendix 10 [a]).⁵¹ At the same time a separate account demonstrates that Halliwell was also working on other floors in the lodging, which included alteration of planks, joists in the pantry, and the lifting of the entire drawing room floor to re-work its deals (see 10[b]). The only other specific mention of work being done to floors during this period occurs in 1727 when the floor of the room at the top of the stair head was clearly repaired.⁵²

7.13 Windows

Between January 1715 and December 1729 the accounts show that a vast amount of renovation work was undertaken on the windows of the upper lodging, particularly in relation to their cases, lead weights, shutters, and cords. Sometimes this also involved the creation of entirely new windows, as in September 1715 when the wright John Halliwell inserted three into the walls of the dining room, the lobby, and in the lady bedchamber.⁵³ On other occasions existing windows were merely replaced. For example, Halliwell returned to the upper lodging on 1 January 1717 when he inserted a new sash window in to the bed chamber; the old sash window was then re-used in the room above the bedchamber. Apart from ches and sash windows the accounts seem to mention a third type of frame when they refer to ‘batton’ windows (in 1727 – see Appendix 11 [b]).

7.14 Glass

There are occasional references to the replacement of both ‘losins’ and ‘pins’ of glass throughout the accounts but there seem to have been two main phases of glass (and window) replacement. The first of these occurred in 1717 when Thomas Forrest completed some major work at a cost of £14 15s 10d Sterling (see Appendix 12[a]). It looks as though Duchess Anne decided that a major exercise in glass replacement was again necessary in 1725 when the glazier George Simpson was directed to undertake a massive amount of work at a total cost of £57 7s Sterling (see Appendix 12[b]). Both exercises consisted of the replacement of both ordinary and crown glass and George also cleaned a number of the windows at the same time.

7.15 Partitions and Plastering

The accounts suggest that some interior rooms were stripped back to the original stonework on the orders of Duchess Anne. By April 1716 one account mentions the ragging of the stone walls to aid the erection of timber lining. At the same time the account also mentions the removal of three steps (unlocated, unfortunately) and the sloping of doors (see Appendix 13[a]). Presumably, by the latter they mean the

⁵¹ Ibid.

⁵² NAS, GD224/260/7.

⁵³ NAS, GD224/261/31.

sloping of the floor underneath the door. The sloping of other doorway floors also re-appears in a separate account from the same year (see Appendix 13[b]).

Throughout the ownership of the upper lodging by the duchess of Buccleuch, the accounts are quite clear that major partitioning and plastering work was undertaken. The first records of this appear in 1716 when lathe and plastering work was undertaken by John Haliwell and this account includes the fascinating revelation that he used 4st of (hopefully animal) hair in the plasterwork that had been carried to the tenement from ‘the lochside’, presumably the North Loch on the north outskirts of the town.⁵⁴ Thereafter, on 18 November 1718 the wright William Ranken lathed and plastered and squared two formerly ‘coum’-sided⁵⁵ upper rooms in the lodging (see Appendix 9[a]).⁵⁶ The accounts also contain some details about partitioning, presumably of existing rooms. These occur on 9 October 1728 when the wright James Burn was employed to undertake this work and his account is transcribed in Appendix 13 [c]). Unfortunately, we are not informed whereabouts in the lodging these partitions were erected.

It is, however, very interesting that some of this plastering work involved ceilings. There is one detailed tantalising glimpse into this work on 10 October 1729 when an un-named plasterer was employed to fix the rose on the ceiling of the high dining room at a total cost of 8s.⁵⁷ Presumably, this could have been the rose that currently bears the date 1684 and this repair might explain why some of the work on it is not of the best quality. It should also be noted that some of these interior accounts also refer to wooden panelling, picture panels, and frames in 1727.⁵⁸

7.16 Painting

These accounts demonstrate that the upper lodging was painted on at least two occasions during the period that the duchess of Buccleuch owned it. This first occurred in December 1716 when some of the more important of the rooms in the lodging were measured up (see Appendix 14[a]). Thereafter, 9 July 1717 the painter George Watson submitted an account to the value of £28 19s 3d for painting 566yds in the little dining room, the great dining room, the drawing room, the side room and closet, the stair head room, the bed chamber off the dining room, the stair case, the high bedroom, and for whitewashing the roofs. The little and great dining rooms were done in a green colour ‘over in oyle’; everything else was painted in a green colour except for stairs which were whitewashed. A lead colour was used in kitchen.⁵⁹ Thereafter, further painting does not seem to have occurred again until 6 May 1727 when Lord Roystoun’s two-room apartment was painted a cream colour ‘with oyll’; the turnpike, the laundry, and the kitchen were ‘whitened’ by a painter called Roderick Chalmers (see Appendix 14[b]).

⁵⁴ Ibid.

⁵⁵ Arched

⁵⁶ NAS, GD224/232/9.

⁵⁷ NAS, GD224/260/7.

⁵⁸ Ibid.

⁵⁹ NAS, GD224/261/31.

7.17 Other Interior Work

The upper lodging accounts also refer to many other types of remedial and new work that were undertaken within these rooms, ranging from the provision of new keys and the replacement of iron bands on doors, to providing new shelving, through to the replacement of iron tongs and pokers for the fireplaces and a new brass knocker (see, for example, Appendix 15[a], [b] & [c]). Equally numerous are the accounts that refer to interior stonework, whether it be kitchen fireplace hearths and lintels or window sills when the neighbours were (literally) roped-in to help place these large stones into their correct positions in the apartments (see Appendix 15[d] & [e]). Elsewhere in the upper lodging it seems clear that the accounts record many running repairs in various rooms (see Appendix 15[f]).

7.18 Some final points

It is now clear that it during the first quarter of the eighteenth century that more significant changes occurred in the back tenement and in particular the upper lodging. In general terms, it was also during this period that the roof was finally converted from a mix of thatch and slate to slate alone; chimney heads were raised and new chimneys built, and the internal roof structure was strengthened and altered. The accounts also provide excellent evidence that wood was occasionally recycled during the various renovation processes and any dendrochronology undertaken will have to aware of this possibility. In the upper lodging the amounts of rooms was reduced, indicating the enlargement of living spaces, and a lot of plastering was accomplished.

The discovery that the Buccleuch family and Lord Royston, son of the first earl of Cromartie, were the owners and tenants of large sections of McMorran's Court between 1714 and 1749 can perhaps explain a number of issues relating to the current buildings. First, their ownership and tenure must surely explain who commissioned the Norie panel artwork in the fore tenement the first instance. A sasine of 1730 seems to locate Lord Royston there and his main country residence at Royston House (now Caroline Park) near Granton also contained Norie artwork. The tenure of this fore-tenement lodging by Royston could also help explain the plaster ceiling rose that contains the initials of King Charles II and the date 1684. His wife, Elizabeth Mackenzie, was the daughter of that famous supporter of royalism and avid prosecutor of Covenanters, George MacKenzie of Rosehaugh.⁶⁰ Although Charles II died on 6 February 1685 this is according to new style dating – as far as the the Mackenzie family was concerned King Charles would have died on 6 February 1684 according to old style dating.

The first major exercise in glass replacement in 1716 (Appendix 12[a]) also helps to pinpoint the bed chamber used by the duchess because it specifically mentions two windows in that chamber. One looked south and the other west. This surely indicates this room was in the upper right-hand side of the upper lodging (as one stands in the court and faces south) unless it was part of a projecting wing. The Buccleuch accounts also mention two children's' rooms and a nursery so there must be a possibility that

⁶⁰ Clare Jackson, 'Mackenzie, Sir George, of Rosehaugh (1636/1638–1691)', *Oxford Dictionary of National Biography*, Oxford University Press, 2004; online edn, Jan 2007 [<http://www.oxforddnb.com.ezproxy.stir.ac.uk/view/article/17579>, accessed 15 May 2013].

these were the rooms that had performed the same purpose in the previous century. It is also interesting that there is one reference in these accounts (1715) to a ‘woman’s room’ (which required a staircase – Appendix 7[h]) and this may have been for a companion to the duchess, named in the accounts as Madam Cockburn. Finally, it is also useful to have the painting measurements for the main rooms during Duchess Anne’s tenure of the building because that will allow us to compare the square footage in 1716 of some of those rooms against their current size.

8. HISTORICAL RESEARCH RESULTS: THE NINETEENTH AND TWENTIETH CENTURIES

Alasdair Ross & Anne Schmidt

8.1 The early nineteenth century

Andrew Wright (2009) provides an account of the radical changes that took place during the first decades of the nineteenth century and during the following decades. The first decades saw an ambitious improvement scheme to provide access to the Old Town from the west, and between the Old and New Towns. The creation of Victoria Street required the removal of a large proportion of the backland of the properties behind Riddle's Court and those at the Castle Hill. The principal architects behind Victoria Street were William Burn (1789-1870) and Thomas Hamilton (1784-1858). Whilst they saw merit in conserving the 'antiquities' of the High Street as found at the Lawnmarket, the properties at West Bow (and presumably those leading to what is now the Grassmarket) were described as wooden tenements crowded together and in a ruined state; ripe for redevelopment. By the early nineteenth century the need for far reaching and radical changes were underpinned by the three disastrous fires that raged between the Tron church and Parliament Square. Analysis of the Commissioners record books (Appendix 18) has provided information on the conditions of the buildings prior to construction, including the scale of the now demolished wings. The February 1836 entry contained the statement:

W Smith laid upon the table the working plans of the house in Riddle's Court the low part of which is to be converted into shops fronting the terrace and otherwise improved. W Smith stated that with a view of enhancing the value of the whole property and enlarging the shop he had caused the survey or to measure and calculate the expense of taking down the whole front and rebuilding it forward to the permanent curved line of Bow Terrace and which he found amounted to the sum of £95 Sterling which he considered very moderate for such an extend of work. The committee after hearing W Smith's explanations and examining his plans unanimously approved of the same as being a means of enlarging and greatly improving that **fine old** building.

The Survey and Valuation Book of *c.*1828 records the number of rooms present at 17 Riddle's Court under the ownership of Mr Finnie, a Brickmaker, the large proportion of which would be affected by the insertion of Victoria Street. The records also confirm the commercial use of the properties by a society of solicitors who occupied the west end of the 'Main House at first floor level with two large rooms in middle part and three rooms in the west jamb and a large room in the east'. Two large vaulted cellars (B02 and B09) were also rented at the west end of the 'Main House' being the original kitchen and let or sub let? as a Tobacco cellar.

- Premises occupied by Mr Finnie being (2) temporary brick shop with top hart [sic], (2) Small brick buildings for shops appended to back of large tenement, 2 stories high with platform roof of lead.
- (3) East projecting jamb of house
- (4) West projecting jamb (5)(5)(5)
- Main House with back jamb to the court. His whole premises consists of yard, workshop on south side, 3 stories of back jamb marked (3) and 3 stories of back jamb marked (4). 2 stories of back building with platform roof marked (3). The whole flat of main house marked (5)(5)(5) with back jamb and 3 vaulted cellars on sunk floor, the west half of sunk floor belongs to Society of Solicitors.

- Mr. Finnie
- (3) East jamb, 2nd floor – 1 tenant, 2 apartments
 - (4) west jamb, 2nd floor – 4 apartments, 2 tenants
 - Riddle's Close (5) back court to north – 2 apartments + closet, 1 tenant
- Society of Solicitors
- Vaults – 2 large vaulted cellars, west end of main house being the original kitchen + let as a Tobacco cellar
 - First Floor Up – Premises occupied by the society as their hall containing 2 large rooms in middle part 3 rooms in the west jamb and a large room in the east jamb
 - Attics – the whole of this flat containing the same number of apartments big 5 rooms + closets [sic] is let as a parochial school to the session of New North Church

The 1828 plan (Fig 5k) of the route of the proposed Victoria Street (red dotted lines) clearly shows two buildings projecting from the main core block of the south wing (or 'main house') that were removed. It is presumed that that one or both relate to the 'back jambs' off the main house' as cited above.

Based on the detailed information contained within valuations in the Commissioners records the following conclusions can be drawn:

- The reports distinguishes between Riddle's Land and Court
- The reports are quite definite about how the construction of Victoria Street impacted on the back land properties
- The reports provide some indication of the number of rooms in the two jambs which were demolished for Victoria Street. They appear to have been exceptionally large wings. It is surmised that the reference to (5) (5) (5). possibly indicates five chambers per floor over 5 floors for the western jamb?
- The reports give some indication of how the garden and backlands (see Fig 2b) had now been built up with brick industrial buildings.
- The reports show that the early proposal was to insert a new street to the Lawnmarket through Fisher's Close

In contrast to this detailed information, there is a dearth of information on how the major civil engineering works required to create Victoria Street and to shore up the older properties behind the Lawnmarket was tackled (Wright, op cit). Even with today's engineering technology the complete removal of the façade of a four storey building against a slope would be a challenge, and it is still more remarkable that the interiors of the principal apartments have been retained in their entirety, without evidence of any damage having resulted.

8.2 The Mechanic's Library

Prior to the acquisition of the back tenement Riddle's Court by Patrick Geddes in 1889 it was associated with the Mechanic's Subscription Library⁶¹. The Library owned all of the rear property, including the tenements at the upper levels which were

⁶¹ University of Strathclyde Archive, T-GED 12/1/24.

rented out. These tenants included W. Robert Glass, a merchant, W. Daniel McInnes, a picture dealer, and a Miss Sarah Banner.⁶²

The Library benefited from the many associations with the leading printers and publishing houses of the city who donated works to it. The plan of the ground floor of Riddle's Court by Mitchell & Wilson (*c.*1890) names the two principal rooms of the library (Fig 2e) formed by a partition which was subsequently removed as part of the Geddes refurbishment work (see below). The rooms occupied what is now the so-called Orwell Room (G08) and the room to its north (G.07). After buying that portion of the back tenement, over the next few years Geddes acquired the remaining parts of the quadrangle formed by Riddle's Court in a piecemeal fashion as they became available.⁶³

In the latter half of the nineteenth century valuation rolls were introduced on a regular basis and so from 1865, after the Mechanic's Library had re-located to the Court, both the owners and tenants of the various flats that comprised Riddle's Court are known. The 1865-66 rolls divides the Court into different properties numbered 1, 2, 3, 5, 8 and 9 and they here are listed in tabular format.⁶⁴

Table 13 1865-66 Valuation Rolls

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
1	house	James Pillans, 6 James Court, per James Fraser, 297 High Street	Walter Bruce, painter		£4 10s
1	house	Ditto	Mr William Muir		£4 4s
1	house	Ditto	Mrs Low		£7
3	House	George Moir, printer, 9 Gardens Crescent	Peter Forbes, comb maker		£5
5	House	Mechanics Library, 9 Riddle's Court per Henry Rankin, 21 St James Square	Samuel Sadler, silver plater		£6 10s
9	Library	Mechanics Library, 9 Riddle's Court		Mechanics library	£30
8	Shop	Mechanics Library, 9 Riddle's Court	Robert Glass, sadler & ironmonger		£31
8	House	Mechanics Library, 9 Riddle's Court	John McCardle, grocer		£14
8	House	Mechanics Library, 9 Riddle's Court	John Whyte, grocer		£14 14s
8	House	Mechanics	William Deas, gas		£5 5s

⁶² NAS, B22/4/148, ff.155-59.

⁶³ University of Strathclyde Archive, T-GED 12/1/51.

⁶⁴ NAS, VR100/59/54-55.

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
		Library, 9 Riddle's Court	surveyor		
	Cellar	Thomas Baillie, merchant, 13 Victoria Street	J & S Baillie, 13 Victoria Street		£4
2	House	William Kenmore, Advocate, 46 Albany Street per William Wilson, 5 St James Street	Mrs McKenzie		£6 10s
2	House	Ditto	James McKay, hawker		£4 15s
2	House	Ditto	William Shearer, polisher		£4 10s
2	House	Ditto	Miss Finlay		£5
2	House	Ditto	Donald MacKay, blacksmith		£7
2	House	Rev. William McLean Mertoun, Penninghame, Newton Stewart, per William Wilson, 5 St James Street	Mrs Morrison		£4 10s
2	House	Ditto	Alexander Turner, coach smith		£4
2	House	Ditto	Mrs Alexander		£4 10s
2	House	Ditto	Robert Goodall, shoemaker		£7
2	House	Ditto	John McIntyre		£7 10s
2	House	Ditto	James Graham, coal agent		£4
2	House	Ditto	David Goodall, upholsterer		£7 10s
2	House	Ditto	Peter Thomson, coachman		£11
2	House	Ditto	Mrs Wood		£4 18s
2	House	Ditto	Mrs White		£4
2	House	Miss Thomson, 7 Arthur Street	James Jamieson, tobacco spinner		£4 10s
2	House	Ditto	Charles Mackenzie, soldier		£4 10s
2	House	Ditto	James Thomson, compositor		£4 10s
2	House	Ditto	John Stanton, brushmaker		£4 10s
2	House	John Campbell, painter, 38 St Patrick square	William Neilson, polisher		£8
2	House	Ditto	Thomas Jones, painter		£4 10s
2	House	Adam Rutherford, Dundas Castle, per James Fraser, 297 High Street	David Allan, Typefounder		£4 10s

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
2	House	Ditto	James McGregor, coach trimmer		£4 10s
2	House	Ditto	Mrs Moore		£4 10s
2	House	Dr James Ramsay, per Henry Tod WS, 39 York Place	Miss Beveridge		£6 10s

Since we know that the Mechanics Library occupied most of the back tenement it is easy to identify that portion of the building as No.9 Riddle's Court; presumably nos. 5 & 8 were also part of back tenement since they too belonged to the library.

Table 14 1875-76 Valuation Rolls

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
1	House	Alexander Norrie, banker, Perth per James Fraser 297 High Street	Miss Janet Findlay		£4 6s
1	House	Ditto	Mrs Jane Antonette		£5 16s
1	House	Ditto	Thomas Murphy, labourer		£3 6s
1	House	Ditto	Mrs Elizabeth Forsyth		£3 16s
1	House	Ditto	Charles McDonald, bookbinder		£5 16s
1	House	Ditto	Thomas Conlan, scavenger		£5 1s
1	House	Ditto	John McGuire, labourer		£4 6s
1	Cellar	Ditto	Vacant		£1
3	House	George Moir, 5 Antigua Street	James McPherson, labourer		£1 15s
3	House	Ditto	Alexander Jack, labourer		£3 1s
3	House	Ditto	John Scott, mason		£3 1s
3	House	Ditto	Mrs Ann Brown		£5 16s
5	House	Mechanics Library, 9 Riddle's Court per Charles W. Brown, 31 South Clerk Street	James Shaw, printer		£6 15s
5	House	Ditto	Mrs Margaret McLaren		£3 10s
9	Library	Mechanics Library, 9 Riddle's Court per James Smith, librarian		Mechanics Library per James Smith, librarian	£30
8	Shop	Mechanics Library, 9 Riddle's Court per Charles W.	Brown & Dodds, saddler's ironmonger		£31

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
		Brown, 31 South Clerk Street			
8	House	Ditto	Alexander Bell, tailor		£10 10s
8	House	Ditto	John Howison, paper ruler		£11 10s
8	House	Ditto	James Cunningham, engineer		£6
8	Cellar	Alexander Norrie, banker, Perth per James Fraser 297 High Street	James Alexander McLean, 1 Brodies Close 52 Cowgate		£1
8	Cellar	J & S Baillie, merchants, 13 Victoria Street		J & S Baillie, merchants	£4
2	House	William Clark, pawnbroker, 2 Lord Russell Place	John Taylor, cabinetmaker		£11
2	House	Ditto	Robert Scott, bookbinder		£4 16s
2	House	Ditto	Thomas Sanderson, tailor		£4 16
2	House	Ditto	Alexander Bell, brass finisher		£5
2	House	Ditto	Mrs Jane Wardrop		£8
2	House	Rev William McLean, Penninghame, Newton Stewart per James Allison, 16 South St David Street	Andrew Reynolds, labourer		£7 4s
2	House	Ditto	John Mellon, labourer		£4 1s
2	House	Ditto	Mrs Susan Alexander		£4 10s
2	House	Ditto	Thomas Shearer, painter		£8
2	House	Ditto	Thomas Alford Moses, silver plater		£5 1s
2	House	Ditto	William Hammond, lamplighter		£5 1s
2	House	Ditto	William Allan, coachsmith		£8
2	House	Ditto	William Leallander, shoemaker		£5 5s
2	House	Ditto	Mrs Ann More		£8
2	House	Ditto	John Dunlay, typefounder		£7 4s
2	House	Ditto	James Gardiner, tailor		£4
2	House	James Gray, basketmaker, 33	Thomas Burnet, shoemaker		£5 5s

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
		Richmond Place			
2	House	Ditto	David Hastie, slater		£5 5s
2	House	Ditto	Donald Kemp, labourer		£4 18s
2	House	Ditto	Vacant		£4 19s
2	House	Ditto	James Ferguson, flesher		£4 18s
2	House	Mrs Christina Campbell, 10 St Patrick Square	Michael McGlauchlan, labourer		£8
2	House	ditto	Robert Ferguson, porter		£6
2	House	Miss Marjory Beveridge		Miss Marjory Beveridge	£6 10s
2	House	Misses & Abram Rutherford, per John Mackie, 21 St John Street	Edward Shanley, labourer		£5
2	House	Ditto	Mrs Margaret Reid		£2 16s
2	House	Ditto	Alexander Walt, typefounder		£4 2s
2	House	Ditto	William Melrose, bookbinder		£5 4s
2	House	Ditto	Mrs Mary Harkinson		£5
2	House	Ditto	William Hunter, labourer		£5 4s
2	House	Ditto	William Glass, labourer		£3 18s
2	House	William Clark, pawnbroker, 2 Lord Russell Place	Mrs Janet Brown		£3 5s
2	House	Ditto	Walter Morrison, upholsterer		£3 5s

The most obvious difference between the previous valuation and that of 1875-76 is that the number of rooms or apartments listed within building no.2 has increased from twenty-five to thirty-two. It is currently unknown whether this was achieved by the addition of another floor or the subdivision of existing apartments.

Table 15 1885-86 Valuation Rolls

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
1	House	Henry Hay Norie WS, manager Union Bank per John Mackie, 21 St John Street	Mrs Susan Campbell		£5 4s
1	House	Ditto	Peter Antonio Stachini, baker		£7 2s
1	House	Ditto	Duncan MacNaughton, porter		£1 6s

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
1	House	Ditto	John Watt, baker		£4 6s
1	House	Ditto	Martin Battle, tobacco spinner		£6 5s
1	House	Ditto	John Henry, bootcloser		£4 16s
1	House	Ditto	Mrs Margaret Mcqueen		£4 4s
3	House	Mrs Stuart Leake, Wryside Lodge, Wrybridge, Surrey	Vacant		Condemned
3	House	Ditto	Ditto		Ditto
3	House	Ditto	Ditto		Ditto
3	House	Ditto	Ditto		Ditto
3	House	Ditto	Ditto		Ditto
3	Cellar	Ditto	John Inkster & Co [grocer on 320 Lawnmarket]		£1 10s
5	House	Mechanics library, 9 Riddle's Court per C & J Brown, 31 South Clark Street	Vacant		£6 9s
7	House	Ditto	Miss Margaret McLaren, charwoman		£3 6s
9	Library	Mechanics Library per David Main, librarian	vacant	Mechanics Library per David Main, librarian	£30
8	Shop	Mechanics library, 9 Riddle's Court per C & J Brown, 31 South Clark Street	Robert Brown, saddler's ironmonger		£31
8	House	Ditto	James Bell, slater		£11
8	House	Ditto	John Gregor, pocket book maker		£11
8	House	Ditto	John Brown, hawker		£5 16s
8	Cellar	Henry Hay Norie WS, manager Union Bank per John Mackie, 21 St John Street	Hugh Roberts, 7 Chessels Court		£1 10s
8	Cellar	Andrew Smith, 106 High Street	Thomas Baillie & Co, merchant, 13 Victoria Street		£3
2	House	William Clark, pawnbroker, 3 West Mayfield	James Finnigan, hawker		£10 8s
2	House	Ditto	Mrs Jessie Sanderson,		£5 1s

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
			charwoman		
2	House	Ditto	Mrs Margaret Rait		£5 1s
2	House	Ditto	James Wilson, fitter		£5 1s
2	House	Ditto	Thomas Dooner, labourer		£8 3s
2	House	William McLean's Trustees per William Menzie, 123 George Street per J & T Allison, 11 South St David Street	Thomas Fraser, railway servant		£6 4s
2	House	Ditto	Mrs Sarah Brannaw		£4 1s
2	House	Ditto	Mrs Susan Alexander		£4 10s
2	House	Ditto	George Scott, canvasser		£7 19s
2	House	Ditto	George Gordon, coach painter		£5 11s
2	House	Ditto	Mrs Bridget Rogers		£4 16s
2	House	Ditto	Vacant		£7 6s
2	House	Ditto	Mrs Agnes Callander		£5 5s
2	House	Ditto	Mrs Ann More		£7 19s
2	House	Ditto	Peter McGovern, labourer		£5 16s
2	House	Ditto	Mrs Ann Hardie, outdoor worker		£4
2	House	James Gray, basketmaker, 5 Hope Park Crescent	Mrs Forlena Sutherland, lampstress		£4
2	House	Ditto	Charles MacDonald, bookbinder		£5 16s
2	House	Ditto	David McFarlane, night watchman		£5 16s
2	House	Ditto	Robert Jack, carter		£5 16s
2	House	Ditto	James Adamson, brass finisher		£6 5s
2	House	James Cameron, painter, 244 Canongate	James Shaw, printer		£6 14s
2	House	Ditto	George Cruikshank, railway servant		£5 12s
2	House	James Beveridge, wood carrier, 13 West Nicolson Street per John Mackie,	Mrs Mary Halkenstow		£6 5s

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
		21 St John Street			
2	House	Ditto	Patrick Murphy, watchman		£5
2	House	Mrs Georgina Duncan, 4 Moncreiff Terrace & Abraham Rutherford, c/o Mrs Mary Taylor, 15 Crichton Place, Leith Walk per John Mackie, 21 St John Street	Vacant		£5
2	House	Ditto	Mrs Bridget McQueenie, nurse		£3 1s
2	House	Ditto	Thomas McMahon, labourer		£5
2	House	Ditto	James Ewen, fireman		£6 6s
2	House	Ditto	Mrs Ann Conley, charwoman		£5
2	House	Ditto	William Hunter, labourer		£5 8s
2	House	Ditto	Thomas Donaldson, cabman		£4 7s
2	House	William Black, pawnbroker, 3 West Mayfield	Mrs Agnes Glasgow, charwoman		£2 16s
2	House	Ditto	Walter Harrison, upholsterer		£2 16s

Building no.3, which has already been condemned by this date can perhaps be identified as that part of the fore-tenement later demolished by Patrick Geddes. Building / apartment no.7 appears to have been a new addition since the valuation of 1875-76 survey but it appears to have been part of back tenement.

8.3 Patrick Geddes and the creation of University Halls

Sir Patrick Geddes FRSE (1854-1932) was a Scottish biologist, sociologist, geographer, philanthropist and pioneering town planner. He is known for his innovative thinking in the fields of urban planning and sociology. Geddes wanted to encourage a mixture of people from different backgrounds and professions to settle in the Old Town to create a mixed, vibrant community. Geddes was also greatly concerned with the lack of accommodation for university undergraduates in Edinburgh, beginning with a property on Mound Place and thereafter quickly expanding to Riddle's Court and other properties.⁶⁵ He sought out and discussed cities

⁶⁵ University of Strathclyde Archive, T-GED 12/1/51.

which did possess such university accommodations.⁶⁶ He founded University Hall, the first Hall of Residence in Edinburgh. The Hall was set up in renovated properties around the Lawnmarket, including one in Riddle's Court (Fig 9a). The motto of one of his summer schools *Vivendo Discimus* (By living We Learn) is incised into the voussoirs of the arch leading to the inner court.

By 1889 Geddes had secured the first of his properties at Riddle's Court and set about refurbishing the Back Tenement. It is important to note that Geddes did not become personally involved in the day-to-day business of supervising these renovations, instead preferring to employ someone to manage the contracts. This explains why so little detail relating to these processes survives in his archive. The first plans were drawn up c.1890 by Mitchell & Wilson. These are incomplete but show minor alterations (Fig 2e) and a kitchen that was to be introduced to the West Wing (now occupied by the ground floor ladies toilet (G11 and G12). Wright (op cit) notes that the lack of drawings surviving of the work carried out by Mitchell & Wilson has hampered the ability to understand the degree of alteration carried out at ground floor level, but it is considered that the alterations were likely to have been low key, in line with the Geddes doctrine of 'conservative surgery' which was applied to the interiors of properties whenever conservation was carried out. This perception is supported by a contemporary account of the renovations:

Following up his success at the University Hall, he [Geddes] lately acquired the Old Mechanics Library in Riddle's close, Lawnmarket, and has now almost completed the fitting of it out for the same purpose. The dust-begrimmed rooms have been renovated, all the long shelving removed, and by the aid of a joiner and a painter the place has assumed a most attractive appearance. It consists of two flats, one on the ground floor and the other immediately above. The ground floor has been fitted up as bedrooms, sitting rooms, kitchen, and lumber rooms. There will be accommodation for five students. The rooms are all plainly furnished and all the same. There is a bed which can be converted into a sofa during the day, chairs, and a wash-hand stand. In each room there is a fine old bureau. It seems that Mr Geddes considers this a *sine qua non* for every student's room. The walls are also artistically adorned with old portfolios. The flat above consists mainly of two rooms – a large common room, and a smaller one, which will be used eventually as a drawing room. These rooms have been thoroughly renovated, but hardly altered at all in appearance from what they were in the 17th century, when they were the abode of the celebrities of the time. The panelling of both is plain and bold, with projecting mouldings. Most interest attaches to the smaller of the two. It was the room of the French ambassador of the time and is covered in by one of the richest roofs of any house in the Old Town. The whole area of the roof is deeply panelled in plaster. Each panel contains a design, mostly floral, and of a complicated sort; but here and there at the corners and in the centres are seen clusters of thistles, and in several of the panels, the *Fleur de Lis* is worked out to mark the nationality of the inmates of the room. This same house gained notoriety in the 18th century from the fact that it was the residence of Bailie Macmorran, a modest celebrity who was shot at for the barring-out of High School boys. The place will be ready for its occupants in about a week. It may be mentioned that one of the features of these new quarters is the reduction of the rents. A student will have his bedroom and the use of the common rooms for about 6s.⁶⁷

These five narrow ground floor rooms (G.08) were later stripped out, as shown on the 1937/1951 plans prepared by the RCAHMS (Fig 2i). These renovations were complete by winter of 1890 and three students moved from the Mound Halls into the new Riddle's Court Hall in the Back Tenement.⁶⁸ Few details of these renovations are

⁶⁶ University of Strathclyde Archive, T-TYR 5/2.

⁶⁷ University of Strathclyde Archive, T-GED 12/2/65.

⁶⁸ University of Strathclyde Archive, T-GED 12/1/51.

found in the Geddes Archives, probably because he employed project managers, but one tender to paint and paper one part of the new University Hall in Riddle's Court gives a brief glimpse into these processes, even though there is no indication this tender was ever accepted by Geddes:

3 September 1896; William Archibald, painter glazier, decorator and paperhanger
 Estimate to Messrs Whitson & Methuen CA 26 Hill Street
 Estimate for painter work at University Hall, Riddles Court

Table 16 1896 Trade Accounts

Room	Work	Price
No.12	Size colouring ceiling 1/6; 9 pieces paper 9s; hanging 6/9	17s 3d
	Woodwork, coat oil paint	10s
No.13	Size colouring ceiling 2s; 9 pieces paper 9s; hanging 6/9	17s 9d
	Woodwork, coat oil paint	10s
WC in top flat	Walls papered & woodwork 1 coat oil paint	4/6
No.10	Size colouring ceiling	1/6
No.9	Ditto 1s; 8 pieces paper 8s; hanging 6s	15s
	Woodwork 1 coat oil paint	6s
No.14	& room off same size colouring ceilings	3s
	10 pieces paper 10s; hanging 7/6	17s 6d
	Woodwork 1 coat oil paint	10s
Main staircase	Size colouring ceilings, top walls washed & 3 coats oil paint; dado 2 coats oil paint; lining on walls & colours to be the same as staircase 14 Ramsay Gardens; the dado to be varnished also	£4
Common Room	Ceiling re-papered	12s
		£10 4s 6d

By 25 July 1892 Geddes seems to have bought three sides of Riddle's Court and the Fore Tenement, bought in two separate transactions, was his final acquisition (apart from Riddle's Land, fronting on to the High Street). Shortly after this final purchase he decided that one part of the Fore Tenement should be demolished to let in more light, the old tenement which once stood to the left of the arch as you enter the Court. This, according to Geddes, would remove both a slum and some undesirable tenants:

The main portion of this building was acquired by Professor Geddes from the Mechanics Library in 1889 and after repairs opened as an additional University Hall Building. On account of insufficient bedroom accommodation for the students, admitting only a small number, about 14 students, and the small number of public rooms, and also on account of the disatisfactory entrance and unimproved state of the neighbourhood, this house has not yet paid so well as no.1, but Professor Geddes has lately acquired a larger portion of the adjacent block from Mr Henry H. Norrie W.S., and now only awaits the purchase of a small flat valued at about £120, to complete and greatly extend the accommodation at this building. The whole of this new building would not be thrown, however, into the hall, but only a sufficient number of rooms to raise the number of residents to about 24, a number which experience has shown to be desirable alike for grounds of economy and sociability. The remainder of the building would be pulled down, so largely increasing the area, light and breathing space of the outer court, and removing some very undesirable tenants, and improving the health, sanitation, and order of the neighborhood and the comfort of the residents as well. The execution of this scheme would, in fact, remove the only serious blot on the south side of the Lawnmarket. On these grounds it is hoped that the City authorities might cooperate by purchasing the ground from which Professor Geddes proposes to remove the present buildings, and preserving it as an open space. Since, however, this improvement would be of great pecuniary advantage to a body of adjacent proprietors (who are to a great extent responsible for the present deplorable state of the neighbourhood), Professor Geddes would urge the desirability of quietly

purchasing from them as much as possible of their surrounding property before this improvement scheme becomes known to them.⁶⁹

Part of this state of affairs is reflected in the valuation roll of 1895-96. In this there clearly has been an amalgamation of properties in Riddle's Court, property No.3 had been demolished, and Geddes owned the whole tenement with the exception of one cellar. Properties nos. 1, 5, 7, 8, and 9 have disappeared from the valuation roll so it seems logical to assume they had been amalgamated into Geddes's University Hall.⁷⁰ A large number of the rooms in the No.2 property are vacant but it is not entirely clear from this evidence whether Geddes was waiting for the leases of all those tenants listed to expire (some clearly had been listed in the 1885-86 valuation rolls), or whether some of them were new tenants he had attracted to his refurbished property

Table 17 1895-96 Valuation Rolls

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
	House	Professor Patrick Geddes, 14 Ramsay Garden per Whitson & Methuen CA, 26 Hill Street	University hall committee per Professor Patrick Geddes, 14 Ramsay Garden		£137 10s
	House	Ditto	Ditto		Included in above
	Cellar	Robert Gordon, 50 Minto Street	Charles Brown, grocer		Included in above
2	Cellar	Professor Patrick Geddes, 14 Ramsay Garden per Whitson & Methuen CA, 26 Hill Street	Vacant		£2
2	Cellar	Ditto	Vacant		£2
2	House	Ditto	Vacant		£8 13s
2	House	Ditto	Vacant		£4 14s
2	House	Ditto	Mrs Catherine Battles		£4 14s
2	House	Ditto	James Wilson, fitter		£4 14s
2	House	Ditto	Thomas Dooner, labourer		£7 14s
2	House	Ditto	Vacant		£6 5s
2	House	Ditto	Vacant		£4 5s
2	House	Ditto	Peter Ryan, labourer		£4 8s
2	House	Ditto	Dennis Gallagher, causeway layer		£5 16s
2	House	Ditto	James Mohan, brewers servant		£4 16s
2	House	Ditto	Vacant		£8 10s
2	House	Ditto	Vacant		£6 5s
2	House	Ditto	Vacant		£4 5s
2	House	Ditto	Mrs Ann More		£8

⁶⁹ University of Strathclyde Archive, T-GED 12/1/24.

⁷⁰ NAS, VR100/172/462-63.

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
2	House	Ditto	Mrs Agnes Buckle, charwoman		£5 16s
2	House	Ditto	Thomas Hepburn, labourer		£5 16s
2	House	Ditto	Vacant		£3 8s
2	House	Ditto	Vacant		£3 8s
2	House	Ditto	Vacant		£4 12s
2	House	Ditto	Vacant		£4 12s
2	House	Ditto	James Halkett, labourer		£5 16s
2	House	Ditto	Hugh Robertson, moulder		£6 6s
2	House	Ditto	Robert Halkerston, mason		£6 6s
2	House	Ditto	Mrs Marion McDonald		£6 6s
2	House	Ditto	John Reid, blacksmith		£6 6s
2	House	Ditto	Vacant		£2 16s
2	House	Ditto	Vacant		£2 16s
2	House	Ditto	Mrs Catherine McQueenie, outdoor worker		£3 14s
2	House	Ditto	Vacant		£4 12s
2	House	Ditto	James Hoy, labourer		£5
2	House	Ditto	Miss Margaret Smith, bookfolder		£5
2	House	Ditto	Mrs Mary McLaren, charwoman		£5
2	House	Ditto	Vacant		£4 7s
2	House	Ditto	Vacant		£2 17s
2	House	Ditto	Vacant		£2 17s

The removal of a tenement on the east side of Riddle's Court presented access problems that were mitigated by the installation of a new external staircase that was designed by Henbest Capper. Capper suspended the pentice staircase of the north-facing elevation of the North Block. This was later replaced by a replica staircase in 1964 (surviving as Features N38 and N41 on Fig 3a). The Capper staircase can be seen in historic photographs (SHBT Archive ref. 7212 (1909) and ref. 17.894 dated 1912) and on a 1923 black and white drawing by W. Miller (SHBT Archive reference number not known). Capper's alterations were focused, initially, on the refurbishment of the lower floors of the North East block and the replacement of the slate roof over the East Block. In order to get hot food from the ground floor kitchen (G11 and G12) to the then dining room on the first floor (now Geddes Room, Room F09) a dumb waiter was installed at the end of the corridor (G10) leading in from the turnpike stair (Stair 03).

At this time the old Forret Tenement, located on the west side of the arch, remained standing and an assessment of it on 11 November 1892 recorded it as possessing a kitchen, eight fire rooms, 2 garrets, a cellar under the turnpike, and a cellar under the

arch that led to the house.⁷¹ This description appears to indicate that two garrets had been added (and extra floor?) to the tenement between 1730 (see p.45) and 1892.

University Hall Directories (Table 18-19) record the names of the students that lived in the Riddle's Court Hall at this time, sometimes even including their home towns or points of origin:

Table 18 University Hall Directory, 1894-95 Riddle's Court, 332 High Street (Lawnmarket) and 5 Victoria Terrace

Room	Name	Faculty
No.10	V.V. Branford MA	
	T.B. Whitson CA	
No.21	John Ross CA	
No.5	W. Macdonald	
No.2	John Duncan	Arts
No.20	T.R. Marr	Arts
No.11	P.J. Bodington	Med
No.7	W.J. Collis	Med
No.17	A. Preston	Med
No.9	F.B. Feast	Med
No.6	F.S. Harper	Med
No.8	E.J. Nichols	Med
No.1	R.C. Verley	Med
No.13	T.S. Richmond	Sci
No.12	W.P. Meldrum	Sci
4 & 6 Victoria Terrace	Workshop: M.Finlayson	
	Office: [blank]	

Table 19 University Hall Directory, 1895-96 Riddle's Court (Lawnmarket) and 5 Victoria Terrace, opened October 1890

Room	Name	Origin	Faculty
No.17	T.I. Pocock MA	Clifton	
No.21	John Ross CA	Montrose	
No.11	P.J. Bodington	Norfolk	Med
No.10	E.G. Fraenkl	Dundee	Med
No.2	N.E. Harding	Somerset	Med
No.7	L.A. MacMunn	Wolverhampton	Med
No.20	T.R. Marr	Mains	
No.12	W.P. Meldrum	Mauritius	Med
No.9	E.J. Nichols	Northampton	Med
No.3	T.S. Richmond	Perth	Sci
No.1	M.S.Scott	Madras	Med
No.8	G.L. Thompson	Mauritius	Med
No.5	R.C. Verley	Jamaica	Med

Housekeeper: Miss Maciver⁷²

Running repairs were needed, prompting the students to complain about the condition of furniture and the lack of good sanitation, Wright (op cit) noted that in 1895, the year that all of Geddes's Old Town properties were transferred into the ownership of the Town & Gown Association,⁷³ there was a shortage of bathrooms with only two serving twenty residents. That same year Geddes and Colleagues was established and

⁷¹ NAS, B22/4/176, ff.94-99.

⁷² University of Strathclyde Archive, T-GED 12/2/62.

⁷³ University of Strathclyde Archive, T-GED 7/9/206.

located within Riddle's Court from where four volumes of a short-lived periodical called *Evergreen* were published promoting his ideals in art and architecture (Fig 9b-c). A legacy of the Geddes student halls was a painted heraldic ceiling in the former dining room of the University (shown on page 53 of the Conservation Statement). On 17 October 1907 Geddes listed the people he had worked with on this and other architectural projects in the Old Town as: architects, Professor Capple, Mr Sidney Mitchell, and Mr George Aitkin; internal decoration, Mr Bonnar; Mr John Duncan; Miss Helen Hay, the latter two both Old Edinburgh School of Art.⁷⁴

By the turn of the twentieth century the Riddle's Court complex was in a state of decline. Drawing on the 1901 census the WEA Gazetteer (Bryan and Bruce 2008) notes that eleven students were in residence with a cook, table maid, housekeeper and engineer. Twenty-five other residents were mainly artisans and skilled workers who had billeted with them four medical students.

The University Hall at Riddle's Court was not just used by Edinburgh undergraduates and 'respectable' tradespeople. In the long vacations of 1891 and 1892 it was used as a residence by a number of ladies attending the summer science course, some of whom had complained about the 'smell' of the outer court, and the fact that soup was not served on a regular basis. Tables 16 and 17 records their names and the rents they paid.⁷⁵

Table 20 Current residents in August 1891

Name	Board	Supper
Miss Hogg	£1 15s 6d (10 days)	1s
Miss Shipton	£4 4s	1s
Miss Bower	£4 4s	1s
Miss Clarke	£2 6s (2 weeks)	1s 6d
Miss Johnston	£4 4s	1s 6d
Miss Hooper	Paid	
Miss E. Hooper	Paid	
Miss Miller	£5	1s 3d
Miss Welby	£5	6d
Miss Rick	Paid	9d
Miss Richardson	Paid	
Miss Pitcaithly	£2 6s	6d
Miss Messenger	£4 12s	2s
Miss Tervine	£1 3s	
Miss Escatt	£2 2s	1s
Total	£36 16s 6d	12s 2d

Table 21 Residents of Riddle's Court in August 1892

Name	Board	
Miss Miller	£5	25s per week
Miss Welby	£5	25s per week
Miss Hogg	£4 4s (paid 2 weeks)	25s per week
Miss Rick	£4 12s	23s per week
Miss Johnston	£4 4s	21s per week
Miss Bower	£4 4s	21s per week
Miss Shipton	£4 4s	21s per week
Miss Richardson	£4 4s	21s per week

⁷⁴ University of Strathclyde Archive, T-GED 7/5/17.

⁷⁵ University of Strathclyde Archive, T-GED 12/1/21.

Name	Board	
Miss Pitcaithly	£6 (paid 2 weeks)	23s per week
Miss Hooper	£4 12s (paid 2 weeks)	23s per week
Miss Messenger	£4 12s	23s per week
Miss Clarke	£4 12s	23s per week
Miss E Hooper	£4 12s (paid 4 weeks)	
Miss Irvine		23s per week

These tenants of Riddle's Court also participated in dances which were held in the Common Room of the Halls and some sense of these occasions was provided by a correspondent using the *nom-de-plume* 'Ethelreda' in *The Scots Magazine*:

.....speaking about the Edinburgh Summer School of Art and Science; A second evening was devoted to a burlesque study of Primitive Man (Very vividly illustrated!) and the Evolution of the Ballad Dance – a feast of fun which those who saw are not likely to forget; nor will the picturesque scene in the quaint old common-room of University Hall, Riddle's Court, with its grotesque disguises, prettily costumed dancers, and ring of laughing spectators, quickly fade away from remembrance.⁷⁶

There are a number of occasions in the Geddes Papers where worries about the lack of profitability of the Riddle's Court University Hall development are apparent.⁷⁷ This may be why at some point during the second decade of the twentieth century Geddes developed a new idea to exploit the uniqueness of the Riddle's Court architecture and internal decoration by making it part of a scheme to attract paying customers, presumably either tourists or visitors with an interest in cultural history. This plan involved three key buildings in the Lawnmarket area of the Old Town: Riddle's Court, Lady Stair's House, and Blaikie's Warehouse in Buchanan's Court. Geddes thought people might pay six pennies to visit all three properties:

Municipal Museums and Old Houses Generally

Broadly speaking my suggestion is that there should be a group of houses, each with its different characteristic elements, and into these the appropriate exhibits of the Municipal Museum should be distributed, so that they would not each be a repetition of the other, but be understood as a series. A sixpenny ticket might admit to the whole lot of them one after the other – a bit being torn off by the keeper of each. The series would thus consist of say:

1. Lady Stair's House, now municipal property. This should be considered the representative baronial house, and might best contain the weapons and medieval antiquities.
2. Baillie Macmorran's House contains two fine rooms, which should be refurbished in the good old burgher style, as near as possible corresponding to the style of the Baillie's own day, when he entertained King James VI and his young bride on her arrival from Denmark.
3. Blaikie's Warehouse in Buchanan's Court would make a most interesting exhibit. On the ground floor is a big vaulted kitchen (until lately in use by Ferguson the confectioner) and easily restored as an antique kitchen again. Upstairs is a fine large hall, the room called the Eagle Lodge with a striking ceiling; and above this again reached by two distinct staircases; one to go up and the other to come down, is another large room, which might be roof-lit and thus make an excellent gallery for drawings and pictures.

⁷⁶ University of Strathclyde Archive, T-GED 12/2/46.

⁷⁷ University of Strathclyde Archive, T-GED 7/8/119.

So much for the Lawnmarket, of which these are the three best houses now surviving. In each case it would be easy also to give rooms to the resident caretaker, and thus the actual outlay for wages would be proportionally diminished.

Now to ways and means. Recall what a great deal has been done, between the Social Union and Town & Gown, especially in the last 20 years; and also what substantial outlay the town itself has made during the Provostship of Sir James Russell. Recall too the generous expenditure, and still larger intentions of Lord Roseberry, who e.g. was willing to purchase Huntly House if he could have got it. Does not all this clearly show how the preservation of Old Edinburgh, indeed the preservation and resuscitation of the Historic Mile, interests not only Edinburgh citizens, but eminent Scotsmen everywhere?

As far as can be ascertained this scheme did not come to fruition.

By the time of the next valuation exercise in 1905-06 it seems evident that Riddle's Court had ceased to be used as a student hall. Though almost all of it was still owned by the Town & Gown Association, the highest rent was by then being paid by the High United Free Church Mission and the University Hall had disappeared as a tenant. A soup kitchen had also been opened in the Court and the number of apartments listed in No.2 Riddle's Court had been reduced to fifteen:⁷⁸

Table 22 1905-06 Valuation Roll entries

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
	House	The Town & Gown Association Ltd per Whitson & Micharn CA, 21 Rutland Street	Vacant		£9 9s
1st floor	House	Ditto	Vacant		£9 9s
ditto	Soup Kitchen	Ditto	Miss Emma Freda Robinow		£8 9s
2 nd floor	House	Ditto	George Walter Campbell, labourer		£12 9s
m	House & Mission Hall	Ditto	High United Free Church Mission per William Galbraith WS, 16 Castle Street		£50
m	House	Ditto	Ditto	Mrs Catherine Campbell Smith, caretaker	Included in rent of 320 Lawnmarket (£45)
m	Cellar	Donald Stewart, 20 Craigmillar Park per G.M. Wood & Robertson, 19 Alva Street	Charles Brown, 320 Lawnmarket		Ditto
2, 1 st floor	House	The Town & Gown	John Bonnar, broker		£12

⁷⁸ NAS, VR100/236/155-56.

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
		Association Ltd per Whitson & Micham CA, 21 Rutland Street			
2, ditto	House	Ditto	Henry Hugh Herbert, bookbinder		£12
2, ditto	House	Ditto	Vacant		£12
2, 2 nd floor	House	Ditto	Mrs Mary Watt		£11 9s
2, ditto	House	Ditto	Thomas Redpath, mason		£12
2, ditto	House	Ditto	George Renton, police constable		£12
2, 3rd floor	House	Ditto	Daniel Bain, printer		£11 9s
2, ditto	House	Ditto	Charles Bowler, railway servant		£11 9s
2, ditto	House	Ditto	John Potter, firemen		£11 9s
2, 4 th floor	House	Ditto	Edward Parry, labourer		£11
2, ditto	House	Ditto	Thomas Degrun, valet		£11
2, ditto	House	Ditto	Arthur Ferrier, lamp-lighter		£11
2, 5 th floor & attic	House	Ditto	William Martin, rubberworker		£10
2, ditto	House	Ditto	Alexander Edmonds, tramway servant		£10
2, ditto	House	Ditto	Matthew George Hamilton, blacksmith		£10

There seems to have been no valuation of the Court carried out during the war years so the next roll dates to 1920-21.⁷⁹

Table 23 1920-21 Valuation Rolls

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
Pass	Clubrooms	The Town & Gown Association Ltd, 21 Rutland Street	High United Free Church Mission per William Galbraith WS, 16 Castle Street		£7 9s
1 floor	House	Ditto	Mrs Margaret Govan, charwoman		£10 8s
1 floor	House	Ditto	Mrs Ann Govan, laundress		£5 18s

⁷⁹ NAS, VR100/388/139-40.

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
2 floor	House	Ditto	Mrs Agnes Hay		£16
M	House & Mission Hall	Ditto	High United Free Church Mission per William Galbraith WS, 16 Castle Street		£50
M	House	Ditto	ditto		
	Cellar	Donald Stewart, 20 Craigmillar Park	John Gaffney, Thornton Farm, Thornton Hall, Lanarkshire		Included in rent of 320 Lawnmarket (£30)
2, 1 st floor	House	The Town & Gown Association Ltd, 21 Rutland Street	James Cassie, brass finisher		£11 16s
2, 1 st floor	House	Ditto	Mrs Christina Liddle Glen		£11 16s
2, 1 st floor	House	Ditto	Mrs Mary Catherine Wilson		£11 16s
2, 2 nd floor	House	Ditto	James Richard Money, engineman		£11 16s
2, 2 nd floor	House	Ditto	Mrs Margaret Parry		£11 16s
2, 2 nd floor	House	Ditto	Mrs Catherine Campbell Smith		£11 16s
2, 3 rd floor	House	Ditto	Mrs Marion Redpath, office cleaner		£11 16s
2, 3 rd floor	House	Ditto	William Henderson, painter		£11 16s
2, 3 rd floor	House	Ditto	George Air, dental mechanic		£11 16s
2, 4 th floor	House	Ditto	Mrs Jemima Bowler, shopkeeper		£11 16s
2, 4 th floor	House	Ditto	Mrs Mary Tullis		£11 16s
2, 4 th floor	House	Ditto	Mrs Ellen Mooney		£11 16s
2, 5 th floor & attic	House	Ditto	Andrew Mulroy Johnston, rubberworker		£11 16s
2, 5 th floor & attic	House	Ditto	Mrs Kate Sibbald		£11 16s
2, 5 th floor & attic	House	Ditto	Mrs Sarah McKay		£11 16s

The following valuation roll demonstrates that the Town & Gown Association continued as owners of the property but the major tenants had changed. Part of

Riddle's Court was now used as a boy's club and the Reid Memorial Mission had taken over from the Free Church as a major tenant.⁸⁰

Table 24 1935-36 Valuation Rolls

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
	Shop and Cellar. clubroom	The Town & Gown Association Ltd, 21 Rutland Street	Fettesian – Lorettonian Boys' Club, per W.H. Brown, secretary		£4
	House	Ditto	John Hunter Wilson, golf cleek maker		£12
	House	Ditto	John Govan, labourer		£7
	House	Ditto	William Black, tramway servant		£17
	Mission Hall	Ditto	Reid Memorial Mission, per John W.L. Seth, 202 Braid Road		£41
	House	Ditto	Ditto		£16
	House	Ditto	Ditto		
	Cellar	John Wood, 320 Lawnmarket		Mrs Elizabeth Cruikshank, caretaker	
No.2	House	The Town & Gown Association Ltd, 21 Rutland Street	Charles Clark		£14
No.2	House	Ditto	John Milligan Orr, messenger		£14
No.2	House	Ditto	Mrs Mary Catherine Wilson		£14
No.2	House	Ditto	Mrs Mary Tullie		£14
No.2	House	Ditto	Edward Parry		£14
No.2	House	Ditto	Miss Catherine Smith, compositor		£14
No.2	House	Ditto	William Hunter Fraser Burns, slater		£14
No.2	House	Ditto	Owen Charles Wilton		£14
No.2	House	Ditto	George Air, dental instrument maker		£14
No.2	House	Ditto	John Westie, labourer		£14

⁸⁰ NAS, VR100/740/86-87.

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
No.2	House	Ditto	Charles Seaman, labourer		£14
No.2	House	Ditto	James Devlin, scavenger		£14
No.2	House	Ditto	David Parry, rubber worker		£14
No.2	House	Ditto	John Macgowan, tramway servant		£14
No.2	House	Ditto	Martin McTernan, lamp trimmer		

In the next two valuation rolls the tenancies of Riddle's Court remain more or less unchanged. The only major difference is that the Reid Memorial Mission demitted their tenancy (valued at £41) which was taken over by the Fettesian – Lorettonian Boys' Club.⁸¹

8.4 Post 1945 Developments

Edinburgh Council purchased Riddle's Court in 1946. An extract from the minutes of a meeting of the Edinburgh Council's Lord Provost's Committee of that year is described in the WEA gazetteer:

A Mr W. J MacRae reported that the property at Riddle's Close and fronting the Lawnmarket contained 15 houses. The buildings at Riddle's Court further back, fronting the Lawnmarket consisted of Bailie M'Morran's house which was built in the 16th century. This building had two rooms at lower level (basement rooms B.02 and B.09) and three floors above, has a frontage to Victoria Terrace with excellent light and large windows. Of the three floors, the lowest has a large hall (G.08) about 45ft by 28ft with two large rooms off and sanitary accommodation; the middle floor has two rooms (F.09 and F.10) each with kitchenette and one other small room, and the highest has four rooms, and a caretaker's house (Rooms 14-18 and 20) with two rooms, kitchen and bathroom. In addition there is a small wing which connects up the east side of the inner courtyard and contains three houses. The committee resolved to recommend the Magistrates and Council to purchase the subjects at Riddle's Court and Close for the sum of £1700.

This purchase is reflected in the valuation rolls for 1950-51 and 1955-56. In the latter the city is clearly letting leases lapse and not sourcing new tenants:⁸²

Table 25 1955-56 Valuation Rolls

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
	House	Corporation of the City of Edinburgh (General Improvements Account) per City Chamberlain per	Vacant		£12

⁸¹ Nas, VR100/860/107-08; VR100/980/110-11.

⁸² NAS, VR/100/1089/88-89; VR100/1210/82-83.

Riddles Court (322) no.	Type of property	Owner	Tenant	Occupier (if different from tenant)	Yearly rent
		W.W. Galloway, 1 India Buildings			
	House	Ditto	Vacant		£7
	House	Ditto	John Middlemass, baker		£17
	House & Community Centre	Ditto	Corporation of the City of Edinburgh (General Improvements Account) per City Chamberlain per W.W. Galloway, 1 India Buildings		£57
	House	Ditto	Mrs Rennie		
	Cellar	Ditto	Vacant		
2	House	Ditto	James Cassie		£14
2	House	Ditto	Henry Allan, dining car attendant		£14
2	House	Ditto	Vacant		
2	House	Ditto	John Munro		£14
2	House	Ditto	Representatives of the late Edward Perry per Miss Jane N. Cameron here		£14
2	House	Ditto	Representatives of the late Murdoch Mackenzie per Mrs Janet S. Mackenzie here		£14
2	House	Ditto	William Hunter Fraser Burns, slater		£14
2	House	Ditto	Vacant		
2	House	Ditto	George Air, dental instrument maker		£14
2	House	Ditto	Representatives of the late John Westie per Mrs Rachel Westie here		£14
2	House	Ditto	Vacant		
2	House	Ditto	Vacant		
2	House	Ditto	Vacant		
2	House	Ditto	Terence R. McCall		£14
2	House	Ditto	John Currie		£14

In 1958 the Council engaged John Wilson Paterson to undertake improvements at Riddle's Court who in 1961 lodged a set of plans with the Dean of Guild Court for comprehensive alterations to Riddle's Court, principally the northeast and south west properties (North and West Block). The North Block underwent conversion into office space to suit the requirements of the WEA and alterations were carried out at the Caretaker's flat at the top of the South Block. Toilets were installed at ground floor level below the West Block and in the Basement. Capper's nineteenth-century staircase was replaced and the inner court completely harled. The scheme of alteration work is shown on the annotated Paterson plans (Fig 2j). In 1963, when the interiors in the North Block were being stripped out, two decorative ceilings were discovered.

One of the ceilings still exists in Room F.02, the so-called Beam Room. It was also during these works that the famous Norie Panels were discovered. These were sold to the National Museums of Scotland to fund further repairs. The Norie panels are discussed at length in the WEA Gazetteer.

Wright (op.cit) argued that the most damaging aspects of the 1960s works was on the external fabric, where a number of window openings were mutilated either by opening up former openings in the masonry walls or by changing the size of others. A good example of this can be seen on the exterior north-facing elevation of the South Block (Fig 3e) where a doorway was replaced by a sash and case window (Feature A10). The frequent use of concrete to replace earlier stone string courses and the liberal use of cast-concrete for window sills and lintels indicates that cost-cutting measures were important in the 1960s renovation.

In 1966 WEA began holding classes in Riddles Court and in 1975 they moved into office accommodation in the North Block. In 2005 City of Edinburgh Council vacated Riddles Court. The Scottish Historic Building Trust (SHBT) has occupied the South and West Blocks since 2011.

9. HISTORICAL PHASE DEVELOPMENT AND ANALYSIS

Mike Cressey, Charles McKean, Alasdair Ross, and Anne Schmidt

9.1 The Chancellor's House, Lawnmarket

Introduction

In the late 1580s, John McMorran created a 'great lodging' or 'great tenement' from a number of disparate buildings and structures lying to the south of the Lawnmarket on either side of what later became known as Riddle's Court – which, originally, appears to have extended downhill south as far as the Cowgate (Edgar 1743). Two east-west running tenements were referred to as the 'fore land' (the one nearest to the High Street) and the 'back land' (being the tenement closest to the King's Wall).

However, the site also had a principal entrance from the west, accessed from the Upper Bow. The term 'great tenement' is rare, and implies something very distinctive. That is underpinned by the subsequent occupation of its principal chambers by Alexander Seton, Lord Pluscarden, Lord Urquhart and earl of Dunfermline, great chancellor of Scotland between 1609 and his death in 1622. Seton was the most significant cultural patron of his day, Robert Pont describing him as the 'Maecenas of this land' (Seton 1882, 39). The property was thereafter termed 'the Chancellor's House' and was leased by the city council itself at £50 per month from its subsequent owner Sir John Smith (Wood 1940, 318) – possibly for the accommodation of distinguished strangers.

An examination of the property occupied by Seton against the approximately contemporary drawing of Edinburgh by James Gordon of Rothiemay in 1647 gives some clue as to what made this building unusual. Unlike its immensely tall and vertical neighbours facing the Lawnmarket and lining Fisher's Close, the great tenement was much lower and greater in extent than the tenements facing the Lawnmarket and their immediate rear extensions – probably three and a half storeys at maximum above the inner court.⁸³ Paradoxically, it still remained the tallest building this far back down-slope of these closes. New evidence of there being blocked windows and stairs looking east at level 4 (see Plate 11-12) on both north and south blocks (S8) appears to confirm this. Significantly, at principal floor level (first floor – or level 3), it provided a horizontally-planned suite of interconnecting apartments some of which overlooked fine yards/gardens on the slopes to the south (and Seton liked gardens). The Chancellor's House also had its own brewhouse, stables and woman house.⁸⁴ What effectively the chancellor was occupying as his town house was a smaller and more compact simulacrum of his favourite villa of Pinkie, in Musselburgh, in as near to an open setting with a good sunny prospect as might be found in the Old Town.

⁸³ A nineteenth-century photograph shows an attic/storage storey above the current top floor of the north wing.

⁸⁴ NAS, B22/8/26, 1629-1631 (Note: A woman house is where senior female members of the household (but not the family) slept and worked. It would have implements for sewing and laundry and the family's children sometime slept there (eg. The baby Prince Charles who was in Seton's custodianship prior to his removal to London c.1604-5).

Although the great tenement was subdivided again and again, and the fabric repeatedly altered, it retained large apartments still occupied by major and minor aristocracy and wealthy merchants until the mid eighteenth-century at least (Gilhooley 1988, 79 see Table 26 below). In the nineteenth-century, it became first hemmed in particularly on the west (thus losing all evidence of its western approach), truncated on the south (when Victoria Street sliced off its extensions, galleries and gardens), and detached from the north with the removal of the south part of the Forret tenement on the west side of Riddle's Close, and with it, its mutual north-west turnpike stair; and then the south part of the tenement on the east side of the close, once occupied by David Hume, with its stair.

Its apogee, however, was probably the time that it was the town house of Chancellor Seton, and it merits the resurrection of its seventeenth-century title, *the Chancellor's House*.

Early stages: before the Great Tenement (Fig 7a–7d)

Notes:

1. The floor levels in this paper are denoted thus: Level 1 – Basement; Level 2 – Court; Level 3 – First Floor; Level 4 – second floor; Level 5 – anything above.
2. There are five components to this building:
 - a. the north-east block
 - b. the north-west block
 - c. the west wing
 - d. the east wing
 - e. the south range divided into
 - i. the west block
 - ii. the east block
 - iii. south of the spine wall
 - iv. north of the spine wall
3. The turnpike in the court is called the surviving turnpike, to differentiate it from the now vanished others.

The history of the plot has been outlined by Robin Tait (2012) and greatly illuminated by the manuscripts uncovered by Alasdair Ross (Section 4 above). The site lay due east of the Upper Bow port (gate), and had probably been badly damaged by Henry VIII's army in 1544. Although that might explain why some parts of the site were described as 'formerly waste ground' prior to the Great Tenement, it is improbable that such a key site had remained entirely unused for the previous half century.

A combination of manuscript evidence, a study of its construction, and the evidence of different orientations/angles, old prints and photographs, and the schedule of irregularities, indicates that most of the site had building construction upon it before the Great Tenement. However, the wall thickness norm in country seats does not appear to apply to urban buildings such as this. They are generally thinner, and from time to time during the building's evolution, walls have been cloured and hollowed out, perhaps to increase space within chambers. What wall thicknesses are likely to indicate, however, is a date order (the thinner the more modern). Moreover, the two thickest walls (north wall west wing, south wall east wing) are almost certainly caused by the later insertion of kitchen chimneys. If the Capper drawings of 1892 (Fig 2f) are correct, the east wall of the gallery block at Level 3 is 3ft thick. Arriving at a definitive eastern boundary has proved difficult. However, in the roof space of the

Key

Note:
Numbers in parentheses are LDN room numbers

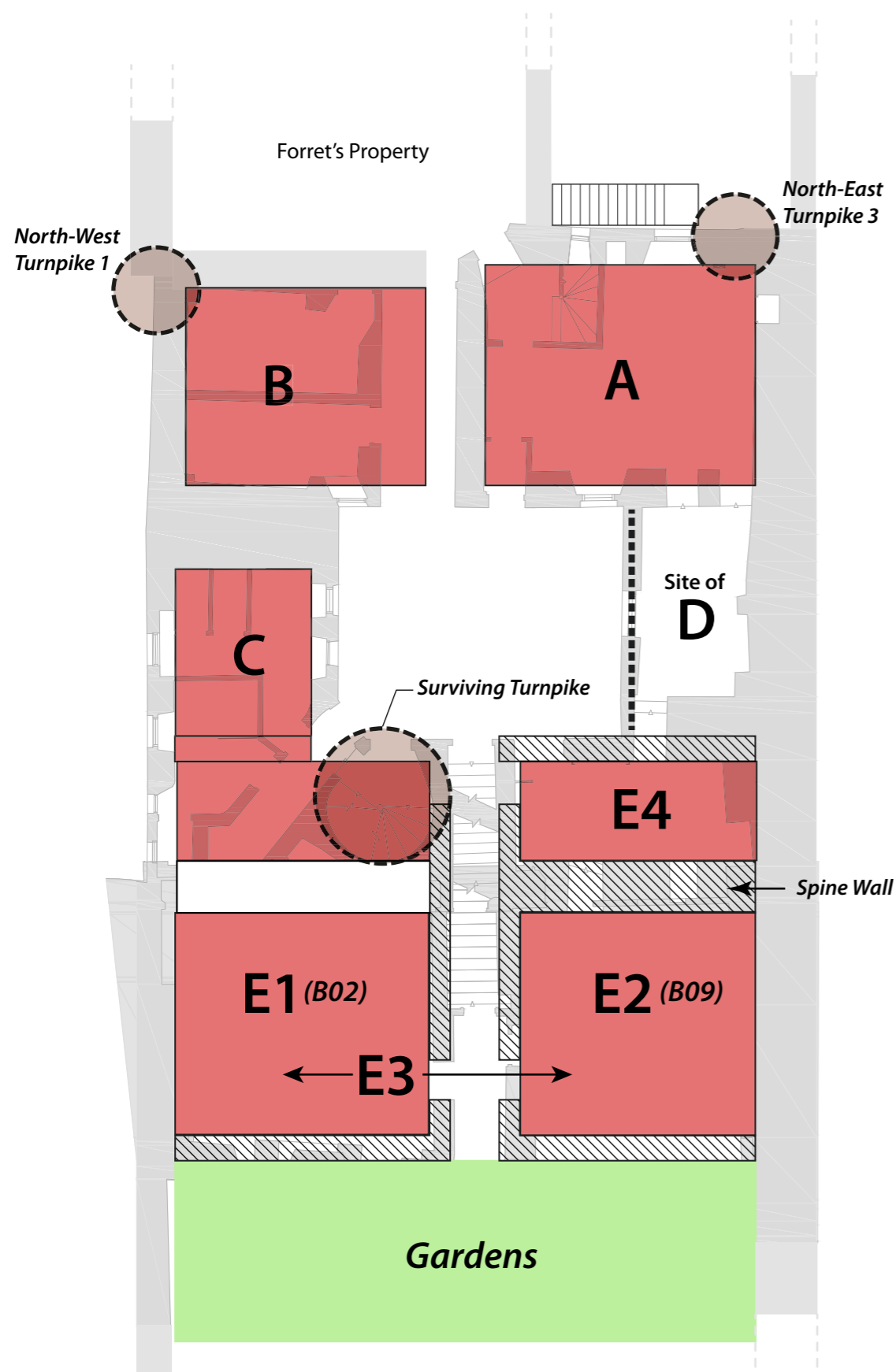


Fig 7a. - Phase Development - LEVEL 1 (Basement) before Great Tenement

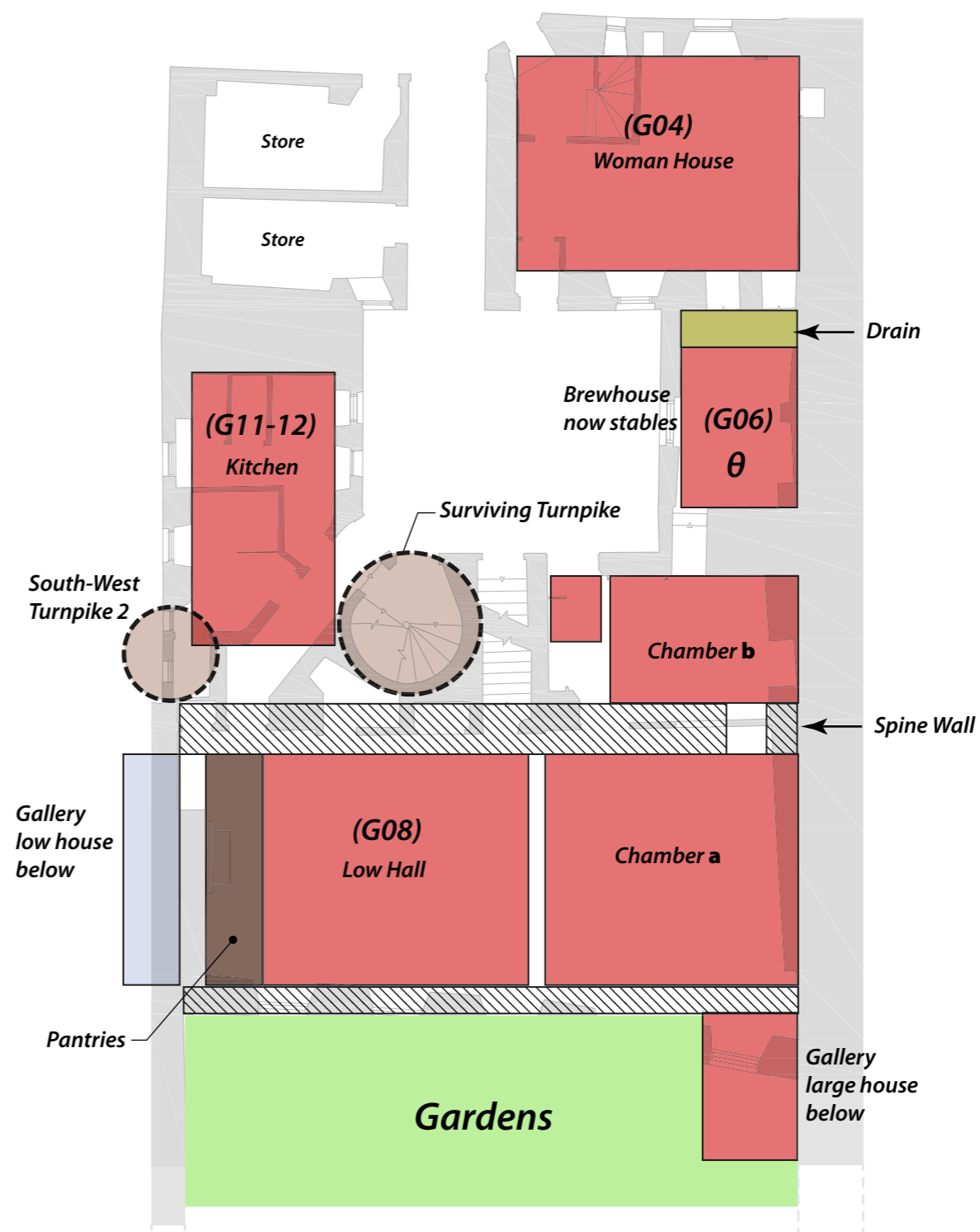


Fig 7b. - Phase Development - LEVEL 2 (Courtyard)



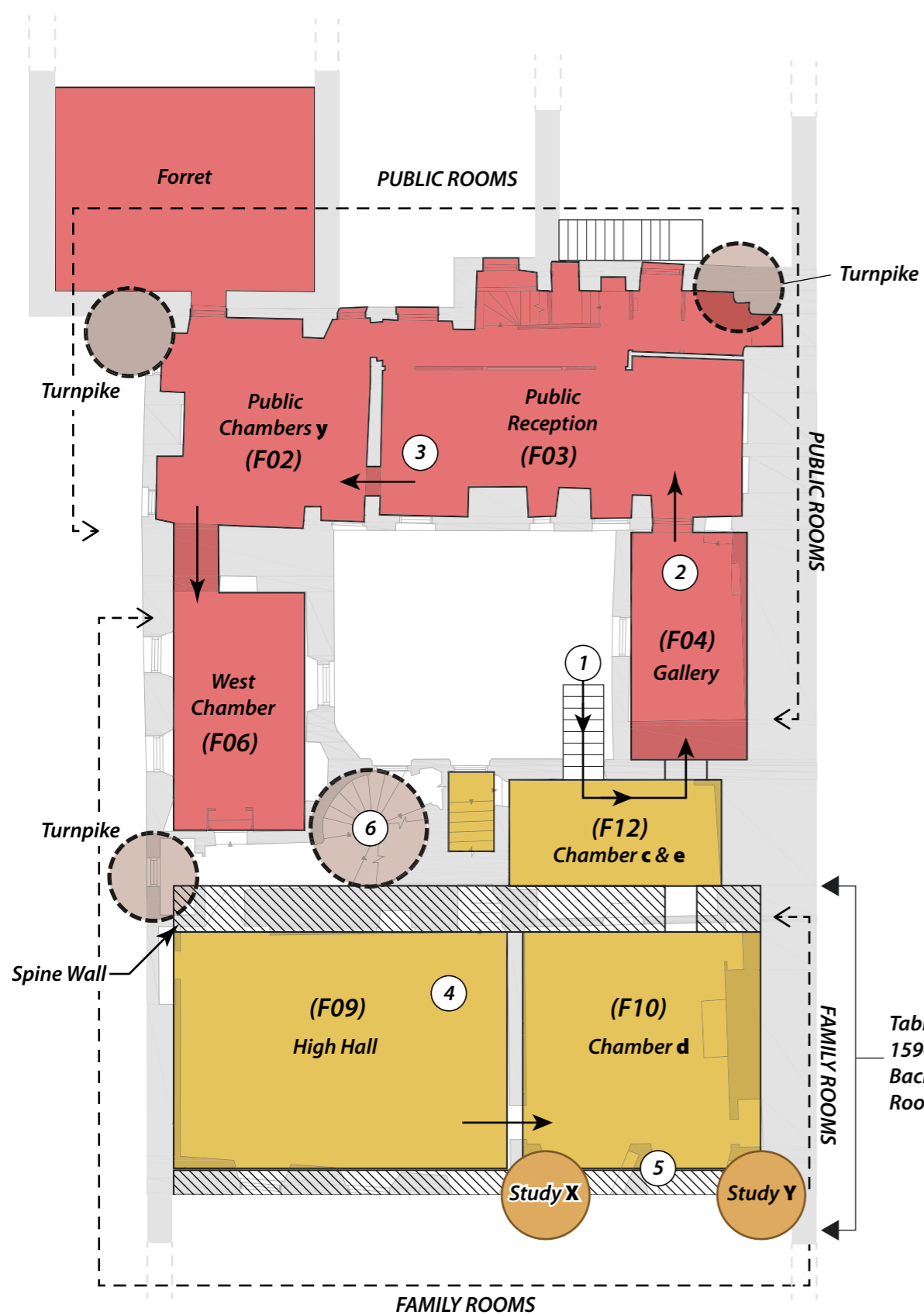


Fig 7c. - Phase Development - LEVEL 3 (First Floor)
(The Great Tenement or Chancellor's House)

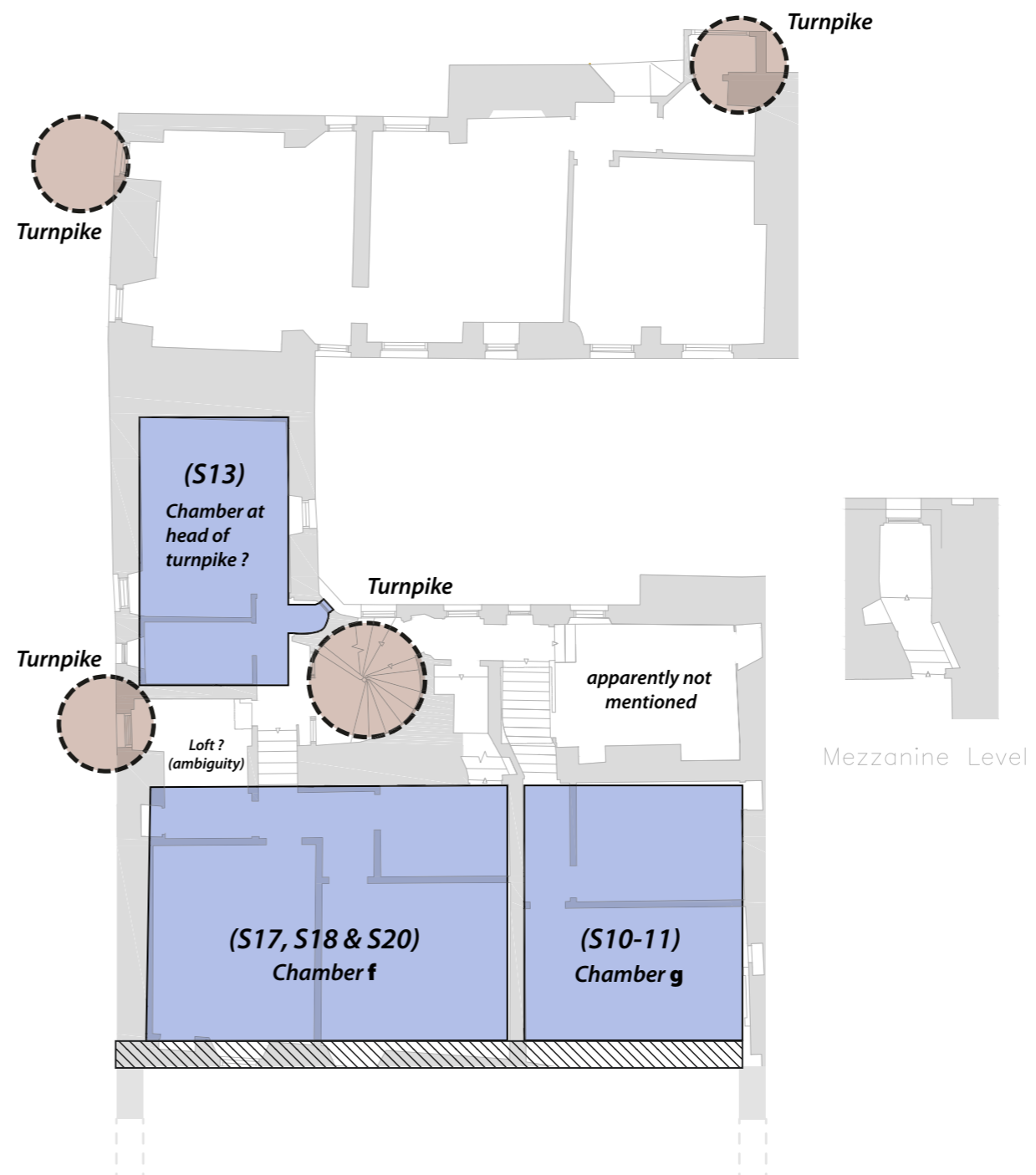


Fig 7d. - Phase Development - LEVEL 4 (Second Floor)
(The Great Tenement or Chancellor's House)

Table 4:
1596 & 1630
Back Tenement
Rooms

Key

- North or fore Tenement 1616
- Back Tenement 1616
- Chambers 1616

Note:
Numbers in parentheses are LDN
room numbers

CFA ARCHAEOLOGY LTD
The Old Engine House
Eskmills Park, Musselburgh
East Lothian, EH21 7PQ
T: 0131 273 4380
F: 0131 273 4381
e: info@cfa-archaeology.co.uk
w: www.cfa-archaeology.co.uk

Fig. No:	7c-d	Revision	0
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Title
Phase development plans

Project
Riddle's Close, Lawnmarket,
Edinburgh
Historic Building Survey

Scale at A3
nts

Client
LDN on behalf of SHBT

Drawn by:	Checked by:	Report No:
KH	MC	2164

east wing, the west wall of the Methodist Chapel in Fisher's Close is quite clear and can provide a datum.

That said, as shown in Figs 7a-c, two particularly thick walls stand out: the south wall of the north-east building, and the main spine wall running east/west the entire length of the south block. Early references refer to the Great Tenement as being built down to the King's Wall – and this thick wall *may* have been the King's Wall (see Fig 5j), although there is a kinked wall (Fig 5j) in the Hamilton plan on the south-west corner of the garden that might do just as well. Be that as it may, there is a blocked-up east-facing window (Feature 4, Fig 5a) at basement level which implies that at the time of this spine wall's construction, the space behind was occupied and looked out onto open land.

The manuscript evidence reveals that there was a western approach to Riddle's Court from the Upper Bow, and the 1743 Edgar plan (Fig 5i) shows two things: first, that the close from the west was just as substantial as the Riddle's Court entrance, and secondly, that it hit the Great Tenement at the north-west angle of the southern block (confusing since that turnpike was referred to as the *south-west turnpike* for reasons that will become clear). At this point, there is evidence of disturbance to the fabric on all floors that would substantiate a turnpike stair at this location. The existence of a turnpike would explain why the differing floor levels in the west and the south wings would have caused no difficulties. The evidence implies that the south-west turnpike predated the Great Tenement. The same manuscript evidence also refers to a north-west turnpike, serving equally the now missing north-west (henceforth called Forret's) block. Whereas it is highly likely that the north-west windows on the upper two floors might have been doors to that turnpike, there is no evidence of it serving the ground floor of either. That implies that the door jamb surviving on the north facing elevation (Feature N17, Fig 3a) led into a flight of stairs leading directly into the two floors *above* level 2.

Since the arch of the Riddle's Court pend has evidently been added, and would have been essential for the circulation in the Great Tenement, it is presumed that it was created by McMorran. Before that, the north wing, therefore, comprised two separate blocks, east and west building, of different sizes and angles. The eastern building was considerably larger, more substantial, and almost certainly older: almost certainly an early extension to the Cant building to its north. An eighteenth-century engraving indicates that its northern wall comprised an enormous chimney stack.⁸⁵ The 1616 manuscript (see above Section 6.6) makes it clear that its ground floor chamber (Level 2) had two accesses: one from within the court, and the other 'contiguous to the turnpike yett [gate/door] of the said 'Patrick Whitelaw's dwelling' (residing in a gallery in the fore tenement). So the current chamfered doorway and the skewed corbelling above it may have existed by this time. However, access to storage in part of the woman house was through an arch beneath the straight stair whose raggle survives on the northern exterior, which might have been the secondary access to which the manuscript referred instead, implying that the chamfered door came later in the century as its architecture implies. The straight stair itself appears too narrow and steep to have been a principal staircase. Attached to the north of this seventeenth-century chamfered entrance, however, is the right hand upstand of a larger and far

⁸⁵ SCRAN 00431505[1], and 00431720{1}.

finer doorway which, in the absence of other evidence, might have been the entry to Patrick Whitelaw's turnpike, providing access to the upper storeys of this block. There was also a sloping raggle along the west wall of Fisher's Close whose purpose remains obscure. On Level 5, there is a door jamb more or less against the wall of Fisher's Close (see Plates 11–12) which implies that there was a turnpike stair to the upper levels in that corner.

The north-west building is at a slight angle to the remainder of the court, and probably took its orientation from the Forret building to the north, to which it was a southern extension. Its ground floor was never anything other than storage or service, and access to its upper storeys must have been from the north-west turnpike.

There is no evidence of what, if anything, might have been on the eastern wing of the court before the Great Tenement.

The western wing is probably more significant. Judging by its orientation and wall thicknesses, all four storeys of this wing were built at the same time, access being by the south-west turnpike. Moreover, since it shares the same first floor level as the north-west block, it may have been constructed as an extension to James Forret's first backland; taking Robin Tait's history, this block was built by William Henderson:

Those lands formerly called the Boothous and Baikhous, with garden descending from them. These lie in the said burgh on the south side of the king's road, within the *west* tenement of the late James Forrett, between the back land formerly waste then built by the said William [Henderson], with the front of the *west* tenement to the north, and (the lands have) the kings wall on the south.⁸⁶

If the King's Wall is the spine wall running across the south wing, the west wing lies immediately to its north as the protocol states. At Level 1 and the western entrance, it contained a very fine vaulted cellar, with three large, high-level windows (one later blocked by the leveling of the court) and a vaulted service corridor (which the surviving turnpike later blocked). On each of the three floors above, there is a single chamber of similar scale, and the thickness of the western wall facing the close is consistent top to bottom. It seems probable that this block was erected all at once at the time of the south-west turnpike – *particularly since* the surviving turnpike accesses this wing at neither Levels 2 nor 3.

The south block is considerably more complex. It is divided into four: east–west by the current close stair which is probably a secondary insertion; and north–south by a very thick wall which is approximately the same on both sides of the close. Judging both by the apertures themselves and the changes in floor level, originally there was no link north and south other than by the close. There is a slight orientation difference between east and west blocks south, implying that when they were begun, they were separate from each other. It is difficult to be certain, but it appears that the space uphill of the spine wall might originally have run right across the site until bifurcated by insertion of the current close stair – which, effectively, sits over the right hand vault. If there were no north/south connections through the great wall save by the close, that means that north-west Level 1 was accessed only from the south-west turnpike until the construction of the surviving turnpike stair (S03). Equally, the only

⁸⁶ Protocol Alex Guthrie snr. 26 February 1601. B22/1/41 96-98r

access to north-east Level 1 can have come from within (the close stair blocking the access to the west). The 1951 Level 1 plan (Fig 2i) clearly indicates a staircase rising within the western wall of this vaulted chamber.

In its upper storeys, the south block has been significantly altered repeatedly. As a working assumption, the close stairs were floored over when the Great Tenement was constructed, thus uniting the two parts of the south wing into unified floors. It is unclear whether any of its fabric rose higher than Level 2 (courtyard) before this stage. The spine wall is not only slimmer than the one below, but is randomly placed upon it implying a different period of construction. There is great uncertainty about the nature – or indeed the existence – of the spine wall in the eastern part of the south wing, although it appears to be substantial on Level 4.

Thus, immediately prior to the creation of the Great Tenement, the buildings on site comprised a north-east block linked to the properties further north (access uncertain), a north-west, approximately square, block comprising the south chambers of the Forret block and a possibly associated four storey west wing and turnpike of likely mid sixteenth-century date; and on the south, structures on either side of the close stair, and on both sides of the King's Wall which may have risen higher than Level 1, but of which no certain proof has yet been found

9.2 The creation of the Great Tenement or Chancellor's House (Fig 7c and 7d)

The essence of the Great Tenement was the provision of a continuous circulation of state and private chambers around the court at first (Level 3) floor level, and improved circulation at Level 2. To that end, the close stair was covered over to unite the southern chambers, and the close entrance to the north was arched over to create a pend to unite the floors above.

Since the partition walls in the south wing appears approximately the same width at all floors, it implies they might all have been erected at the same time. However, partly because of the slope of the site, and partly because the south wing enjoyed such a fine prospect, whereas Level 2 on the south contained significant chambers, on the north it contained only service chambers and cellars. Taking the 1616 land exchange as a guide, the east wing contained a brewhouse/stables (G06) and drain, the north-east a woman house (Go4) entered from the court, the north-west two cellars. The west wing at this level had probably become a kitchen. Judging from John McMorran's inventory at death, the south wing at Level 2 comprised two principal family chambers, the larger one – probably the Hall (G08) – occupying the western space which extended above the close. The smaller one was the chamber of dais, and the chamber to the north-east was the bairns' chamber. (The ceiling of this latter chamber could have been lowered when it was converted into a kitchen in the later seventeenth century.⁸⁷). There was a kitchen – presumably the courtyard floor in the west wing (G11/12).

Michael Pearce has found an agreement in the city records whereby the burgh 'allows John McMorran the east side of the old port wall of the Overbow to augment his

⁸⁷ NAS, GD305/1/96/13.

house' and gave him permission to extend 'his ruinous house in the Over Bow outside the auld Port thereof, including a part of the port wall' so he could access his new house. This may imply that it was McMorran who developed the access to his house at Riddle's Court from the west, via another property in the Over Bow adjacent to the site of the ancient Upper Bow gate.⁸⁸ The family later received substantial rents from the booths that they now owned 'adjacent to the Over Bow'.⁸⁹ Edgar's much later plan indicates a substantial close in this location.

The principal changes, however, were made to Level 3, and comprised:

1. A new 'great entry' up stairs to Level 3 in the south-east corner of the court.
2. A gallery lining the east side of the court (East Wing)
3. The joining of the two northern blocks above the close entrance
4. The joining of the two southern blocks above the close
5. There was almost certainly a further stair into the court, and a gallery lining the southern court wall.
6. It may also have included the insertion of the surviving turnpike.

With these changes, circulation at Level 3 (the *piano nobile*) could be continuous on all sides of the court: but not all chambers were of the same significance. Judging from McMorran's inventory, the chambers to the west and south were family apartments and those to the east and the north were public apartments. So, the most convincing way of understanding the Holstein Banquet in 1598 is to presume that the two public chambers to the north were entered up the great entry and along the eastern gallery. The hall, symbolised by the (now missing) great fireplace⁹⁰ was the first chamber (S02/4), with the chamber of dais behind (S03).

According to the McMorran inventory, the Level 3 south wing appears to have been given over entirely to a gallery. The north-eastern chamber would have been the vestibule at the head of the great entry.

Ninian's transfer

In 1616, Ninian McMorran divided up the Great Tenement recognizing a split in occupancy already in operation. The northern block was sold to his brother George with the Level 3 chamber of the west block (Room F06, Fig 7c), whilst he retained the southern part, at that time occupied by Chancellor Seton. That southern dwelling also included the ground floor (Level 1) chambers of the east and north east blocks. This change required alteration to the circulation, and greater strictures on privacy. It is arguable, therefore, that it was at this stage that the north part of the south block underwent its most major change.

There is substantial evidence to indicate that the north part of the south wing – i.e. that part immediately north of the spine wall – was later than the main south wing. Firstly, both roof pitch and roof structure differ from the main south block. Secondly, insofar as can be gauged given that the south wall of the house was replaced in 1839, its wall is far thinner. Thirdly, its floor levels differ from those in the south block. Crucially, there was no original access from the surviving turnpike to any of its three chambers

⁸⁸ *Extracts ... Edinburgh*, (1927), p.33-4, 27 January 1590/1,

⁸⁹ NAS, B22/8/8, 1599-1603, ff.173r-175v.

⁹⁰ SCRAN 00431505[1], and 00431720{1}.

(incorporating rooms S10-11 and S17-18, 20). Indeed, there is no surviving original access to the top south-east chamber either. It may well be that part of the explanation lies in a now removed access gallery (over the site of the East Block). However, the discovery of a fine window opening of sixteenth/seventeenth-century proportions (1:2 proportions) in Room S08, indicates that it was a chamber of substance (at the time a window was installed), and was higher than the properties to the east.

The insertion of the new turnpike between the west and the southern blocks, running from Level 1 to Level 4, raises more questions than it answers. It provided access from the western entrance up into the courtyard, (but to nothing else at that level), direct access only to the principal chambers of the south block at Level 3 (F9, F10, F12) and access to the west wing chamber only (the one with McMorran's dated dormer head) at Level 4 (S13). At Level 1, the original access corridor to the south-west turnpike was blocked by its insertion. A major chimneystack feeding from the fireplace in Level 3 appears to have been inserted at the same time (F06) The combined effect of the inserted stair and chimneystack was that the straight stair that had linked the chambers of the south-eastern block required shifting eastwards. The new turnpike with its adjacent straight staircase was given a formal unified façade facing the court. It is at the moment impossible to judge how Level 2 was entered from the court. A door of some magnificence is lacking.

The chambers within the south wing were also changed (Fig 7b). The Level 2 (court level floor) south wing became the Low Hall (G08) with pantries and gallery at the west end), and chamber to the east with a further chamber to its north (G07). The first record also appears of other structures – namely galleries linking the western and south-east walls, and a large house beneath the gallery at garden level. At Level 3 – the *piano nobile* – McMorran's gallery (principal chamber rather than access) had been divided up between the principal southern chamber – the High Hall (F09) – and a further chamber east (chamber d, F10) which now contains contemporary ceiling plasterwork⁹¹; and possibly two other chambers (c and e, F12) to the north-east. It is completely unclear how these latter chambers would have been accessed given the fact that the current stair to the north-eastern chamber is a Victorian insertion through the spine wall. Two studies (x and y) also projected from chamber (d) and are shown on the plan in their typical form as circular projections. At Level 4, the top storey chamber (S13) in the west block was incorporated into this southern mansion.

Thus the Chancellor's House comprised the four storey and attic building facing the garden, and adorned with studies and galleries, comprising a Low and Upper Hall, with a kitchen, six additional chambers, two additional galleries, with a stables and a woman house in the northern wing. Access was either from Riddle's Close to the north into the court and up Ninian's turnpike, or from the close from the Upper Bow with access from the south-west turnpike. The principal uncertainties in this suggested history are, therefore, the date of the insertion of the new chimney and turnpike stair; and the nature of and access to the south block's north-eastern chambers.

By 1684, the principal rooms and galleries remained largely as they had been fifty years earlier, with the exception that a kitchen had been created at the east end of Level 3 – possibly from the north-east room which would explain the chimney stack

⁹¹ Information from Dr Will Napier

in that location. Evidence that the kitchen stack was a later addition can be seen in the roof space of the east wing: since there is part of a window lintel facing north from the ghost's chamber which has been blocked by the chimney. When the house was next let in 1702, the room names had changed, the south block was divided east and west, and new chambers had been added, mostly in jamps (wings) projecting southwards into the garden on the east and west sides. They remained to be visible in diagrammatic form in both Edgar's 1742 plan (Fig 5i) and Hamilton's 1827 one. A key difficulty lies in how to assess the quantity and type of building removed for Victoria Street. The drawing by James Skene of Rubislaw of the construction of Victoria Street⁹² indicates what looks like a timber-framed frontage approximately where Riddle's Court might be. A superimposition of the court as it is upon the 1742 Edgar map (albeit a very rough comparison; Fig 5i) implies that a substantial amount of accommodation was lost in the 1830s. Gilhooley's analysis that there were ninety-three taxable windows in Royston's Court in 1752 (and people rarely declared every one) tends to underline that – for there are fewer now. Table 26 lists the number of windows and the occupants that lived in Royston's Court in 1752.

Table 26. List of occupants residing at Royston's Court in 1752 (after Gillhooley 1988)

Number	Number of windows	Name of occupier	Occupation
1	16	Mrs McGill of Rankeillor	
2	24	Lord Haining	
No record	24	Archibald Stewart of Torrance	
No record	16	Mr Maxwell	
No record	13	George Chalmers	
No record	No record	Mrs Katie Hepburn	
No record	No record	Andrew Cockburn	White Iron Smith
No record	No record	Alex Edmonstone	Merchant
No record	No record	Mrs Wright	
No record	No record	Deacon John Craig	Cordiner
No record	No record	David Ogilvie	Ale seller
No record	No record	George Monro	
No record	No record	Widow Anderson	

The list shows that some fairly eminent persons lived in the Court as well as those employed in various trades. The West Bow was the tinsmiths and Hammermen's quarter and continued up until the mid-nineteenth century. The tradesmen working there might have come along the west close and lived in one of the lesser chambers of the court.

The dividing line of the southern tenement was the close stairs (Stairs 2 and 6) – since there is nothing else on site that could conform to 'all lying upon the west side of the broad stair as goes to the garden.' It appears that this was a four and a half storeyed house with two wings containing fourteen chambers. The principal curiosity is that since the eastern or right hand block had been separately lettable, the partitions between east and west chambers on Levels 2 and 3 must have been made solid; *and the eastern block must have had its own circulation*. Which brings us back to the conundra of the straight staircases at the centre of the northern part of the southern block.

⁹² In the Edinburgh Room, Edinburgh Central Library.

The solution to part of the conundrum might lie in the final major change to the fabric which may have occurred with the introduction of the Mechanics' Library on Level 2. For the recent discovery of an iron beam in the 'ghost's chamber' (Room F12) to take the load of the spine wall might have been to permit the open-planning of the Mechanic's Library and removal of the spine wall at Level 2. Since the straight stair at Level 4 appears to be a contemporary interpolation, it is conceivable that the original access stair between the ghost's chamber and the rooms lying upstairs to the south lay *within* that chamber; and had been blocked by the insertion of the iron beam, requiring a new stair to be cut through. It was also possibly at that date when the squint corridor cutting through at Level 2 was introduced, and the opening between it and the surviving turnpike cut through.

Once the north blocks had been demolished sometime in the later nineteenth century (oral tradition suggests that they collapsed), there was no further major loss thereafter; and the building's rescue was assured once it passed into Patrick Geddes' hands and began a new phase of being used for institutional purposes.

Patrick Geddes is attributed with having great foresight and an eye for potentially exploiting the historical charm of Riddle's Court as well as marketing its value in terms of incoming revenue as a Halls of Residence. We have already seen that the University Hall Directories record the names of the students that lived in the Riddle's Court Hall at this time. These were mainly medical students from various locations within the British Empire (eg Madras and Mauritius). Geddes was a great patron of the arts and this is exemplified in his *Evergreen* publications. These books were published in the Lawnmarket according to the publisher's logo on the back cover. We know that printers and book binders were resident within Riddle's Court in the late nineteenth century occupying the basement of the south block. Gedde's would certainly have been astute enough to foster a good deal for his promotional output and in the light of this, it is very probable that the publisher of *Evergreen* also published the Halls of Residence pamphlet (Figs 9a-b). Valuation Rolls indicate that once the Court ceased to be used as a student hall, the Town & Gown association used that part of the court as clubrooms before the High United Free Church Mission became tenants (before 1920) and used part of the Court as a mission hall.

Close to the mid-twentieth century Riddle's Close was bought by Edinburgh Council and in the late 1950s commissioned a great deal of conversion work mainly on the north block and the second floor of the South Block. As has been expounded on above, much of this work was not in keeping with the earlier architectural fabric that it replaced, though to be fair the replaced Capper staircase is close to the original.

Riddle's Court is steeped in the performing arts born out of its student summer school of art and science in the late nineteenth-century through to the present day where it remains a venue for the Edinburgh Festival. This continuity stemming from the late nineteenth-century is critically important when seen alongside the educational aspects of Riddle's Court's educational ethos which is as strong as ever with the presence of the WEA and SHBT.

Table 27 Timeline of building developments and historic events (source: A Ross and Riddle's Court Options Appraisal 2009).

DATE	HISTORIC EVENT	BUILDING DEVELOPMENT
6/8/1584	John McMorran begins buying property to the south of the High Street.	
13/1/1587	Final sasine recorded to complete John McMorran's purchases of property to the south of the High Street	
1595	John McMorran shot and killed.	
Unknown	Alexander Seton, Earl of Dunfermline, begins to rent the south (major) part of the great tenement; including the courtyard floor east and north-east, and the whole of the back tenement and parts of the fore tenement.	
1598	Banquet for St James VI and his wife, Anne of Denmark, the Duke of Holstein and his entourage held at Riddle's Court. Painted beam ceiling commissioned.	
1/8/1612	The Convention of the Royal Burghs meets in Ninian (1) McMorran's house	
10/2/1616		Ninian (2) McMorran sells the fore tenement of the great tenement (minus the great gate) and one other tenement to his brother George for 10,000 merks; as part of this deal George agrees to close up with stone and mortar the three entrances belonging to him in the courtyard and the great gate. [great tenement broken up into two properties] [the two tenements sold to George are linked on the first floor via Ninian (1) McMorran's apartments] ⁹³
Unknown	Earl of Lauderdale takes over as tenant from the earl of Dunfermline, possibly after Seton died on 16 June 1622?	
7/2/1630	Back tenement sold by Ninian (2) McMorran to Sir John Smith for 12,000 merks and Earl of Lauderdale evicted.	Referred to as Johne Makmorans close
1662	City Council rents the Chancellor's House from Sir John Smith at £50 per month.	
1665	Sir John Clerk of Penicuik begins to buy up the Smith family bonds that were secured against property.	
June 1676	Sir John Clerk of Penicuik forecloses on Sir John Smith and receives title to all of Smith's lands to the south of the High Street, including the back tenement of the great tenement.	
20/5/1684	Sir John Clerk sells on these lands to Roderick MacKenzie of Prestonhall.	Referred to as called John McMorans close

⁹³ Theoretically there should be a blocked up doorway somewhere high on the wall to the right of the great gate.

DATE	HISTORIC EVENT	BUILDING DEVELOPMENT
Unknown	Roderick MacKenzie sells part of the back tenement to (1) Sir Thomas Stewart of Balcashie who subsequently disposes the same to (2) Sir Archibald Mure, late Provost of Edinburgh. [back tenement broken into two properties]	
1684-1702	Roderick MacKenzie of Prestonhall sells the upper lodging of the back tenement to his brother George Mackenzie, the future first Earl of Cromartie.	
28/3/1702	George MacKenzie disposes the upper lodging of the back tenement to his wife, the Countess of Wemyss. This half still includes the great gate and the court.	Building referred to as McMorran's close
1709	Gabriel Rankin of Orchardhead inherits two lodgings and their cellars as part of the fore tenement from his father Walter; at that time the tenants are named as Catherine Hutchison (the lower lodging) and Patrick Graham (the upper lodging).	
1714		Duchess Anne of Buccleuch purchases the upper lodging of the back tenement from the Earl of Cromartie and installs James MacKenzie of Royston (son of the first earl of Cromartie) as a tenant. The duchess begins renovating the property quite extensively.
Early 18 th Century		Alterations including the installation of paneling to first floor rooms in South Block (Rooms F08-F10); the installation of marble fireplaces; the roof changes from a mix of thatch and slate to 100% slate
1730	James MacKenzie of Royston, together with William Carmichael, own part of the Court, possibly the main part of the fore tenement.	<i>Nunc vocat</i> Royston's Court
Early-mid 18 th Century		Installation of paneling and painted landscape panels by James Norie in North Block (Room S03)
1749	Francis, duke of Buccleuch, sells the upper lodging and the great gate to William Alexander, a merchant in Edinburgh. This seems to be the end of the aristocratic occupancy of any of the McMorran Court buildings.	
1749	Alexander Home sells two dwelling houses and their cellars in Royston's Court to John Mein, a slater, who then subsequently sells the same to James Carmichael, a writer to the signet. Otherwise unlocated but this could be the property owned by Gabriel Rankin of Orchardhead in 1709.	
1751-1763	David Hume (philosopher of the Scottish Enlightenment) resides in Riddle's Land (probably in foreland properties on the Lawnmarket).	The names Riddle's Court / Close begin to appear in documents
1752		The close is known as Royston's Close, and is occupied by well to do merchants <i>inter alia</i> .

DATE	HISTORIC EVENT	BUILDING DEVELOPMENT
1837	.	The south part of the South Block and wings and the gardens are removed by the construction of Victoria Street.
1841	By 1841 census the majority of the dwellings at Riddle's Court are populated by shop keepers artisans, and labourers. Wilson reports use of some rooms in Riddle's Court including a bookbinder's workshop and former public theatre. Riddle's Court properties are under multiple occupancy and fall into decline and disrepair with only ad hoc repairs undertaken.	
1854-1893	The Mechanic's Subscription Library is relocated from James Court, occupying the whole of the building using the ground floor as the library and renting tenements above.	
1865-66	Valuation Rolls name the following owners of Riddle's Court: James Pillans, George Moir, the Mechanic's Library, Thomas Baillie, William Kenmore, Rev. William McLean, Miss Thomson, John Campbell, Adam Rutherford & Dr James Ramsay	
1867		Improvement Act saw the introduction of sanitary provision to Riddle's Close, although, by this time most respectable tenants had left.
1871		The Norie Panels are painted over by a fish cadger who occupied the royal apartment. Other panels are removed.
1885-86	Valuation Rolls name the following owners of Riddle's Court: Hay Norrie, Mrs Stuart Leake, the Mechanic's Library, Andrew Smith, William Clark, William McLean's Trustees, James Gray, James Cameron, James Beveridge, Mrs Georgina Duncan & William Black	
1881	Census records 247 inhabitants in Riddle's Court in a combination of families.	
1889-1897		Patrick Geddes secured property at Riddle's Court and lodged the application for improvements to the South Block, which was opened as accommodation for students in 1890. Alterations included seated bays to the first floor room for use as a common room (F10) and the subdivision of the large ground floor vacated by the Mechanic's Subscription Library into five narrow rooms with a corridor at the rear. Geddes also acquired the north block and, following the demolition of the adjacent tenement on the east side of the close, the Architect Capper devised a pentice stair to access the second floor of the

DATE	HISTORIC EVENT	BUILDING DEVELOPMENT
		<p>property. The original pitched roof of the North Block was replaced by a flat roof during this time.</p> <p><i>Vivendo Discimus</i> ('By Living We Learn') is inscribed on the voussoirs of the rebuilt pend arch, with an armorial panel of the University Hall insignia above.</p> <p>In 1892 the accommodation is reported as consisting of: Large Common Room (F10) Dining Room (F09) 14 Private Rooms Kitchen Servant's Rooms The kitchen and the servant's rooms were noted as being part of the rest of the building. There were two entrances: one from Victoria Terrace and the other from Riddle's Court.</p>
c.1895		Through the compulsory purchase powers under the 1893 Act, Geddes was able to commission the removal of tenements on the east and west sides of Riddle's Court corresponding to the foreland properties by Aitken, and creating a larger outer court to Riddles Court buildings.
1895-96	Valuation Rolls name the following owners of Riddle's Court: Patrick Geddes & Robert Gordon	
1897		Dining room ceiling is painted by master artist Thomas Bonnar.
1901	Census reveals a breakdown in student occupancy of the University Halls at Riddle's Court. 11 students, cook, table maid and housekeeper are listed among 25 other residents mainly artisans and skilled workers.	
1905-06	Valuation Rolls name the following owners of Riddle's Court: The Town & Gown Association, Donald Stewart	
1925-26	Valuation Rolls name the following owners of Riddle's Court: The Town & Gown Association, Donald Stewart	
1946	The City of Edinburgh Council acquires Riddle's Court and the properties fronting the Lawnmarket for the proprietors of Riddle's Court for £1700. At this time the properties comprised 15 houses, including shops fronting the Lawnmarket. The houses were initially used to provide overspill accommodation for the city.	
1952	Riddles Court is used as Fringe venue by the Oxford Theatre Group	

DATE	HISTORIC EVENT	BUILDING DEVELOPMENT
	using the ground floor room as performance space, much of the South Block as a dormitory and the courtyard as an alfresco dining area.	
1963-5		Riddle's Court is repaired and developed by The City of Edinburgh Council to the designs of John W Paterson to provide accommodation for WEA offices on the second floor of the North Block. Refurbishment of the second floor of the South Block provides caretakers flat and the remainder for community and education outreach.
1996		Painted dining room ceiling is repaired on behalf of The City of Edinburgh Council by M M Pryor, funded by the sale of the Norie Panels to the National Museums of Scotland
2005	The City of Edinburgh Council vacates Riddle's Court	
2011	Scottish Historic Building Trust occupies South Block second floor.	
2012	Architectural Heritage Society of Scotland (AHSS) moves to Riddle's Court	

9.3 Phase-development of the existing layout of Riddle’s Court

The phase-development of the current layout is shown on the colour-coded floor plans (Figs 8a-d) and summarised in Table 15. This broad period model does not include the numerous period fixtures and fittings, which are recorded on the Room Gazetteers (Appendices 21 and 21).

Table 28 Phase development: showing period, principal phase and summery descriptions

Period	Phase	Summary of Basement Phasing (Fig 8a)	Summary of Ground Floor Phasing (Fig 8b)	Summary of First Floor Phasing (Fig 8c)	Summary of Second Floor Phasing (Fig 8d)
Pre-16 th century	1	Foundations running towards the Inner Close. Foundations supporting the gables of the South Block. Cross wall forming (B09) on the east side of Stairs 06. Gable walls at the end of B02 and B09 and the majority of the north wall of the south block.	The whole of the main core block of the ground floor . Parts of the main spine wall of the South Block including its gable walls. The walls flanking what would become the pend, between the Inner and Outer Court. The partition wall between G01 and G02 probably dates to this phase, with a 19 th century insertion (Phase 5).	The east and west walls of the core block. The south wall of the North Block. The greater part of the main spine wall of the South Block.	The main walls of the West Block. The walls of the North Block.
16 th century	2	The openings within the main east-west aligned spine wall. The lower foundations of the spiral staircase.	The main turnpike staircase (Stair 03) on the north side of the South Block. The pend arch probably first created. The base of the chimney at the south end of G06 sits on a section of wall from this phase which had a modern (Phase 6) door inserted through it	The dividing wall between F02 and F03, The flanking walls of the only surviving spiral staircase. The partition wall between F09 and F10.	The partition between S02 and S03. The main eastern wall adjoining Baden Powell House. The main spine wall of the South Block and its gables.
17 th century	3		The west-facing elevation of the East Block (G06). The elaborate door surround with corbelling on the North-facing elevation of the North Block (G03).	The first floor wall and chimney of the East Block (F04). The north-facing elevation (facing the Inner Court) of the South Block.	The main dividing wall between rooms S10 and S11. The former caretakers flat (S16-S20). The remodeled north elevation of the South Block. A south wall of the East Block (within the roof space).
18 th century	4	Stair 06 and the flanking wall on its west side.		The ornate wall paneling within F02, F09 and F10. A passage between F02 and F06 may	

Period	Phase	Summary of Basement Phasing (Fig 8a)	Summary of Ground Floor Phasing (Fig 8b)	Summary of First Floor Phasing (Fig 8c)	Summary of Second Floor Phasing (Fig 8d)
				have allowed circulation between the two rooms, but this has yet to be confirmed.	
19 th century	5	The curving wall of the south-facing façade was erected during the 19 th century when Victoria Street was created. The plaster covered wall on the inside of the stairs (06).	The rebuilt south façade of the South Block (G08). Minor alterations to the main spine wall cupboard in (G08). The staircase (Stair 02) leading to the Inner Courtyard from basement level. Rebuilding of the arch within the pend between the inner and outer court. Blocking of the partition wall doorway between the cellars (G01 and G02). Re-designed south-facing façade of (G08) fronting Victoria Street.	The rebuilt south-facing façade of the South Block (F09 and F10). The insertion of the dumb waiter (F07A). The staircase leading to (F12) was refurbished. The Capper pentice staircase on the North Block was added. The rebuilt south-facing façade facing Victoria Street and the dumb-waiter (F07A now a cupboard) near the entrance to (F09). A recently discovered iron beam ('Hodgkinson-type') within below the south wall of (F12) is attributed to the 1840s and is probably contemporary with the rebuilt south-facing façade of the South Block (Peter Elliot <i>pers comm.</i>)	Partitioning of the former caretakers accommodation (S15-S20). The stairs leading from the spiral staircase (Stair 03) up to the hallway of the SHBT offices (S16) The stair (S05) outside S08 and leading to S10 and S11 . The wall linings within S03 the North Block. The rebuilt south-facing façade facing Victoria Street. The partition wall between (S10) and (S11).
20 th century	6	Wall linings and fixtures within the office and cupboards in B10 . The partition walls forming shower and toilet cubicles within B08 .	The creation of the ladies and gents toilets (G11 and G12) in the West Block. Installation of the modern kitchen (G04) and stairwell in (G03) within the North Block. The partition wall in (G08) creates the current open plan room. Interventions on the west-facing elevation of the East Block fenestration. Alterations to the hallway leading to (G08) and to the west-facing wall of (G12)	The partition work dividing the large open plan WEA office (F03) from the hall and toilet at the east end of the North Block	Replacing the Capper pentice staircase in the 1960s (stair 04). The insertion of partition walls forming (S04) in the North Block. The room linings within (S03). The installation of the bathroom wall to partition the bathroom (S14) from the now SHBT office (S13).

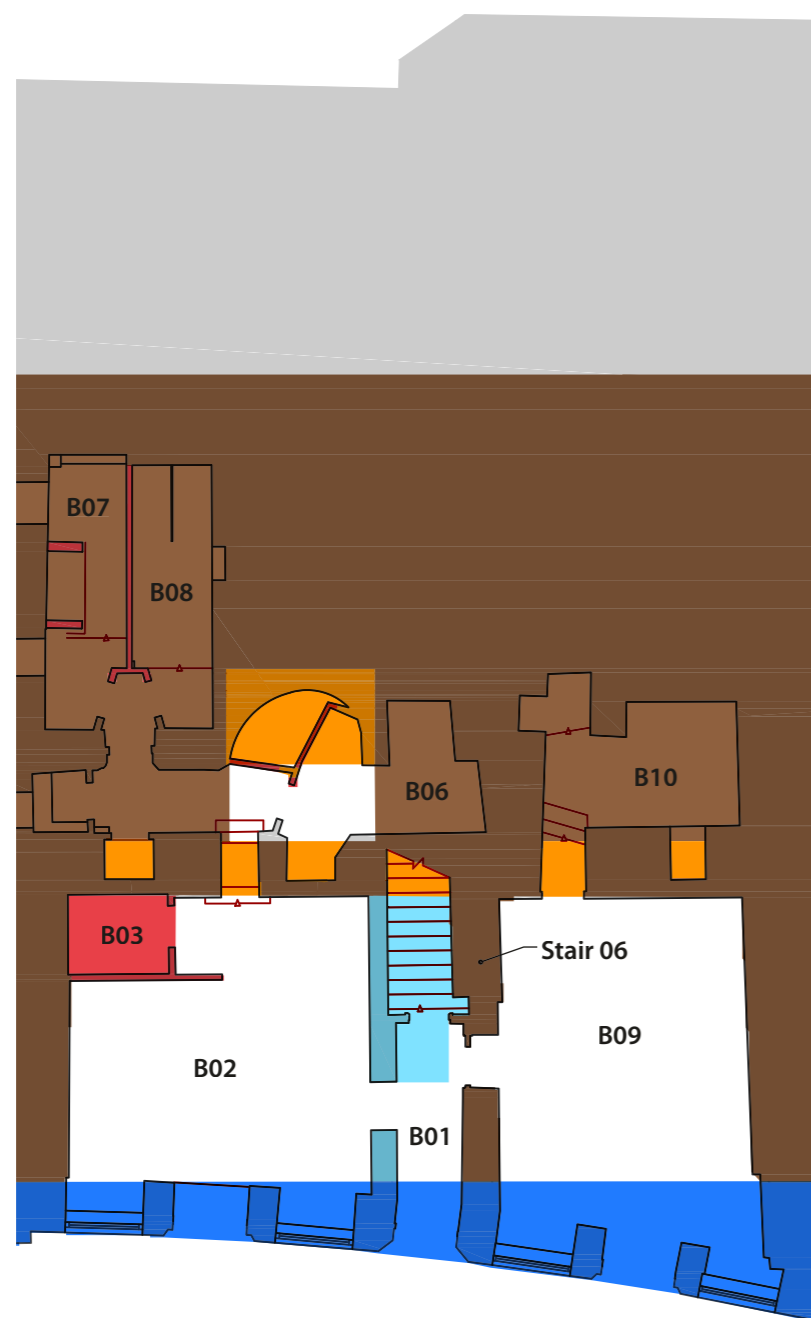


Fig 8a. - Phase Development - Basement
(Existing Layout)

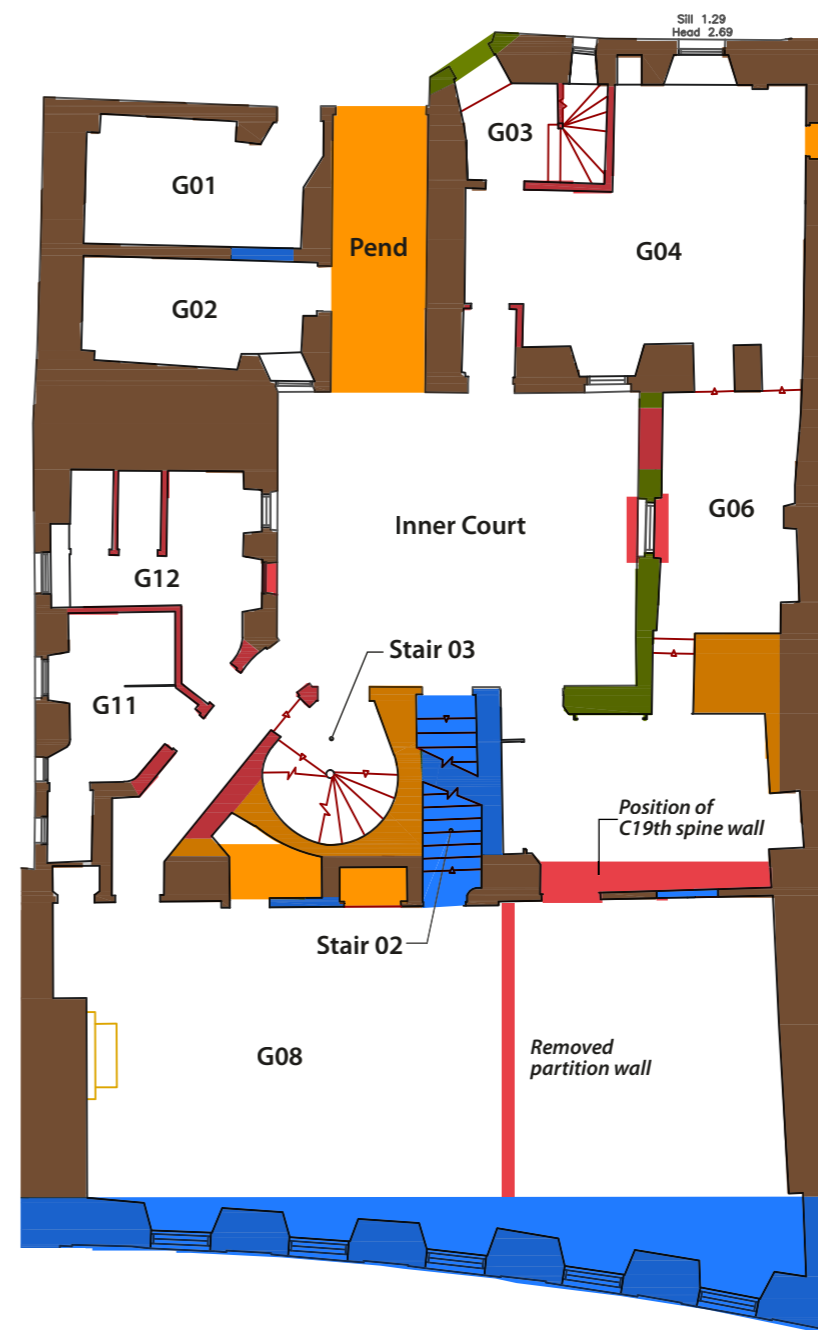


Fig 8b. - Phase Development - Ground Floor
(Existing Layout)

Key

- Phase 1 - Pre-16th Century
- Phase 2 - 16th Century
- Phase 3 - 17th Century
- Phase 4 - 18th Century
- Phase 5 - 19th Century
- Phase 6 - 20th Century



Fig 8c. - Phase Development - First Floor
(Existing Layout)



Fig 8d. - Phase Development - Second Floor
(Existing Layout)

Key

- Phase 1 - Pre-16th Century
- Phase 2 - 16th Century
- Phase 3 - 17th Century
- Phase 4 - 18th Century
- Phase 5 - 19th Century
- Phase 6 - 20th Century



9.4 Summary of the main property ownership

The following narrative condenses the phase development model and links it with the historical record to provide a general review of the key periods of building ownership within the present plan form of Riddle's Close. The drawings that accompany this section (Figs 8e to 8i) simplify what is known at the key periods between c.1596 and 1889 starting with the McMorran family ownership and ending when Patrick Geddes became the owner of the property.

McMorran Family Ownership (Fig 8e)

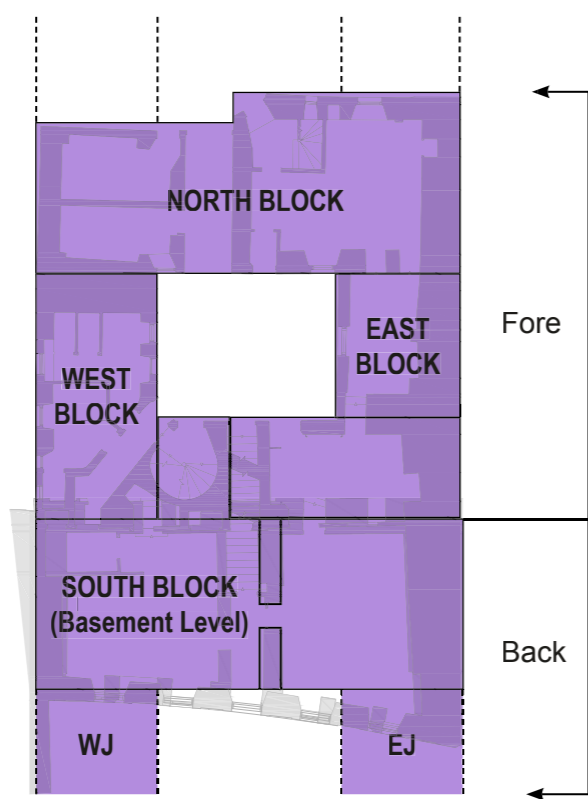
The exact form of the buildings that existed on the site of what is now Riddle's Court can not be reconstructed with certainty, as no cartographic information survives from this period. John McMorran, the so-called creator of the 'great tenement', purchased the property in instalments and some of the land he acquired was described as 'waste', which probably refers to open ground or ground that had been built on previously and possibly destroyed by fire. In 1580 a second piece of land was purchased by the McMorran's which included backlands, houses, buildings, closes, yards and other items. The date of 1587 on the present east-facing elevation (Table 5, Feature E12) is generally accepted as the date that commemorates the acquisition of the whole of the property. In 1616 the property was split between the brothers George and Ninian McMorran. Ninian sold the fore tenement, that closest to the High Street, which included the present West Wing with the north-west turnpike, together with two cellars within what may have been by then the former Forret property immediately to the south of the High Street. The fore tenement was described as having several dwelling houses, galleries and cellars (Appendix 3). The so called great gate leading from the High Street down to the great tenement was retained as part of the back property, in order to maintain freedom of access from the High Street.

The probate inventory belonging to John McMorran, which dated to 1596 (Appendix 2), recounts the number of fixtures and fittings within the rooms of the great tenement, including a chamber of dais, a third high chamber located above a children's chamber and a gallery chamber, including a hall and kitchen. The six rooms described probably relate to that part of the property that was occupied by John McMorran in 1595, with other parts of the great tenement that were leased out not being described (see Section 6.2 for more detail).

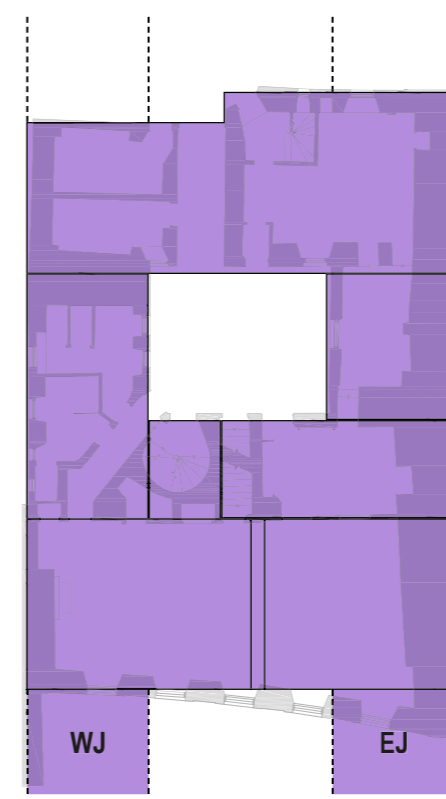
Based on the surviving historical documentation it is considered probable that the property ownership did not change until the back tenement, the courtyard, and the great gate were sold to Sir John Smith and his spouse for 12,000 merks in 1630.

Sir John Smith, First Earl of Lauderdale Ownership (Fig 8f)

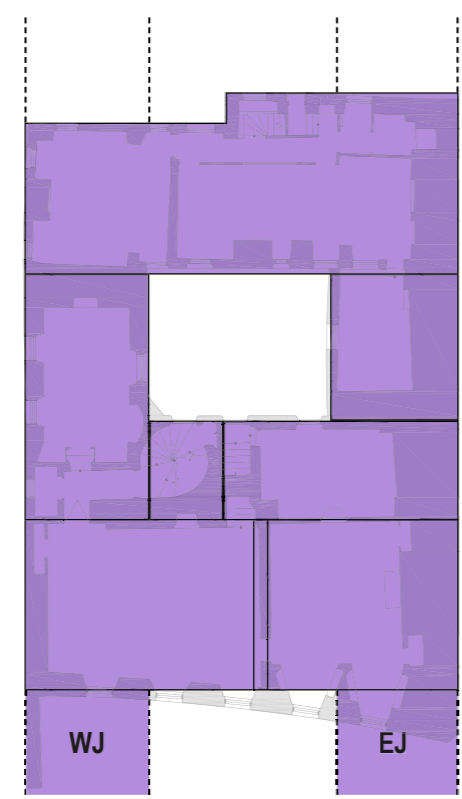
The acquisition by Sir John Smith, sometime provost of Edinburgh, included several houses, galleries, cellars and a yard leading down to the town wall, and other pertinents built on the same property, together with a turnpike staircase within the great yett (gate) and its close. In total the back tenement had at least twenty-five rooms (Appendix 3). The rooms included 'three vaults underneath the low hall' above which stood another hall or 'high chamber'. Above this stood another set of chambers in the roof space. If Slezer's view of the back-tenement in 1693 (Fig 2c), sketched



Basement and Ground Floor



Ground Floor



First Floor



Second Floor

Key

McMorran Family
1584 – 1616

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The Old Engine House
Eskmills Park, Musselburgh
East Lothian, EH21 7PQ
T: 0131 273 4380
F: 0131 273 4381
e: info@cfa-archaeology.co.uk
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Fig. No: **8e** Revision **0**

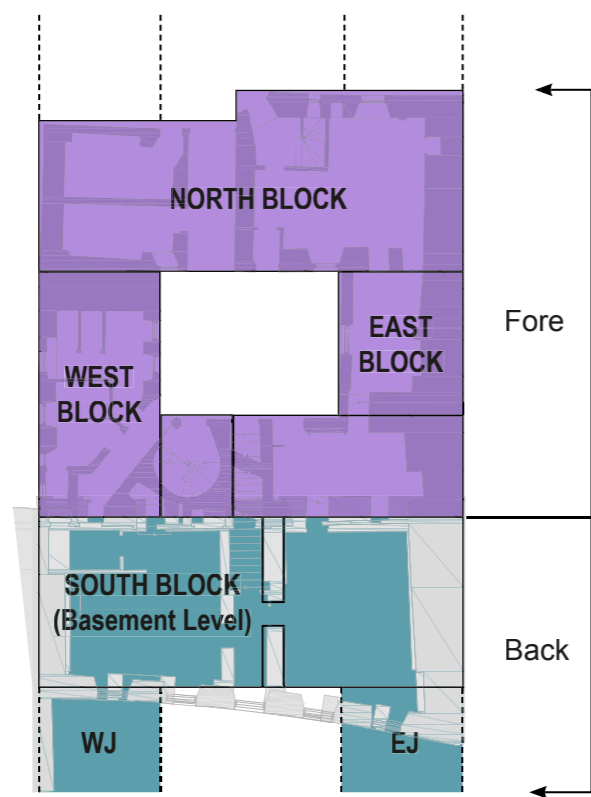
Title
**Property ownership plans
(1584 – 1616)**

Project
**Riddle's Close, Lawnmarket,
Edinburgh
Historic Building Survey**

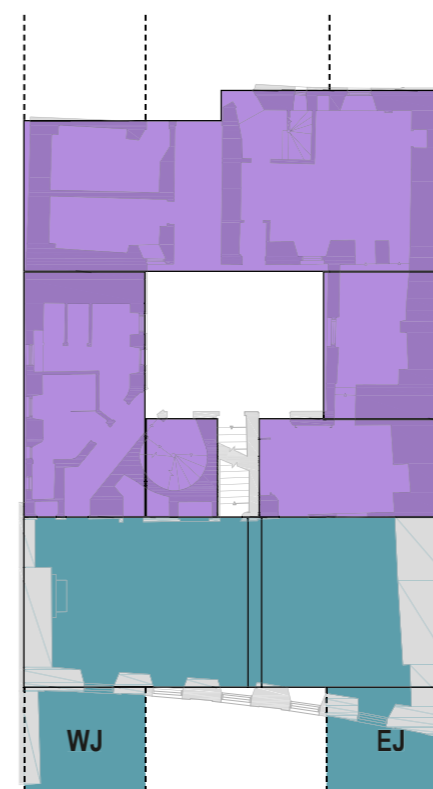
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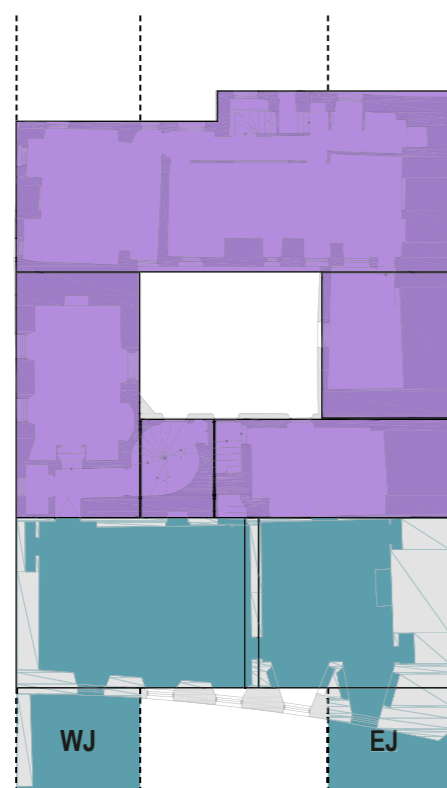




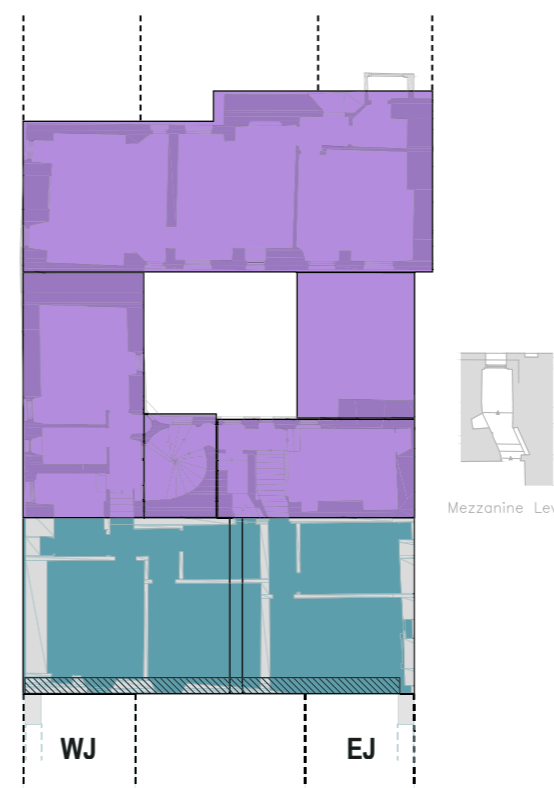
Basement and Ground Floor



Ground Floor



First Floor



Second Floor

Key

- McMorran Family
1584 – 1616
- John Smith 1630
Then to Sir John Clerk of
Penicuik in 1676 – 1684

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 Eskmills Park, Musselburgh
 East Lothian, EH21 7PQ
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Fig. No:	8f	Revision	0
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Title
 Property ownership plans
 (1630 – 1684)

Project
 Riddle's Close, Lawnmarket,
 Edinburgh
 Historic Building Survey

Scale at A3
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c.60 years later, is remotely correct then it could be suggested that the property may have risen to at least four-and-a half stories with lofty double pitched gables forming what were the east and west jambs (see below) with dormered roofs and windows facing westwards onto the West Bow. If we take the depiction drawn 46 years earlier by James Gordon (Fig 2b) at face value then there could have been three jambs present. Could the westernmost jamb have been hidden on the perspective seen by Slezer? The presence of two jambs appears to be a recurring theme within the later historical documentation, and it seems unlikely, if a middle jamb had been present, that it could have been removed without compromising the outer two. Irrespective of the number of jambs, there is little doubt that the rear tenement was significantly higher than the existing South Wing that survives today.

Sir John Clerk of Penicuik Ownership

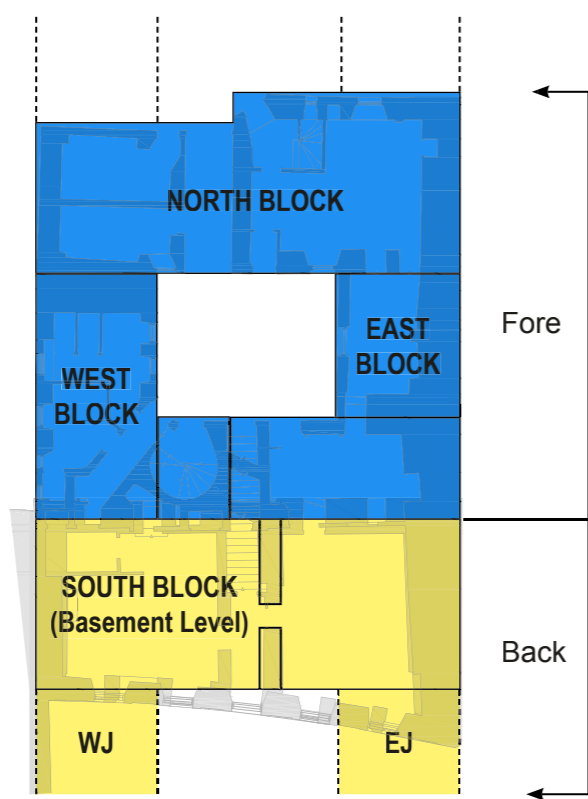
Sir John Smith owned the block of property (or land with gardens?) which ran from the High Street down to the Cowgate, with the back tenement of the former McMorran great tenement in the middle of the property (see Section 6.8 for more detail). Smith through various debts lost the back tenement property to Sir John Clerk of Penicuik in 1676 who through what seems to be a lengthy legal battle ended up in possession of the southernmost tenement that formed Riddle's Court along with some other tenements in the vicinity.

Sir John Clerk owned the back tenement until 1684 when it was sold to Roderick Mackenzie of Prestonhall (Fig 8g) together with a further four tenements of land on the south side of the High Street that Ninian McMorran had previously sold to Sir John Smith in 1630. The date 1684 on the plaster rose bearing the royal cipher and 'CR2' in the fore tenement (Room S03), was most likely inserted by Roderick Mackenzie to signify the date of his acquisition of the property, and the support given by his family to the monarch following the Restoration in 1660.

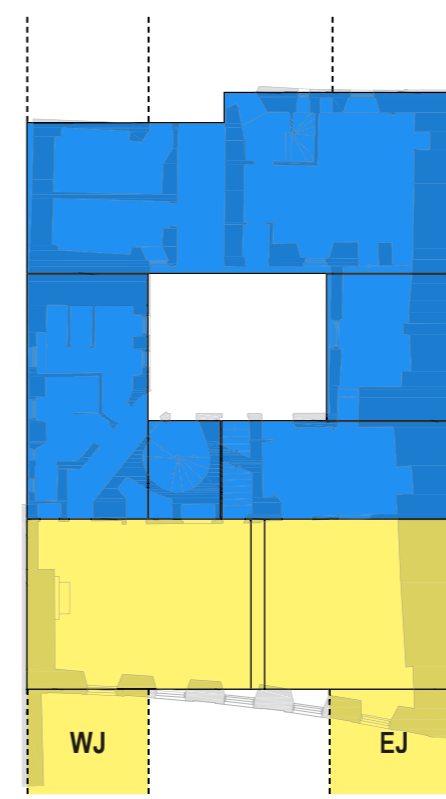
By 1702 the back tenement was under the ownership of Roderick Mackenzie's brother, George Mackenzie, who for the first time refers to the property as the upper-lodging. At this time, parts of the roofs were still thatched (according to the Buccleuch accounts which provides details of their later removal). The unification of the whole of what we know as Riddle's Court occurred shortly after 1702 when the property passed to George's wife, Margaret Countess of Wemyss. Shortly before this, Roderick had already demarcated the 'lower lodging', presumably the cellarage and first floors of the rear tenement. The ownership of the back tenement was again divided between two owners (Sir Thomas Stewart of Balchashie and later Sir Archibald Mure an ex-provest of Edinburgh).

Duchess Anne of Buccleuch ownership (Fig 8g)

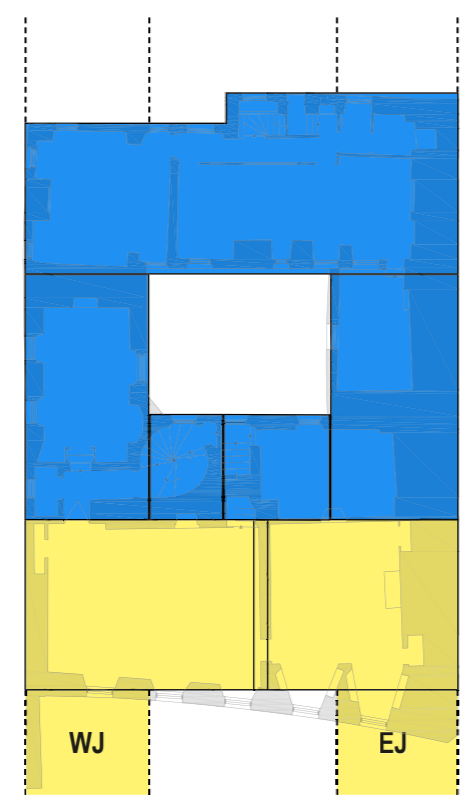
When the back tenement was sold in 1749 the upper lodging is recorded as having eleven rooms, three closets, one wardrobe, four vaults, a garden and the great gate. The smaller rooms recorded in 1702 had been remodelled to form larger rooms, as evidenced by the accounts for partitioning framing and lath-and-plastering. The importation of Scandinavian timber beams (Swedish dales) points to major repairs and possibly reconfiguration (lowering?) of the roofs. It seems likely that some of re-used timbers presently visible in the roof space above the second floor (above S17 and



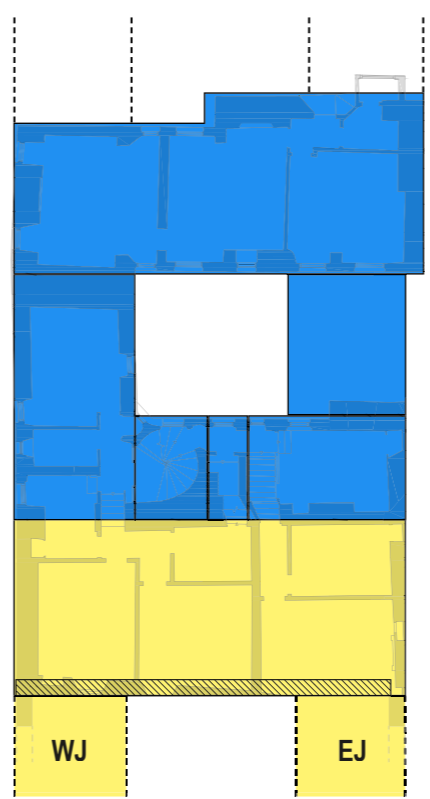
Basement and Ground Floor



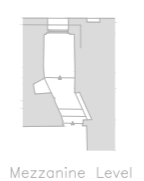
Ground Floor



First Floor



Second Floor



Mezzanine Level

Key

- McKenzie of Preston Hall
1684 – 1702
- Duchess Anne of
Buccleuch, 1714 – 1749

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 The Old Engine House
 Eskmills Park, Musselburgh
 East Lothian, EH21 7PQ
 T: 0131 273 4380
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Fig. No:	8g	Revision	0
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Title
 Property ownership plans
 (1684 – 1749)

Project
 Riddle's Close, Lawnmarket,
 Edinburgh
 Historic Building Survey

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S20) relates to this period of renovation work. It is possible that the east and west jambs were reduced in size; the historical account of 1749 (Appendix 6) specifically mentions these two buildings as being a '*south west Jamm with two rooms two Closets and a wardrop in the south east Jamm with a Chamber and two little rooms upon the Entry Together with the Cellers or vaults belinging to the said Lodgeing Lying upon the west syde of the Broad stair as ye go to the Garden being two large and two little vaults*'

In 1727 the foreland property fronting onto the Lawnmarket was acquired and redeveloped by Captain George Riddel; thereafter the close is given his name. This year is also the probable date of the paintings commissioned for the paneled room (Room S03) with the 1684 ceiling by James Norie Senior (1684-1757) and his sons; paintings by the Norie family are to be found also at Royston House (now Caroline Park).

After the mid-eighteenth century there are few records of major building alterations. Whilst there can be little doubt that alterations were made to the property, the physical evidence is concealed behind later 20th-century developments. Wright (2013) notes there are undocumented improvements to rooms to the rear tenement at ground floor (the level of the inner court), consisting of the insertion of fireplaces, dado paneling and plaster corning. The main visible 18th century interventions are Stair 06 within the basement (between B02 and B09) and the first floor wall-paneling in Rooms F09 and F10.

Patrick Geddes ownership (Fig 8h)

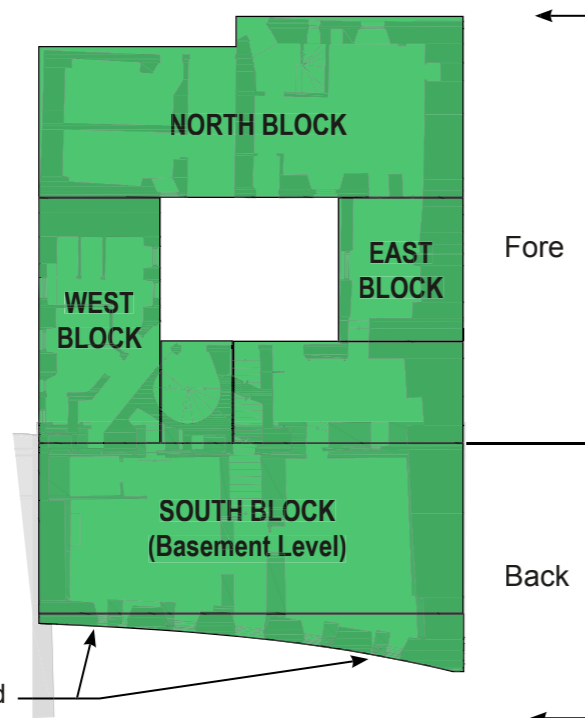
In 1836-37 the projecting jambs of several storeys to the south of Riddle's Court and industrial premises in the former garden of the Great Tenement were removed to allow for Victoria Terrace to be driven through the historic townscape. Riddle's Court was refaced on the curved line of the new street (the architect of the curved elevation to Victoria Terrace was George Smith).

In 1854, when part of the back tenement was sold to the trustees of the Mechanic's Library, the owners of that part of the structure were listed as Robert Darling Ker (corn merchant), James Henry (machine maker), Henry Ranken (upholsterer), Peter Anderson (tailor), James Smart (printer), and William Bell (solicitor); the tenants listed as Robert Glass (merchant) and Daniel McInnes (picture dealer). The six owners also comprise 50% of the Board of Trustees of the Mechanic's Library. Also in 1854, the trustees of the library purchased the house of two rooms located on the west side of the court (West Block) then owned by the Incorporated Society of Solicitors at Law and William Finnie (brush manufacturer) and rented by Miss Sarah Banner.

In 1888 Patrick Geddes bought the first of the properties at Riddle's Court; the date is recorded above the new entrance portal into the close. Stewart Henbest Capper was commissioned by Geddes to prepare plans for the alterations to the north range, in part necessitated by the removal of the properties on the east side of the close to the north as an example of 'conservative surgery' to give light and air to the close; this property held the original stone access stair, the profile of which is still imprinted on the exposed area of wall (Fig 3a N36). Capper devised a pentice stair (later replaced by stairs N38, Fig 3a) to access the second floor of the property. The original pitched

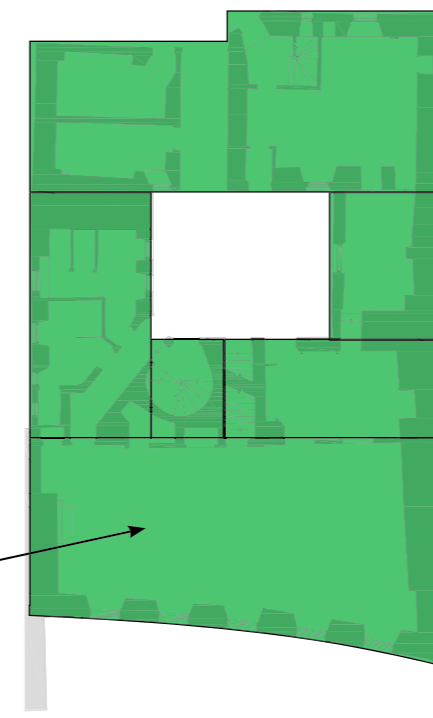
Key

Patrick Geddes
1889 – 1876

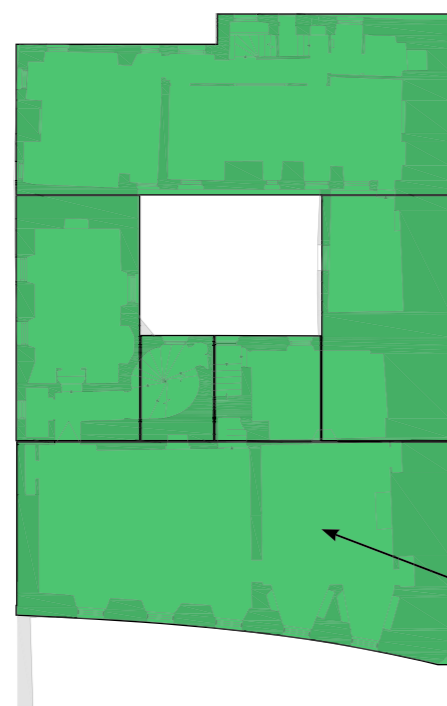


Basement and Ground Floor

Former mechanics library
then students halls



Ground Floor



First Floor



Second Floor



roof of the North Block was replaced by a flat roof during this time. Shortly after Geddes lodged an application for improvements to the South Block, which was opened as accommodation for students in 1890. Alterations included seated bays to the first floor room for use as a common room (F10) and the subdivision of the large ground floor vacated by the Mechanic's Subscription Library into five narrow rooms with a corridor at the rear.

Observations

The documentary evidence and survey results demonstrate that, although the great tenement was increasingly subdivided and its fabric was repeatedly altered, it still retained large apartments occupied by major and minor aristocracy and wealthy merchants until at least the mid eighteenth-century (Gilhooley 1988, Table 26). The accounts of building work carried out by Duchess Anne of Buccleuch attest to the sheer amount of alterations and refurbishments that were carried out during her ownership.

In the nineteenth-century, development on the western side removed the western approach. The building was truncated on its southern side to make way for Victoria Street. The removal of the south part of the Forret tenement on the west side of Riddle's Close involved the removal also of the mutual north-west turnpike stair along with the south part of the tenement on the east side of the close that was once occupied by David Hume.



Fig. 9a - Halls of Residence brochure cover, 1895.

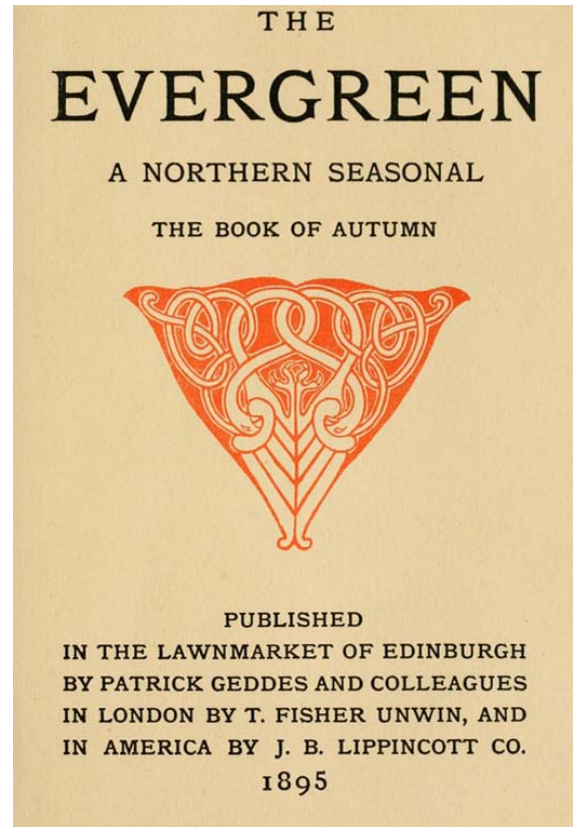


Fig. 9b - Evergreen publication cover, 1895.

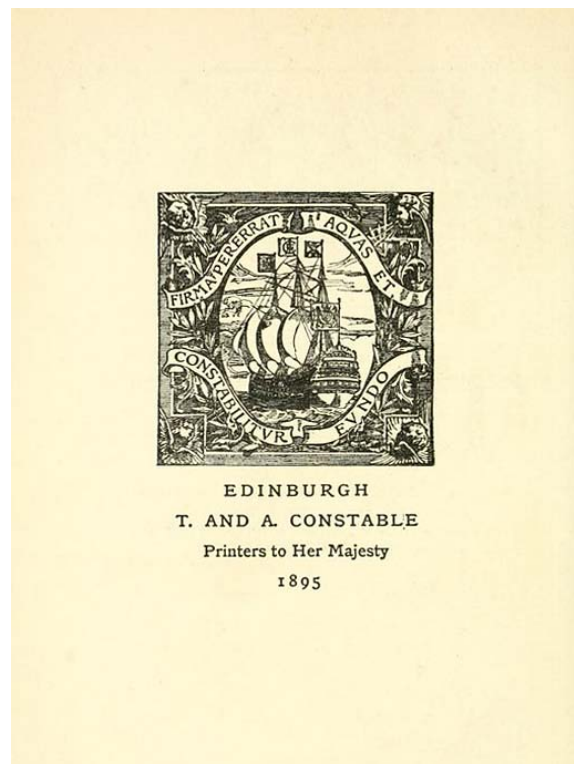




Fig. 9c - Evergreen printers logo.

Fig. No: 9a-c	Revision: 0	Project: Riddle's Close, Lawnmarket, Edinburgh Historic Building Survey			CFA ARCHAEOLOGY LTD The Old Engine House Eskmills Park, Musselburgh East Lothian, Eh21 7PQ
Drawn by: LW	Checked: LW	Report No: 2164			Client: LDN on behalf of SHBT

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10. DISCUSSION

10.1 Reappraisal of the historical documentation

The historical documentary research has worked successfully alongside the architectural/archaeological investigation to produce a credible broad narrative up to the early eighteenth century. The timeline (Table 9) summarises the occupants and critical monetary changes that occurred under each ownership or tenancy between 1584 and 1702. Between these years radical alterations within the interior of the complex were carried out to suit the needs of the occupants.

The proposed model of early historical development that has emerged is probably correct as far as it is possible to construct at this stage. There are key areas of uncertainty relating to the straight staircase at the centre, and access to the upper east storeys of the south wing, and it is not entirely clear at what point the surviving turnpike stair was inserted and where the principal courtyard entrance to Level 2 was.

There are almost no surviving comparable courtyard houses in Edinburgh or Leith, and they may always have been rare. The nearest obvious parallel is with the Great Lodging of David Hunter in Dundee's Overgate (demolished 1860s), with its great Gallery – although it is known that there were others. The Dundee merchant David Wedderburn's (1587–1630) house was similar (McKean *et. al.* 2012)

One of the problems encountered in the research is that the name of the building changed several times, as did that of the close. Although known as (Ninian) McMorran's house (or great tenement), in the 1660s it was also still called the Chancellor's House after Seton's occupation of half a century earlier. In the 1750s, the close was called Royston's Court. There may, therefore, be further information to be found, concealed beneath different titles.

New material found during the historical research is quite explicit that while the tenements between the High Street and the façade of the great gate to McMorran's Court may have run in a north-south direction, the two tenements below them, which were conjoined to form the 'great tenement' of land, run in a west-east direction. This crucial information is repeated in documents from 1616, 1630, and 1684.⁹⁴

The reference to the removal of thatch by Sir John Clerk post 1663 to fireproof the properties could account for the very steep roofline present at the east end of the existing gable. This and the presence of thackstones on the chimneys at the west end of the block support the use of thatch until the early eighteenth century.

In the light of the historical evidence that Riddle's Court was part of a much larger building called the Chancellor's House under the tenure of Earl Alexander Seton during 1610s, the whole concept of the present building complex being a merchant's house needs to be revised. This historical documentary evidence now affords the building a much higher status than was hitherto known.

⁹⁴ NAS, B22/1/65, f.27v; B22/8/26, 1629-1631 (no pagination); GD18/589.

The discovery that the Buccleuch family owned the upper lodging between 1714 and 1749 is a significant new discovery. The appearance of Lord Royston as an owner/tenant in the Court explains who commissioned the Norie panel artwork and may be the explanation behind the plaster ceiling rose that contains the initials of King Charles II and the date 1684; Royston's wife was the daughter of that famous prosecutor of Covenanters, Sir George Mackenzie of Rosehaugh. Charles II died on 6 February 1685 (new style dating), but, so far as the Royston family are concerned he died on 6 February 1684 (old style dating).

The eighteenth century accounts record the cost of the huge amounts of refurbishment works to all parts of the building complex, including alterations to the roof spaces and the fenestration.

The nineteenth century accounts provide an insight into the impact that the creation of Victoria Street had on the fabric of the south block at Riddle's Close. The remodelling of the south elevation overlooking Victoria Street evidently required the clearance of existing wings that were under commercial use. This period also witnessed the emergence of a diverse range of commercial and non-commercial tenants. With Geddes came the radical alteration to a University Halls of Residence and the use of the building for performing arts, a use that continues today.

10.2 Historic Building Recording

The combination of the historic building survey and historical research has revealed that there have been consistent misunderstandings in the earlier interpretations of the development of the site, largely a consequence of the assumption that it developed from two north-south L-shaped blocks in the sixteenth century. The building has undergone an exceptional level of alteration and adaptation, but, even so, detailed examination revealed too many curiosities or inconsistencies for that narrative to be accepted at face value. From the beginning, it was evident that the surviving turnpike was curious, did not suit various floors and indeed cut across earlier circulation. There was substantial built evidence for a separate turnpike stair towards the southern end of the west wall, and that was then confirmed by the historical research. Equally, a turnpike stair in that location was a more rational explanation for the differing floor levels than the assumption of later alteration for which little evidence could be found.

Once historical research described the property in terms of an east-west layout, and the Edgar 1743 map of Edinburgh confirmed the existence of a close running from the West Bow, the curiosities on the west side of the building began to make more sense. Moreover, once historical research indicated a north-west turnpike, an examination of the fabric indicated what had been taken for windows could once have been doors (west façade, north-west block).

The crucial issue is whether a horizontal circulation at Level 3 in order to create the Great Tenement made sense of some of the curiosities – and it did, once historical evidence supported the conclusion that the east wing chimney stack was a seventeenth-century addition.

In order to assess the many different changes that have occurred, analysis of wall thickness supported by a *Schedule of Architectural Irregularities* has helped develop a

better understanding on the early evolution of the building and, importantly, highlighted the many different changes to the complex that were carried out in the eighteenth to twentieth centuries. For instance, the external north-facing elevation on the north block and the west-facing elevation on the west block have several relieving arches above square-headed windows that are either too narrow or in the wrong position entirely. It is clear from this evidence that the present windows installed mainly in the nineteenth century are much larger than the ones that they probably replaced. Cement harling on all the external elevations certainly masks a great number of architectural features that, when exposed, are likely to alter or somewhat revise our present understanding of the development history of the complex. This might also tie in with a programme of dendrochronological analysis that would certainly provide firm felling dates for the examined oak timbers.

The phase development model (Table 15) proposed six main phases ranging from the pre-sixteenth century (Phase 1) through to the twentieth century (Phase 6 modern period). The phasing does not account for the possibility of sub-phases which are likely to exist. The model of structural development can only be reliably tested once modern wall linings have been removed that will allow a better insight into the types of 'early' wall construction (ashlar, or rubble-built walls incorporating stud work), linings and finishes (lime plaster with temper etc and paintwork etc).

10.3 Photographic Survey

The photographic survey has recorded the current layout of the buildings making up the Riddle's Court building complex. This not only provides a record of the existing layout of the building but, importantly it provides a record of the rooms prior to their refurbishment and/or alteration.

10.4 Dendrochronology Dating Potential

Although only limited access was available in the roof spaces at Riddle's Court there are sufficient oak and pine timbers present from which to obtain reliable dendrochronology dates. These would provide important information on the timber felling dates and their probable introduction into the building complex. The joists in the ground floor cellar spanning rooms G01 and G02 appear to be of significance as sap wood survives on some of the timbers, which will provide precise felling dates and good cross-matches with other high status buildings within the Royal Mile and further afield.

10.5 GPR Survey results (Appendix 20; Figs 2-9 therein)

Within the inner court and outer courts the aim was to locate cellars, culverts, drains, wall footings and building remains. GPR was also carried out in the pend between the courts, the East Link (G06) and within the basement. Figures in parentheses in the following summary relate to anomalies described within Appendix 20 and shown on the figures within the appendix.

Only a very small area could be surveyed within the East Link room (G06) making interpretation cautious. A well defined shallow anomaly (7) suggests materials in the

flooring, whilst a further anomaly (17) which had higher amplitude than (7) is interpreted as the possible remains of wall footings or cellar walls.

Within the Inner Court, an anomaly (11) on the west side is still coherent to a depth of 0.75m and the nature of the reflection suggests either stone foundations or a possible void visible to a depth no greater than 1m. A weak anomaly (15) recorded on the east side of the court may represent foundations associated with a hatch depicted on the early etchings of the site. A cellar is known to have had in its entrance hatch on the north-eastern side of the Inner Court, but no anomaly reflecting the possible presence of a cellar at this location was recorded, suggesting that it had been in-filled. Despite this, results from the East Link (G06) suggest that some part of the cellar may survive running under the building itself.

Within the pend linking the two courts, an anomaly (5) could be attributed to either service channels or may relate to earlier cobbled floor surfaces or shallow foundations.

On the western side of the Outer Court a variety of confused anomalies suggest that only shallow remains are present from the buildings known to have previously occupied this part of the site. In particular, an L-shaped anomaly (3) is likely to relate to a wall belonging to Forret's property. Given the shape of the anomaly and its relative position to the historical building layout in this area, there is a very strong possibility that these remains are indeed wall footings, but archaeological investigation would be needed to verify if this is the case.

Whilst the areas selected for the GPR survey were not large and rather confined for survey, overall the results for the courts and pend have been informative. Services were recorded in both Courts.

Surveys of the walls and the basement rear office (B07) were inconclusive.

11. RECOMMENDATIONS

11.1 Systematic survey of the roof timbers

A roof timber survey should be made of the existing roof within the South Block. cursory examination has shown that the roof trusses have probably been re-configured when Victoria Street was constructed. The building survey gained only partial access to the west end of the block where nineteenth A-frame collar trusses were identified. At present there is no formal access to the east end of the roof or the interior gables at each end. A drawn record of a selected number of trusses would provide an insight into the distribution of re-configured or re-used timbers, the extent of kit-form numbering and evidence relating to carpentry techniques (jointing/pegging etc). The results would help inform any future programme of dendrochronological dating.

11.2 Dendrochronological dating

The timbers in the roof of the south block are a mixture of oak and pine. The beams under the north block roof appear to contain oak timbers. The joists over the ground floor cellar in Rooms G01 and G02 are oak. Both species has the potential to provide dendrochronological dates that may provide vital evidence to support the building phases. The bark edge is visible on some of the timbers which means that exact felling dates for those timbers is possible.

Many buildings in Edinburgh, and particularly along the Royal Mile, have now been dendrochronologically dated. These include the roof of the Great Hall in Edinburgh Castle (1510 AD), the beams of the painted ceiling in Clement Cors house in Advocates Close (1591 AD), the beams in the painted ceilings in 302 Lawnmarket (*tpq* 1591 & 1605 AD; Crone and Sproat 2011), structural timbers in 375 High St (*tpq* 1585 AD), John Knox's House (1560 AD), joists in Queen Mary's Bathhouse at Holyrood (c.1566 AD), the beams of the painted ceiling from Abbey Strand (1564 AD) and floor joists and roof timbers throughout Lambs House, in Leith (1609 AD). Dendrochronological analysis has demonstrated that the timbers were all imported, mainly from Scandinavia. Most of the timber is oak but the painted beams in 302 Lawnmarket and in Lambs House, Leith were pine. There is therefore a robust database of tree-ring data for both oak and pine in Edinburgh throughout the 16th century which is likely to be directly relevant to the surviving timberwork in Riddles Court.

11.3 Harling removal on all external elevations

Once the exterior harling has been removed from all areas within the Riddle's Court complex, a follow-up examination of the exposed architectural features currently hidden (blocking work, relieving arches, finishes etc) should be undertaken to see what is confirmed or might have to be changed in this current interpretation. Additional archaeological and architectural detail should be added to the existing elevation drawings. This will allow the elevation drawings to be amended and colour-coded once the full extent of archaeological features has been compiled.

11.4 Potential areas of further investigation during refurbishment works

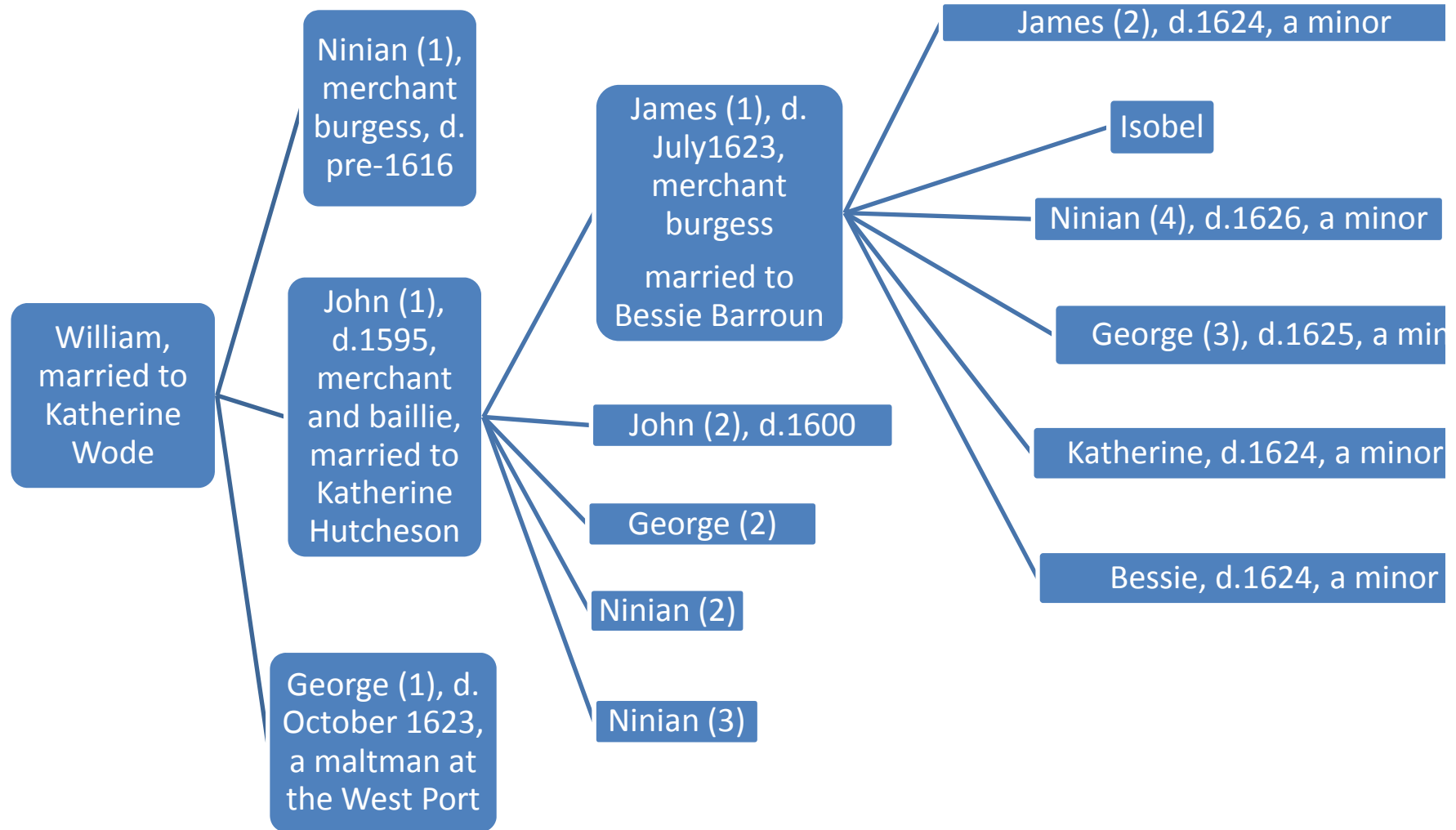
There are a number of areas that merit further investigation, which could possibly be examined more closely during refurbishment works:

- Level 2 east wall in the courtyard shows disparity in wall thickness between Levels 2 and 3.
- Level 3 spine wall immediately to the south of the surviving turnpike. The chimney is shown as solid.
- The enormously thick north wall of the West Wing and chimney. The charters indicate that this block was connected northwards.
- Circulation in the NE Block, prior to the Geddes alterations and the demolition of the Cant block north of it. The door jamb at Level 4 hints at a staircase but further evidence is currently lacking.
- The possible lintel on the south-east corner of the Gallery at Level 3 (within the roofspace of F04). If it is the lintel of a window, it must have predated the large chimney, confirming the latter was an addition.
- The complicated cast-iron beam recently exposed in the so called Ghost Chamber (F12), that was presumably inserted when the Mechanic's Library (G08) was enlarged in the nineteenth century into an open plan area, raises the question; did it block the previous stair to the top south-east chamber, requiring a new one to be cut?
- The GPR survey anomaly in the Outer Court should be subjected to an archaeological evaluation (if it is likely to be disturbed by the installation of new services) to determine the nature of these buried archaeological remains. It is likely that these could be a rare survivor of a return wall associated with Forret's Property (See Fig 7c) situated at the north-west corner of the North Block.
- Prior to its removal, the partition wall currently dividing the cellar (G1 and G2) should be drawn to record a probable nineteenth century blocked door and timber stud work.

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HISTORICAL RESEARCH: THE EARLY PERIOD
APPENDIX 1: MCMORRAN FAMILY TREE



APPENDIX 2: JOHN (1) MCMORRAN'S INVENTORY OF HIS GOODS AND GEAR, 16 NOVEMBER 1596

The inventar of ye guidis & geir pertening to umqle Johnne makmorane being within his awin dwelling hous sichtit in presens of Katherene Hucheson his relict and being presentlie in hir handis within ye saud duelling hous And in presens of Niniane mcmorane brother to the said umquhile Johnne, Andro huchesoun James huchesoun brether to the said Katherene Alexander makmath mungo makcall merchandis burgesses of Edinburgh & Alexander Annand servitor to ye said Niniane & david andersone servitor to adame Lautie wryter

Upone ye xvi day of November 1596

Item, ane manis gowne of frenche blak lynit doun ye lappis with velvet with ane bar of veluet round about

Item, ane manis gowne of searge of florence lynit doun ye lappis with budge with ane bar of veluet round about

Item, ane cluik of frenche blak lynit with velvet doun the lappis

Item, ane uther cluik of blak lynit with fegourit velvet doun ye lappis with thrie pastmentis about ye taile

Item ane uther cluik of frenche blak lynit doun the lappis with grwgrane taffetie

Item ane uther cluik of frenche blak lynit with searge

Item ane gregrane cluik

Item ane uther cluik of tanny cannabie claithe

Item ane doublet & ane pair of breikis of plane velvet

Item ane doublet & ane pair of breikis of figorit velvet

Item tua doublettis & tua pair of breikis of blak satene

Item ane dowblet & ane pair of breikis of blak taffetie cuttit out

Item ane doublet & ane pair of breikis of grwgrane worsett

Item thrie pair of blak breikis of stemmyng

Item twa coittis & ane joup of blak stemmyng

Item ane coitt & ane pair of tanny worset schankis

Item ane pair of blak worsett schankis

Item ane taffetie hatt

Item tua hattis lynit with velvet with tua stringis of craip

Item Four feltis of hattis unlynit

Item ane new corslat with ane auld

Ite twa pickis

Item twa hagbuttis

Item tua cutloyis with ane shoirt swoird

Item twa steilbonettis couerit with blak stemmyng

Item ane lettron

Item in ye chalmer of dace ane french bed & ane liticant bed

Item mair ane chalmer buird of wannat trie

Item ane kist of cyper trie

Item ane great kist of aik of carvit wark

Item twa lytill kistis

Item ane greit press almerie

Item ane chyre backit with grene

Item mair ane chair of wannat trie

Item mair ane buffet stule

Item tua lytill backit chyres for wemen

Item four lytill laich stuillis for wemem
 Item in ye bairnes chalmer within ye chalmer of dace ane stand bed of aik
 Item ane danskene kist with ane sey kist
 Item in ye heich chalmer aboue the bairnes chalmer tua stand beddis
 Item ane lytill taiffell buird
 Item in ye galrie chalmer ane litticant bed. Item mair Four buffet stuillis with ane lytill
 buird with ane uther lytill buird for bairnes
 Item in ye hall ane fair hall buird of wannat trie with ane frume of wannat trie. Item
 ane dresser copbuird of wannat trie. Item three frenche chyres. Item ane buffet stule.
 Item ane mekill Inglis bybill drest with ane selich sykn. Item ane Irene chymnay in ye
 hall with ane gallous, cruik & irne tangis. Item mair in ye hall ane hingand chandler of
 brass. Item ane towell pyn. Item mair thrie hart heidis. Item ane halbert. item thrie
 payntit broddis. Item ane lytill hingand chandler of brass in ye kitching. Item ane
 press for naiprey. Item fourty five plaittis greit & small. Item 34 pewdar trynsheouris.
 Item thrie tyn basingis. Item ane dussane of ty saseris. Item thrie quart stoppis. Item
 four pynt stoppis. Item thrie choppene stoppis. Item ane mutskene stop. Item ane half
 mutskene stop. Item ane tyn flakit. Item thrie lytill hingand chandleris of brass. Item
 tua pewdar laweris. Item ane hingand lawer. Item ane butter box of tyn. Item four
 brasin pottis. Item tua irne pottis. item fyve brasin pannis. Item ane guis pan. Item ane
 fyre pan. Item tua frying pannis. Item ane tyn salfat. Item eleevin chandleris of brass.
 Item tua irne speittis. Item sex pot broddis of brass. Item ane irne bak of ane
 chymney. Item ane choffer. Item tua pair of tangis. Item ane porring irne.
 Item ane silver peice Twa masseris Ane silver saltfat
 Item ane dossane of silver spunes
 Item sex feder beddis. item fyve feder bowstaris. Item ane dossane of coddis. item
 nyne quissonis. Item ane grene buird clait. Item ane Arres wark. Item ane reid stickit
 covering. Item tua blew stickit coveringis. Item ane grene covering. Item tua quhyt
 spanes mattis. Item tua sewit coveringis. Item aucht seruandis coveringis. Item aucht
 pair of blanketis. Item sextene pair of small lynning sheittis. Item 24 pair of round
 lynning & hardin scheittis. Item ane pair of grene cannabie courtingis freinyit with
 reid & yallow inset. Item ane uther pair of cannabie courtingis freinyit with quhyt &
 reid worsett. Item thrie pair of uther grene courtingis with thair pendicles. Item fyfe
 dussane of hardin seruittes. Item aughtene hardin towellis. Item eleevin hardin
 bordclaitis. Item fyve dussane & thrie dornik seruiettis. Item four dussane & four
 seruiettes of lynning. Item aucht dornik bordclaitis. Item sevin lynning bordclaitis.
 Item ten lynning watterclaitis sewit quhair of tua of dornik. Item tua dresser claitis.
 Item 24 codwairis sewit & unsewit. Item tua bedsheittis. Item fyve pair of heid
 sheittis. Item mair tua sewit towellis of lynning ane thairof with silke & ye uther with
 quhyt wark.

Niniane Makmorane. Mungo Makcall vitnis. Alexander Makmathe witnes. Alexander
 Annand witnes. D. Andersoune notar & witness to ye premiss.⁹⁵

⁹⁵ MacPhail, *Papers*, 226-30. The printed copy of this inventory contains mistakes but this transcription
 has been extracted from a corrected copy of the same held by the National Archives of Scotland.

APPENDIX 3: DISPOSITION AND INVENTORY OF 6 FEBRUARY 1630

6 February 1630 – Disposition and Inventory (note: I have part translated this into English for ease of use).

The which day [...] comperit Mr Joshua Henrysone procurator for Niniane Mcmorane and producit the disposition underwritten [...] to have the strength of an act and decret of the provest and bailies of Edinburgh [...] Me Niniane Mcmorane [...] heritable proprietor of the lands and others underwritten Forsameikle as the late Jon Mcmorane merchant and sometime one of the bailies of the burgh of Edinburgh my father was heritably infeft and sasine in all and sundrie the several back lands and wastes underwritten sometime pertaining to the late William Henrysone brother and air of the late George Henrysone son to the late Thomas Henrysone and sold and annaliet by the said late William Henrysone Viz In all and hail these lands sometime called the bout hous and back hous with the yard descending from the same lying in the burgh of Edinburgh upon the south part of the king's high street of the same beneath the west tenement of land sometime pertaining to the late James Forret between the back land sometime waist and pertaining to the said William new built pertaining to me the said Niniane and adjacent to my fore land and tenement upon the north and the king's wall upon the south parts, And siclyk in all and hail these back lands and yard discendand from the foresaid sometime waist and back land of the said fore tenement of the said late William Etin to the king's wall upon the south with the close discendand from the same and theirto pertaining, And also in all and hail sometime a pend of waist and back land now for the most part built lying within the said burgh beneath the tenement of the said late William Henrysone upon the east part of the trans of the same, Between the lands of the airs of the late James Cant upon the east the close and lands of the said William and now pertaining to me the said Niniane upon the south the trans or close upon the west and the gable of the back land of the said tenement upon the north parts, Likewise the said late Jon my father caused build upon the said back lands and waste disponed to him by the said William Henrysone a great tenement containing two tenements of land, the one back the other fore both come and from the west to the east, the **back tenement** whereof has upon the west part thereof a kitchen proceeding from the south to the north and chalmers above the same with the yard on the south side thereof and clos upon the north, the **fore tenement** has a gallery occupied by Patrick Whitelaw merchant burgess of the said burgh with a brew house under the same presently occupied by Alexander Earl of Dunfermline great chancellor of Scotland upon the east end thereof proceeding from the north to the south and a little sait for a watt drop [drainpipe?] upon the north end of the said brew house pertaining thereto, Which great tenement of land containing the said tenements of land back and fore with the yards and pertinents thereto lies within the said burgh of upon the south side of the king's high street thereof between the said back lands of the late James Forret and the fore land of the said late William Henrysone upon the north, The toune or king's wall upon the south, the lands sometime to the late James Cant and thereafter to James Hamilton upon the east, and the tenement of land now pertaining to Quintene Bousteine merchant upon the west parts upon the one side and the other as principals, And siclyk in all and hail the fore tenement of land sometime pertaining to the said late William Henrysone lying in the said burgh upon the southside of the king's high street of the same, Between the wester tenement of yards of the late John Elphinstone now pertaining to the airs of the late James Forret upon the west and the tenement of land of the airs of the late James Cant upon the east parts upon the one side and other, [...] Likewise I the said Niniane Mcmorane was

heritably infeft in all and hail the saids tenements of land back and fore under and above with the pertinents lying and bounded as said is as air to the late Jon McMorane my brother who died saisit in the same and was lawful air to the said late Jon McMorane his father, And siclyk in all and hail the said fore land of the said late William Henrysone in special warrandice of the same as at more length contained in my said saisin given to me thereupon of the date the 26 day of February 1601 under the subscription of Mr Alexander Guthrie common clerk of the said burgh [...] And siclyk forsameikle I was heritably infeft and saisit in all and hail that back land of the said late James Forret between the said tenement or fore land of the same upon the north and the land sometime pertaining to the said late William Henrysone called the bak hous new built and pertaining to the said Niniane upon the south, Which tenement of land of the said late James Forret lies within the said burgh upon the south side of the king'd high street of the same between the tenement of land of the late Edward Little upon the west and the tenement of land of the late Mitchell Henrysone now pertaining to the airs of the late James Nicoll on the east parts, as at in more length is contained in mine the said Niniane McMorans seasine given to me thereanent of the date the 23 day of January 1602 under the subscription of the said Mr Alexander Guthrie [...] good and undoubted right in and to the foresaid tenements of land [...] sometime pertaining to the late William Henrysone, And also in and to the said back land sometime pertaining to the said James Forret [...] Likewise I have by contract maid endit between me and the said Niniane and George Makmorane merchants my brothers germane on the one and other parts of the date at Edinburgh the tenth day of February 1616 for the sum of 10,000 merks good and usual gold and silver current within the realm of Scotland contentit payit and thankfully delivered by the said George to me in manner contained in the said contract, sold annulled and heritably and irredeemably disponed to the said George McMorane my brother his airs of the before named lands [...] in all and hail that **my fore tenement of land** of the said great tenement containing the several dwelling houses galleries and cellars underwritten built upon the said several back lands and wastes sometime pertaining to the said late William Henrysone and alienated by him to the said Johne Makmorane father to me the said Niniane Viz all and hail that over dwelling house presently then occupied by the late Niniane McMorane elder merchant burgess of the said burgh entering by the northwest turnpike of the said fore tenement and also all and hail that other low dwelling house then occupied by Patrick Whitelaw merchant entering by the southwest turnpike of the same, together with the gallery pertaining thereto leading and built from the south to the north to the fore side wall of the back land pertaining to me sometime occupied by the said earl of Dunfermline and the hous called the brew hous lying under the same gallery and entered within the close of the said back tenement occupied by the said earl of Dunfermline and used by him as his stable with the voyde at the north north end thereof sometime used as a watt drope, which gallery brew house and voyde at the north end thereof are part and pertinent of the said fore tenement, together with the low house of the said fore tenement called the woman house occupied by the said earl of Dunfermline and lying in the ground of the said fore tenement upon the east side of the great gate having presently two entrances, the one next and contiguous to the turnpike yet of the said Partick Whitelaws dwelling, the other within the close of the said back tenement, And also all and hail that low cellar upon the west side of the said yet lying directly under the west chalmer of the said dwelling house presently occupied by the said Patrick Whitelaw and entering presently within the said green gate, Together also with one other cellar lying contiguous to the same upon the west side of the close entering without the said

green gate presently also occupied by the said Patrick Whitelaw, Which great tenement of land containing the said two tenements of land back and fore as said is within the said burgh upon the south side of the king's high street of the same, In the close called John Makmorans close between the said back lands pertaining to the said James Forret and disposed by me to the said George and the said fore land of the same late William Henrysone on the north the town's or king's wall on the south the lands sometime pertaining to the said late James Cant and thereafter to the said James Hamilton on the east and the said tenement of land pertaining to the said Quintin Bowsoun upon the west parts as principal, And also all and hail the said fore tenement of land sometime pertaining to the said late William Henrysone lying in the said burgh upon the south side of the king's high street of the same between the west tenement of the airs of the said late Jon Elphinstoun now pertaining to the airs of the said late James Forret upon the west and the tenement of land of the airs of the said late Jon Cant upon the east parts upon the one side and other, And that in special warrandice and security of all and hail the forsaid fore dwelling houses galleries and cellars above written principally disposed by the said George to me in manner foresaid so that if it shall happen the said George Mcmorane his airs or assignays to be molested or troubled in the peaceable possession of the said fore tenement containing the dwelling houses galleries cellars and others above written with the pertinents [...] And siclyk all and hail the said back land sometime pertaining to the said late James Forret skinner [...] lying beneath the forsaid tenement of land pertaining to the said James Forret and containing the chalmers and cellars so underwritten Viz. two chalmers entering within the northmost turnpike of the said tenement within the close the upmost whereof is presently occupied by the said Niniane Makmorane elder and has one entry also in the said Ninian's westmost chalmer of his said dwelling house, And also one other chalmer within the said turnpike occupied by the said William Inglis servitor to the said earl of Dunfermline and also one other chalmer without the said turnpike entering in the close by a door and stair built by me the said Niniane and presently occupied by [blank] Together also with two cellars lying in the ground of the same, the one whereof occupied by the said Patrick Whitelaw and the other by the said Niniane Mcmorane elder, Which tenement of the said late James Forret lies within the said burgh upon the south side of the king's high street of the same between the tenement of land of the said late Edward Littill upon the west and the tenement of the said late Mitchell Henrysone now pertaining to the airs of the said late James Nicoll on the east parts, [...] That forsameikle as I the said Niniane caused close up and assigned the west droppis closes and cobles of the said whole lands disposed by me the the said George as said is, It should not be right to the said George his airs nor successors to open the same again but that the same shall remain assigned in all time coming, likewise the said George bound himself his airs and successors that in case at any time hereafter it shall happen the same to be opened to cause condemn and close up the same again and as other watter drops within the foresaid lands disposed to him as said is if it shall happen hereafter at any time, To be likewise also the said George bound himself by the said contract to cause close up and condemn the doors of the said cellars and brew house presently disposed to him which opens within the said great gate and close presently occupied by the said earl of Dunfermline, Likewise it is expressly provided by the said contract also that it shall not be legally possible to the said George his airs or successors to stake out any new doors within the said gate not to have any passage within the said great gate and close within the same, but that the passage and close within the said great gate shall be reserved to me my airs and successors for the use of

my back tenement only, Likewise I legally oblige myself and my heirs and successors to the said back tenement to close up the doors and passage upon the south end of the said brew house disposed by me to the said George, struck out by me in the south wall of my said back tenement and condemn the same in all time coming; It is always provided by the said contract that I the said Niniane make the passage of the said great gate and close patent to the said George and his forefathers in case they shall happen to have to do to build mend and repair any part of the foresaid lands disposed by me to the said George as said is, lying within the same; And finally it is provided by express condition of the said contract that the said great gate and passage thereof, together with the close within the same, shall be reserved and appertene to me the said Niniane only and my own proper heritage in all time coming, and that it shall be legal to me my heirs and successors in case the same gate shall grow faulty, or that I or they think at to repair the same to be set up and a new gate and six new crucks for upholding of the same in the side walls of the said gate so many and so often it shall please me and them without impediment; as the said contract of the date foresaid contained divers and sundry other head articles clauses conditions and proof of resignation therein at more length purports so that the rest as yet undisposed by me of the forenamed whole lands the back land tenement the several houses chalmers galleries and others particularly aftermentioned; And now seeing John Smith merchant burgher of the said burgh of Edinburgh portioner of Cramond and Janet Eleis his spouse have instantly for making and granting of the alienation and disposition of the same back land and other particularly and specially set down as said is aftermentioned contented paid and tranquilly delivered to me the said Niniane Makmorane all and hail the sum of 12,000 merks good and usual gold and silver current within the realm of Scotland whereof I grant [...] heritably and irredeemably to the said John Smith and Janet Eleis his spouse [...] **all and hail my back land and tenement** with the yard going south from the same to the town wall and pertinents thereof of the back lands and tenements above and underwritten sometime waist pertaining to the said late William Henrysone and disposed by him to the said late John Makmorane my father and built by him in the said great back tenement containing the several houses galleries cellars and others particularly underwritten built upon the same, and all entered at the foresaid great yett, together with the said great yett and close foresaid within the same and at the turnpike within the said close with free ische and entry thereto by the same [...] All lying south of the foremost gable of the dwelling house disposed by me to the said George Mcmorane and presently occupied by the said Patrick Whitelawe, Viz. one low hall two pantries one kitchen and one little narrow gallery; at the west end of the said hall a little low house under the said gallery, one chalmers at the east end of the said hall with one gallery upon the south side thereof and one chalmers upon the north side of the said other chalmers and one chalmers immediately above the same with one low coal house on the west side of the said close outwith the said low hall three low vaults in the ground of the said tenement and under the said low hall chalmers and others foresaid. Item one low house immediately underneath the said large gallery at the east end thereof and two studies and one gallery upon the south side of the said chalmers with one other chalmers upon the north side thereof. Item one high chalmers above the said chalmers at the east end of the said hall. Item one loft and one chalmers at the end thereof above the said high hall and one other chalmers at the head of the said turnpike, all lying within the said great tenement of land containing the said two tenements of land back and fore as said is and sometime occupied by the said late earl of Dunfermline and now by John earl of Lauderdale, Which great tenement of land containing the said two tenements of land back and fore as said is lies within the said

burgh upon the south side of the king's high street of the same in the said close called Johne Makmorans close, between the said back lands sometime pertaining to the said James Forret and disposed be me to the said George and the said fore land of the said late William Henrysone on the north of the toun or king's wall foresaid on the south the lands sometime pertaining to the said late James Cant and thereafter to the said James Hamilton on the east and the said tenement of land pertaining to the said Quintin Bowseine upon the west parts as principall, And also all and hail the foresaid tenement of land sometime pertaining to the said late William Henrysone lying within the foresaid burgh upon the south side of the king's high street of the same burgh between the said west tenement of the airs of the said late Jon Elphinstone now pertaining to the airs of the said late James Forret upon the west and the said tenement of land of the airs of the said late James Cant upon the east parts upon the one side and other [...] to warne and remove the said Jon earl of Lauderdale present possessor and occupier of the fore named back land and tenement [...] and his men tennants and servants furth and fra the same between the date hereof and the first day of August next to come in this instant year of God 1630 and to make the same void and red [...]

Follows a list of writs and evidents received by Smith in 1630

[...] Viz. **An**e contract between the late Michael Henrysone burghess of the said burgh and the late James Forret burghess of the same on the one and the other parts about the granting of licenses [...] dated 17/2/1547 [...] **Item** a charter granted by the late William Henrysone brother and air to the late George Henrysone to the late Johne Mcmorane merchant burghess of the said burgh of Edinburgh his airs and assignies of all and hail that his piece of waste land lying within his tenement which sometime pertained to the late John Elphinstone bounded in manner contained in the said charter which is of the date at Edinburgh [blank] day of [blank] 1580 years [...] sealed by the said late William Henrysone brother and air of the late George Henrysone and his spouse Bessie Gray and the late James Henrysone and Marion Hunter his spous on the one and other parts anent the alienation made by the said William with consent of his said spouse to the said James and his spouse of an annual rent of 50 merks to be uplifted out of the said tenement of land of the said William fore and back under and above built and waste with the yard thereof and pertinents of the same lands under reversion of the sum of 500 merks in the manner contained in the said contract dated 6/8/1584; **Item** one band made and signed by the late William Henrysone brother and air of the late George Henrysone second son of the late Thomas Henrysone and Elspeth Gray his spouse whereby they bound and obliged themselves to infest the said late John Mackmorane his airs and assignies heretably without reversion or redemption in all and sundrie thair back lands houses buildings closes yards and pertinents lying bounded and designated in manner there contained dated at the penultimate day of April 1586 [...] **Item** a contract between the said William Henrysone and Elizabeth Gray his spouse and Niniane Mackmorane taking the burden maid upon him for the said John Mcmorane on the one and other parts whereby the said William Henrysone and his spour for the cause specified in the said contract have made and constitute the said Jon Macmorane essioner and assigney in and to the reversion band contract and promise of reversion made and granted to the said William and his spouse by the said James Henrysone and his spouse foresaid be virtue of the firmamant contract for redemption of the said annual rent of 50 merks [...] dated the penultimate day of April 1586; **Item** a band of disposition maid and signed by the said William Henrysone and his said spouse to the said John Mcmorane whereby he is bound and obliged to infest and sease the said Johne in the particular

back lands and others therein expressed lying and bounded in manner therein contained dated the penultimate day of April 1586; **Item** a discharge given by the said William Henrysone to the said Jon of the sum of £30 and other things therein contained dated the penult day of April 1586; **Item** the said John Mcmorane sasine of the said lands principal and warrandice therein expressed upon the said William Henrysone and his spouse resigned conform to the said band dated the third day of May 1586; **Item** ane instrument of intimatioun made by the said James Henrysone of the fore said assignation dated the 12 day of May 1586; **Item** a charter maid and signed by the said William Henrysone with consent of Elizabeth gray his spouse to the said Jon Mcmorane dated the 5 day of July 1586 to the said Jon Mcmorane of the said back lands bounded in manner therein contained both sealed and signed; **Item** a band of disposition made by the said William Henrysone and his spouse to the said Jon Mcmorane whereby they are obliged to infest the said John in the lands principal and warrandice therein contained dated the penultimate day of November 1587; **Item** the said Jon mcmorans sasine of the said back land upon the said William Henrysons and his spouses resignation conform to the said band of disposition dated the 13 day of January 1587; **Item** an act of court where the said James Henrysone renounced the said annual rent of 50 merks which he had from the said back land in favour of James Nicoll and discharged him thereby of the same and of the said principal sum of 500 merks dated the 27 of January 1587; **Item** a ticket and band made by the said James Nicoll to the said Jon Mcmorane anent the entry of the close and other particulars therein dated the 5 day of April 1589; **Item** a contract between the said Jon Mcmorran and Jon Eistoun writer [...] to Jon Cant brother and air of the late George Cant touching the servitude therein contained date the 26 day of February 1590; **Item** the late Jon Mcmorane sasine as air to the said late John his father of his lands specially mentioned therein by hesp and stapill dated the 7 day of April 1596; **Item** the said Niniane Mcmorane his sasine of the foreanent lands and of sundry other lands and of the said annual rents as air to the said late John his brother dated the 26 day of February 1610; **Item** a band granted by James Hamilton and Janet Gillespie his spouse to the said Niniane anent the down casting and demolishing of a dyke and other clauses therein dated the 25 day of February 1607; **[what follows refers to a tenement on the north side of the high street]** **Item** a discharge granted by the said William Henrysone same day and year of God foresaid whereof there are two extracts follows the inventar of the writs of the said annual rent of £20 disposed by the said Niniane to me Viz. a sasine given by resignation of Marjorie Blakstok with consent of the late Nicoll Syldor her spouse to the late Katherine Wode widow of the late William Mcmorane of the said annual rent of £20 yearly to be uplifted furth of the said Marjorie Blakstok and her spouse under reversion of the sum of £200 dated the penultimate day of April 1563; **Item** a charter granted by them to her of the same annual rent dated the 5 day of May 1563; **Item** the late Jon Mcmorane his sasine of the same [...] by resignation of the said Katherine Wode dated the 8 day of October 1575; **Item** the said late John mcmorane sasine of the same annual rent as air to the said late John his father be hespe and staple dated the 7 day of April 1596 [...] and the said disposition made by the said Niniane Mcmorane to me and my said spous of the fore named back lands lying bounded and containing as is therein expressed and annual rent of £20 above written yearly to be uplifted as said is [...]⁹⁶

⁹⁶ NAS, B22/8/26, 1629-1631 (no pagination)

APPENDIX 4: DESCRIPTION OF BACK TENEMENT IN 1684

Sir John Clerk of Pennycuick to Rorie McKenzie of Prestonhall [...] All and hail that backland and tenement with the yeard going south from the samen to the town wall & pertinents therof of the lands and tenements vnderwrittin sometyme waist and pertaining to ye deceased William Henrysone and disponed be him to the deceast John Mcmorane and bigged be him in ane great back tenement containing the severall houses galleries selleris & oyeris particularlie vnderwritten builded upon the samen and all entering in at ane great gate Together with the said great gaitt and close within the samen and in at the turnpike within the said close with frie ish & enterie therto the samen yeard and all other priviledges & pertinents whatsoever pertaining and belonging therto All lying be south the southmost gavell of the dwelling house disponed be Niniane Mcmorane of Newhall to George Mcmorane his brother and sometyme occupied be Patrick Whytlaw viz Ane laigh hall tuo pantries ane kitchen and ane litle narrow gallerie at the west end of the said hall ane litle laigh hous vnder the said gallerie ane chamber at the east end of the said hall with ane gallerie vpon the southsyde therof And ane chamber vpon the north syde of the said other chamber And ane chamber immediatelie above the same with ane large coall hous at the west syde of the said clos outwith the laigh hall, thrie large Volts in the ground of the said tenement and under the said large hall chamber & otheris forsaidis

Item ane large hous immediatelie beneath the said large gallerie at the east end therof
Item ane high hall with ane kitchane & t the east end therof, Tuo studies and ane gallerie vpon the southsyde of the said chamber with ane other chamber vpon the northsyde therof

Item ane high chamber above the said chamber at the east end of the said hall

Item ane loft and ane chamber at the east end therof above the said high hall and ane other chamber at the head of the said turnpyke

All lying within ane great tenement containing tuo tenements of land, the ane back the other foir, both coming from the west to the east built be the deceast John McMorane and sometyme occupied be the deceast Earle of Dunfermling and thereafter be the deceast John Earle of Lauderdaill which great tenement of land containing the said tuo tenementis of land back & foir as said is lyes within the burgh of Edinburgh vpon the south syde of the Kings hie streit of the samen In the closs called John McMorans close betuixt the backlands sometyme pertaining to the deceast James Forrett and disponed be the said Ninian Mcmorane to the said George Mcmorane And the foir land of the said deceast William Henrysone on the north, The toun or Kings wall on the south, the lands sometyme pertaining to the deceast James Cant and thereafter to James Hamilton on the east and the tenement of land pertaining to Quinteine Boustoun on the west partis As principall And als All and Hail that four tenement of land sometyme pertaining to the said vmquhill William Henrysone lying in the said burgh vpon the south syde of the Kings hie streit of the samen betwixt the wester tenement of the Aires of vmquhill John Elphinston thereafter pertaining to the aires of vmquhill James Forret vpon the west And the tenement of land of the airis of vmquhill John Cant vpon the east partis vpon the one syde & other And that in speciall warrandice and servitude Of all and hail the foirsaid backland and tenementis with the yeard & pertinents therof forsaidis containing the severall houses galleries selleris & otheris particularlie abovewrittin lying bounded & principallie disponed as said is In maner mentioned in the rightis & infeftmentis granted be the said Niniane Mcmorane to the deceased Sir John Smith And lykewayes All and hail that hous thacked with straw of the tenement of land of vmquhill Robert Law litster [dyer of

cloth] lying on the North part of the little trans leading betuixt ane other hous thacked with straw of the samen tenement And the said hous thacked with straw on the south X [left hand margin: X now thaked with sleat together with ye upper house of the said tuo tenements lying one both syds of ye said close and venell leading from ye foote of ye tuo yeardis to ye cowgate, and inclosed by a gate betuix them & ye cowgate together with ye said gate] As Also All and Hail that yeard on the north part of the said hous with ane other peice of ane yeard lying be east the samen hous betuixt the wall which of old wes called the town wall Now being that wall which is betuixt the yeard latelie belonging to the said Sir John Smith And the forsaid yeard of old reedified and built be ye said Sir John Smith On the north and the piece of waist land extending southerlie to the south part of ane door In the westsyde wall of the hous of Peter Somervell lying on the eastsyde of the said waist land with free ish & enterie frae the Kings streit comonlie called the Cowgate Be the vennell or wynd of the said tenement with parts & portionis forsaidis Are partis & portionis of that tenement of the said deceast James Alisone Acquyred from Agnes Wardlaw and her husband And disponed be the said James to the said Sir John Smith with tenement of land of the said Robert Law lyes in the said burgh on the north part of the kings streit of the Cowgate therof Near the place of the Minor Frieirs betuixt the land of the deceast George Cant on the east And the lands of the deceast John Sawer on the west On the ane & other partis Together with all right title enteres & claime of right with I my aires or assigneyes had have or aniewayes may have clame or pretend to the backland & tenement with the yeardis houses & otheris abovedisponed or anie part therof [...] [goes on to list the bonds issued by Smith and his sons] 20 May 1684⁹⁷

⁹⁷ NAS, GD18/589

APPENDIX 5: DESCRIPTION OF THE BACK TENEMENT IN 1702

Be it knowen to all men be thir present letters Us George viscount of tarbat Lord Mcleod and Castlehaven heritable proprietor of the lodgeing under wryttin For the love favour and affection which wee have bear and owe to Margaret Countess of Wemyss our dearest spouse [...] To have sold and disponed lykeas wee be thir presents sell annailyie & dispone to and in favores of the said Margaret Countess of Wemyss her aires and assigneyes whatsomever heritable; under reversion and with the provision in maner underwryten All and haill that upper lodgeing in the backland lyeing upon the south syde of the land mercat of Edinburgh in the closs of old called McMorrans closs, And which lodgeing is presently possest be us, Consisting of ane outer room, Dyneing room, & Draweing room, in the body of the laigh hous with three rooms above them, with ane room and closet in the south west Jamm,⁹⁸ And Kitchen and room above it in the new west Jamm, with two rooms two closets and ane wardrop in the south east Jamm, with ane Chamber and two little rooms upon the entrie, Together with the Cellaris or Volts belonging to the said lodgeing, And as the samen is more particularly bounded and comprehended in the original rights and securities thairoff, All lyeing upon the west syde of the Brode stair as goes to the garden, Together with the great gate and court leading therto as principall, And also all and haill the said lodgeing, voltis, cellaris, great gate and court leading to the said lodgeing likeways as principall, And siclyke all and haill that fore tenement of land sometyme pertaining to umquhill William Hendersone Lyeing in the said burgh of Edinburgh upon the south syde of the Kings high street, betwixt the wester tenement of the airis of umquhill James Elphinstoun, Thereafter pertaining to the aires of umquhill James Forret upon the west, and the tenement of land of umquhill John Cant upon the east, And that in speciall warrandice and securitie of the foresaid lodgeing, together with all right title entries clame of right propertie and possession [...] Lykeas we have delyvered to the said Countess the haill wrytes rightis & evidentis granted to us of the said lodgeing above disponed conforme to ane inventar, with and under the obligatioun & provision that she and her foresaidis shall make the samen furthcoming at all occasions necessar To Sir Archibald Mure late provost of Edinburgh To whom the other pairt of the said tenement yairds &c. Is disponed by Sir Thomas Stewart of Balcashie who acqyred the same from the said Mr Roderick McKenzie or transumptis of the same According as the said Mr Roderick stands obleidged, Proveydeing alwayes lykeas it is heirby expresly provyded and declaired that wee shall have & Injoy the lyferent use & right of the said lodgeing & otheris above disponed yearly dureing all the dayes and yearis of our lyfetye And power and full libertie to us to sett & use the samen And uplift the mailles & rents thairof dureing our lyfetye as said is [...] In maner as is contained in our Contract of marriage in every point, Under which provisions, this presentis are granted & no other wayes [...] Wee have subscribed thir presentis (wryten be James Wemyss our servant) Att Edinburgh the twenty Eight day of March 1702 Before thir witnesses Mr Aneas McKenzie our chaplain, Charles Kinross our servant & the said James Wemyss.⁹⁹

⁹⁸ Dictionary of the Scots Language (Jamm): (1) a side post or cheek of a doorway, window, or chimney-piece; (2) a projecting wing of a building, an additional portion extending laterally from the main body of the building

⁹⁹ NAS, GD305/1/96/13.

APPENDIX 6: DISPOSITION OF THE GREAT TENEMENT FROM THE DUKE OF BUCCLEUCH TO MR WILLIAM ALEXANDER.

In the Name of God amen Know all men by this present publick Instrument That upon the Thirtieth day of march in the one Thousand Seven hundred fourtieth and ninth year of our Lord and twentieth and second year of the Reign of our Sovereign King George the Second In presence of me nottary publick City Clerk of Edinburgh and witnesses subscribing Compeared personally upon the ground of the Tenement after mentioned an honourable man John Forrest one of the present Baillies of the said City As also Compeared James Pinkerton writer in Edenburgh as procurator and attorney for an in name of an high and mighty Prince Francis Duke of Buccleugh heretible proprietor of the Lodging and others aftermentioned. By vertue of the procuratory of Resignation containd in a Disposition of the said Lodging and others granted by the said noble Duke To and In favours of Mr William Alexander merchant in Edenburgh his heirs and assigneys: whomever heretably and Irredeemably dated the thirteenth day of march one thousand seven hundred fourty eight nine years and recorded in the Court books of the said City of the date of this Instrument As from the said Disposition produced to and Read by me the said Nottary upon the ground of the said Lodging and others was evident and did clearly appear And then and there the said James Pinkerton as attorney forsaid with all Reverence as becometh and by staff and batton as use is Resigned and Surrendered all and Whole that upper Lodging withal back Land in the Town of Edinburgh on the south syde of the Lawn mercate in the Closs commonly called MacMorrans Closs some time pertaining to the deceast John McMorrان and Lying besouth the south west garde of the house disponed by Ninian McMorrان of Newhall to John McMorrان his brother, and disponed by the said Ninian McMorrان to the deceast Sir John Smith and acquired from <blank> Smith his son and his Creditors who had acquired a Right thereto by reall Diligince by Sir John Clerk of Pennycook and Disponed by him to Sir Roderick Mackenzie of Prestonhall one of the Senators of the College of Justice and Mary Burnet his spouse in conjunct Fee and Lyfrent and to Mr Alexander Mckenzie their eldest son in Fee Redeemable always by the said Mr Roderick Mckenzie from his said son in manner mentioned in the disposition thereof which was accordingly Redeemed by him, Which Lodging Lyes within the Court, and above the other part of that tenement disponed by the said Mr Roderick Mckenzie and which now pertains to and is possess by Mr William Carmichael advocate, And which Lodging thereby Disponed was latley possess by the now deceast Sir James Mckenzie of Rostoun one of the Senators of the College of Justice, and is presently unpossess viz: an outter Rوم Dining Room and drawing Room in the body of the house laigh with three Rooms above them, with a Room and Closet in the south west Jamm with two rooms two Closets and a wardrop in the south east Jamm with a Chamber and two little rooms upon the Entry Together with the Cellers or vaults belinging to the said Lodging Lying upon the west syde of the Broad stair as ye go to the Garden being two large and two little vaults, Which Lodging vaults and others with the Entrys thereto by the said great Court and Gate leading thereto are disponed as principall and also all and Whole that fore tenement of Land sometime pertaining to William Henderson lying within the said burgh upon the south syde of the Kings high street between the wester tenements of the heirs of umquhill James Elphinston Thereafter of his heirs of umquhill James forrest upon the west, and the tenement of Land of umquhill John Cant and his heirs on the East, And that in speciall warrandice and security of the foresaid Lodging and pertinents thereof principally above disponed Together with all Right Title Interest Claim of Right property or possession which he the said Francis Duke of Buccleugh his Predessors or authors had have or any ways may have and claim or pretend to the premises In the Hands of the said Baillie In favours and for new Infetment of the same to be made and granted to the said Mr William Alexander in manner aftermentioned Which Resignation so duly and carefully made was admitted of and received by the said Baillie who by vertue of his said office and at the Desyre of the said procurator Resigner Gave and Delivered heretable state and seasine actuall real and corporall possession of All and whole the foresaid upper lodging with the vaults chambers and others thereto belonging as for

principall and all and whole the foresaid fore tenement of Land which belonged to thesaid umquhill William Henderson in reale warrandrie and security of the foresaid Lodging vaults and others principally dispoed both Lying bounded and described in manner particularly beformentioned To the said Mr William Alexander, and that by Delivery of Earth and Stone of the ground of the said Tenements To the said James Pinkerton as attorney also for and in name of the said William Alexander, After the form and Tenor of the foresaid Disposition and procuratorie of Resignation therin containd in all points Whereupon and upon all and sundry the premises the said James Pinkerton as attorney foresaid askt and required Instruments one or mor under the hand of me the said nottary publick These Things were done upon the ground of the foresaid tenement after the hour of eleven and before the hour of twelve before noon of the Day of the month In the years of God and Kings Reign first before written In presence of John Forbes and John McCulloch writers in Edenburgh witnesses to the premises specially called and Required (Sic Subscibitor) Et ego Gulielmus Forbes Johne Forbes witnes John McCulloch witness.¹⁰⁰

¹⁰⁰ NAS, B22/2/44, ff.32r-34v.

APPENDIX 7: BUILDING FABRIC ACCOUNTS

[a] Feb 1715, Account of Gilbert Smith, mason.¹⁰¹

Item for 19.5ft of heuen pawment	£9 15s
Item for caping ane chimney head	£2
Item for a mason one day in laying pavement	16s 8d
Item a barowman one day	6s 8d
Item for lyme and sand	12s
Total	£13 9s 8d.

[b] GD224/261/31; 2 November 1715, compt of mason work and furniture to the reparation of her grace the dutches of Buccleuch her login in the land market of Edinburgh.¹⁰²

Masons

Richard Smith	26 days	£31 4s
William Hendrie	32.5 days	£26 4d
William Dason	36 days	£30
John Balladin	25 days	£20 8s 8s
David Tailer	4 days	£3 6s 8d
Baromen		
Daniel Wright	30 days	£10
William Mitchel	31 days	£10 6s 8d
George Clerk	4 days	£1 3s 4d

Item 26 carts of wall stone from Tilahewn qwarrie	£7 16s
To the carters wages that caried ditto	£8 13s 4d
Item 4 carts load of flags for brigs from Craigmiller qwarrie	£2 8s
To the carters wages	£2 8s
Item 3 carts load of flags for brigs from Mr Frasers qwarrie at the Winnile	£1 16s
To the carters wages	18s
Item 50 loads of sand to the lime	£7 10s
Item 6 loads of lime from Gilmerton	£4
Item two concave chimlays from Eastpark qwarrie	£3
Item from ditto qwarrie 13 riletts for the windo in the dining room	£1 6s
Item one 5.5ft ston from dito qwarrie to be a soll to the servands diningrom windo	
Total	£173
Item more 40 loads of lime from Robert Watson in Westhouses	£24

[c] August 1714, account of Henry Watson, mason.¹⁰³

Imprimis for coping the vents on the east end of the lodging and furnishing stone and lime	£4 Scots
Item for pining and harling the chimneys above the roof one of them on the west end of the house and the other on the forside	£8
Total	£12

[d] 26 May 1720

Accompt of Smith work wrought & furnished by William Richardson Smith to her grace the Dutches of Balcleugh in the lodging possest by My Lord Roystoun.¹⁰⁴

Imprimis five pair of slippers for chimney brod for carying off the smoak	£6
Item tuo pair longer for same use	£3 6s
Summa	£9 6s

The above work was done by William Richardson Smith in the above house, he being employed by me J Ranken

Edinburgh the 8th June 1722 Received from William Innes in name and upon Accompt of Her Grace the Dutches of Balcleugh the sume thrie pound six shilling Scots money in full and Compleat payment of the above accompt which is discharge by me William Richardson.

¹⁰¹ NAS, GD224/261/31.

¹⁰² Ibid.

¹⁰³ Ibid.

¹⁰⁴ NAS, GD224/232/9; GD224/260/7.

[e] 1 May 1727

Accompt of mason work don in the ludging belonging to her grace the duches of Becluch and inhabited by the right honourable the Lord Roystoun and don by Mr James Smith.¹⁰⁵

Imprimis to that highting of five vents with bricks three therof belonging to Mr William Carmickals ludging the other two to her grace charge yrof as follows

John Duncan 4 days, William Nire 4 days; In all 8 days at 18d per day is	12s
Borrumen 4 days at 6.66d per day is	2s 2.33d
On load ad ane half of lyme and sand is	2s 6d
Totall summa is	16s 8.66d
Mare 400 half bricks for ye chimney heads	11s 8d
Totull summa of all	£1 8s 4.66d
Three fift parts yrof for Mr William Carmichall the tuo fift pairts yrof for her graces use is	11s 4d
Item more at the landry roum chimney and hearth laying with new pevemens ston as folous	
John Duncan 2 days, William Nire 2 days; 4 days ditto masons is	6s
On load of lyme and two loads of sand	1s 8d
8.5 foots of Itenin pavement in ditto hearth 10d per foot	7s 1d
Boroumen 2 days at ditto per day is	1s 1.33d
Totall summa	£1 7s 2.33d.

[f] 8 May 1717

Leith, fraught and charges of 2 marble chimneys.¹⁰⁶

Two cases from London aboard Captain Hayes ship marked DB fraught being 3 barrell bulk 6s

Total cost plus dues 8s 7d.

[g] 8 June 1717, for seting tuo marbel chimlays in the diningrom the other in the drawing room hauing the concaves and harthstons to the said chimneys and the kitchen hearth and the litell diningroom harth.¹⁰⁷

Richard Smith 10 days	£12
William Thorburn 11 days	£9 3s 4d
James Clerk 10 days	£8 6s 8d
Baroman 11 days	£3 13s 4d
3 loads lime	£2 2s
8 loads sand	£1 4s
130 briks to fix the marbel and carey the freestone lintel in the drawing room	£2 5s
4 concave jams and a 5ft ston to dito marbels	£2 10s
	Total
	£41 4s 4d.

¹⁰⁵ NAS, GD224/260/7.

¹⁰⁶ NAS, GD224/261/31.

¹⁰⁷ Ibid.

APPENDIX 8: – EXTERIOR ROOF ACCOUNTS

[a] 22 December 1714.¹⁰⁸

Bill to her grace from Robert Jack, slater	
Imprimis for pointing 14 rude	£5 16s 8d
Item for 1700 slates with carriage from Leith	£4 12s
Item for 2000 naills	13s 4d
Item for a rude of riging stone	6s 8d
Item for tiring and thatching severall parts of the roof £2 10s	
Item for workmen carrying away the rubbish	5s
Total	£14 3s 8d.

[b] 23 March 1716, account of Joseph Forster, plumber.¹⁰⁹

Imprimis the cake of lead weighs 11 stone	£1 13s
For workmanship in laying it	1s
Item paid the weigh house man for taking it to the roof	2d
Total	£1 14s 2d
Received back 7lb of the above in cuttings	10.5d
Rests due	£1 13s 3.5d

[c] June 1720 Accompt Dutches of Bucokcleugh [sic] for the lodging posest be my lord Rostoun and Imployed be Mr William Innes wyter to ye signett.¹¹⁰

To John Watson sclaiter	
Imprimis for 37 loads of lyme and sand conformd	£37
For 5,800 sclaits at £40 per 1,000	£232
For their carriage from Leith at 12s per 100	£34 16s
For 8,900 naills at £8 per 1,000	£71 4s
For 9 ells of Rigginstone at 16s per elle	£7 4s
For 9 roods and 19 elles of new sclaitt work at £12 per rood	£114 6s 8d
For 3 roods and 27 ells of poynting work at £2 10s per rood	£7 7s 6d
For furring the old work at £2 per rood	£19
For carring away the red with borrowman	£6
For measuring the work	£3
Total	£531 18s 2d

¹⁰⁸ Ibid.

¹⁰⁹ Ibid.

¹¹⁰ NAS, GD224/232/9.

APPENDIX 9: INTERIOR ROOF ACCOUNTS

[a] 18 November 1718.¹¹¹

Account of work wrought by William Ranken wright in Edinburgh upon the roof of the lodging presently possessed by my lord Royston belonging to her grace the Duchess of Balcleugh which was damnified by the reason of the oldness of sleating and serking

Imprimis to one little chess window takeing down and putting up the lining thereof in the wester gavell	£7 6s
To the easter side of the run roof to on[e] large and severall pieces of trees for helping the roof	£1 7s
To the same for 3 long dales for filletting	£2 5s
1 June 1720	
Within for on[e] logg of wainscot to support the cupples	12s
To one dale for filletting	14s
To the wester gavel half a plank and 8 foot of a tree	£1 10s
To the same a Swedish dale and 2 little ones for filletting	£1 19s
To 5 foot of a double tree and 4 bigg cutts of dales	£2
4 June	
To the wester flanker for a thick dale for flanker boards & fillets	£1 4s
To one thick dale for Cleating and filleting with a Clift	£1 8s
6 June	
To the same 4 Bergen dales thick to the roof	£2 4s
To the same 20 Druntain ¹¹² dales for serking	£15
To the landry for fillets for fixing a partition and fixing the same	18s
To the same a Clift and a half of dale for Cylering	18s
7 June	
To a storm window & 7 water berges 2 roads of firr and a slift of dale	£1 18s
8 June	
To deficient windows in the Lodging for Coards & hanging ye windows and a lead pane	£1 1s
10 June	
To 6 broadfull of lime to plaister them on the out side	£1 7s
To the carter for 5 draught of dales from Leith	£3
11 June	
To the use of 26 dales for preserving the leads in Mr William Carmichaels and 2 trees thereto	£4
14 June	
To 5,720 single flooring nails at £3 15s per 1,000	£21 8s 6d
To 845 double floorings at 14s per 100	£6 5s
To 90 garren nails	£1 16s
To 90 plensher nails, 160 window nails & 100 spriggs	12s
To 44 days work	30 16s
8 September	
To 63 yeards of lining and lathing 2 upper rooms	£37 16s
To the lodging in general for helping the walhead and holes mended	£61 16s ¹¹³
To the run jests and supporters of the lath of the roum that was laithed and made square up the roof and plastery being formerly Coum sided	£10 18s
To putting up the porches timber and nails furnished	£6 18s
To 6 clifts of dales for makeing up the old lathing	£1 16s
To 90 double, 160 single, & 300 plensher nails	£2
2 March 1721	
To Ale to the wrights & carrying out of the rubbish	£3 10s
28 July	
To 5 chess windows 2 whereof in the landry & store room and 3 in the wester room & closet all of inch and half wainscot	£60
5 August	
To 2 little chess windows in the entry to my lords room	£20
To 7 sheet chimney broads in several rooms	£8 8s

¹¹¹ Ibid.

¹¹² Trondheim

¹¹³ Big blotch of ink over the first '6'; there definitely is a number there and '6' was my best guess

To several mendings in the lodging	£1 8s
3 Aprile 1722	
To new roads and hanging the windows	18s
To 2 Tirles frames and soalboards to them	£2 8s
3 September	
To a chess frame in the stair case	£5 4s
9 November	
To a new road to a window and helping it	7s
	£275 4s 6d

I William Rankin wright in Edinburgh grant me to have received now and formerly from William Innes Chamberland of Dalkeith in name of Her Grace the Dutches of Buccleugh [sic] the sum of two hundred and sixty pound Scots in full payment of the within account and therefor I hereby discharge the same and all preceeding this date in wittnes [sic] whereof written be Robert Innes nephew to the said William Innes I have subscribed thir presents at Edinburgh the third day of January one thousand seven hundred and twentieth three years before these witnesses Charles Macklean servitor to the said William Innes and the said Robert Innes

[b] 7 June 1720.¹¹⁴

Accompt Her Grace the Dutches of Buccleuch to James Sutherland for timber for repairing Her Graces house in Edinburgh

Item To 100 Drouton dales for repairing the said house as 14d per dale	£7
To 30 ditto for ditto at ditto	£1 15s
	£8 15s

[c] Edinburgh 5 September 1722.¹¹⁵

William Rankin debtor to Richard Murray

To 10 dozen Bergan deals at 9d	£4 10s
To 8 dozen 4 prs long deals at 19d	£7 18s 4d
To 7 dozen 4 prs 10 & 12 foot deals at 13d	£4 15s 4d
	£17 3s 8d

Received by me the above timber from Mr Richard Murray merchand in Edinburgh conform to the above prices by me William Rankin

¹¹⁴ NAS, GD224/232/9.

¹¹⁵ Ibid.

APPENDIX 10: FLOOR ACCOUNTS

16 Sept to 28 December 1715, Widow Jean Relly for nails (nailer in East Park)¹¹⁶
acompt for naills delivered to John Halliwall joyner

16 September	500 doubel floring nails	6s 8d
	500 singel floring nails	3s 4d
10 October	400 doubel floring	5s 4d
	100 singel floring	8d
	200 2 inch sprigs	10d
4 November	300 2 inch sprigs	1s 3d
	200 1.5 inch sprigs	6d
	200 1 inch sprigs	4d
28 December	1000 lath nails	2s 10d
	200 dubel floring nails	2s 8d
	200 blind doubel floring	2s 8d
	500 1.5 inch sprigs	1s 5d
	500 1 inch sprigs	10d
Total		£1 10s 8d

¹¹⁶ NAS, GD224/261/31.

APPENDIX 11: WINDOW ACCOUNTS

[a] 3 January 1717, account of John Halliwall, wright.¹¹⁷

For 3.5 days work in taking out an old sash window in the bed chamber and fixing it in the room above,
& putting in a new sash window in the bed chamber £2 9s
For 16 fadom of cords
In total, including cleaning work etc £4 14s

[b] Accompt of wright work furnished be James Burne wright in the lodging posest be Lord Rastoune
pertaining to the duches of Balchough [sic].¹¹⁸

10 Aprill 1727

Item for ane strong caise to window in the stair 5 foot high ad 3 foot 7 inch brod and nails and work to
hing caisements and lime to grout it 5s 16d

17 Aprill

Item for 16 good gotten brough dells 2 foot long dight and wrought at 21s per is £1 8s

To ane cut of dell 2 foot and half long for weshing bord and on hunder and 75 blind duple flooring naills
and 15 pler: nails and 3 days and half work to lift old flor and lay flor and mend flor and box herthstone
all this in landrie roume and to mak scaffolds for measons to mend lome heads

6s 4d

1 May

Item for ane frem and bond lid to ane fixt press in high dynen roume 8 foot high and 2 foot 7 inch brod
9s 2d

To 5 fyt & half of dight and wrought sauen dell 10 foot long for weshing bords at 10s her is and
planting yem 4s 8d

To 30 duple floren naills and 100 single and 60 pler nails and 160 dor nails and 4 days and halves work
to tak down and glew panells and fix and mend Lynen pries lids and pirt about weshing bords

6s 1d

8 May

Item for 3 bond chimny brods 3 foot squar at 36s per 9s

To ane pickter panell and moler about it 4 foot 2 inch long and 3 foot brod at 42s and rond of dell 8
foot long to [two] inch dor of fixt pres at 4s and chist of dell 6 foot for closet at 6s and 15 flor: nails and
15 plen: nails and 15 dor nails and 45 sgrigs and on days work to mend dors and lynen

6s

22 May

Item for a bond chimney brod in dynen roume 3 foot 2 inch squar 3s 4d

To 90 dor nails and one days work to hing shutters and mend windows 1s 6d

19 June

Item for 2 batton windows 5 foot lonclosg and 2 new windows and 4 hours work to right window
1s

26 June

Item for ane clift of dell for cheek at 8s and one thick clift and half of dell for scalfs at 10s per and 15
floren nails and 30 pler: nails and 6 hours work to put up scalfs in pantrie 3s

3 July

Item a cut sauen dell 3 foot long for scalfs in pantrie and 15 duple floren nails and 15 single and 2
hours work to put up scalfs and tak down & put up wall in seller 1s

Summis £4 5s 9d

24 July

Item for 4 dight dells 10 foot and half long at 16s per 5s 4d

To 2 dight dells 9 foot long at 14s per is 2s 4d

To ane clift and half of dight dell at 9s per is 1s 2d

To 12 bilgets¹¹⁹ for scalf at 2s per is 2s

To 30 duple floren nails and 60 single and 2 men 3 hours each to put up scalfs in seller 1s 9d

Soumis £4 18s 4d

¹¹⁷ Ibid.

¹¹⁸ NAS, GD224/260/7.

¹¹⁹ supports

APPENDIX 12: GLASS ACCOUNTS

[a] 1719.¹²⁰

Accompt Her Grace the Duches of Bocaleuch in her house in Edinburgh be Thomas Forrest
 Imprimis put in the narrow sid Roome Clositt 8 pins of window Glass in ane new chass window at 4
 pence per pine is 2s 8d
 Edinburgh 24 October 1719
 Received two shillings and eight pence sterling In full payment of the above Accompt by me
 Thomas Forrest

[b]; Acompt hir gres the dutches of Bieckluch [sic] to George Simpson glasier	1725. ¹²¹
5 Jully to one ches losnx pou in	6s
6 jully to dito tuo ches losi 14 by 12 in	£1 2s
23 Supt to dito tuo ches llosins 14 by 12 in	£1 2s
Item to tuo ches losins of ii by 9.5 in	14s
21 Jane 1726 to dito ches losins 5 sqr and 3 small & leid and nels	£1 15s
5 Fiebr to dito one ches losin	6s
28 Mer to dito one ches holding and 6 losins of qo by 8.5 in at 6s	£1 16s
17 Mey to dito one ches losin 14 by 12 in	12s
26 Mey to dito one ches losine and 12 windous clined	18s
10 June to dito one ches windou and 7 windous clined	13s
25 June to dito one ches windou holding 24 losins of 10.5 by 8.5in at 6s per pies	£7 4s
30 June to dito tuo ches losins put in	12s
Item for leid and nelles furnisht	12s
16 December to dito one windoue holding 6 losins of 10 by 8 in	£1 16s
27 December to dito siex ches losins pout in	£1 16s
28 Apr 1727 to dito 8 ches losins pout in 12 by 8 in & 3 windous & lied	£2 11s
31 May to dito a windou set in leid of 15.5 futs	£1 11s
Item furnisht to it and mendet 18 losins	18s
Item to thrie ches losins	18s
Item to the clining of alle the windous & leid & nels	£1 16s
3 June to dito 6 sqr losins and tuo gllas bands & neles	16s
19 June to dito thrie ches losins & roune glas	£1 16s
7 Novmr to dito thrie ches losins and 18 smale	£1 18s
Item 6 scor leid and neles furnisht	12s
8 Mer 1728 to dito tuo ches losins croun glas and one of coman	£1 5s
Item to dito thrie ches losins of 9.5 by 8.5in	15s
25 Mer to dito tuo sqr losins and poty and nels	8s
26 Agus to dito on ches losin croun glas of 9 by 8iin	9s
Item to fair ches losins of 9 by 7 of comen glas	16s
22 Oct to dito one uindu holding 12 losins crun glas 13 by 10.5 in at 18s	£10 16s
Item to dito tuo uindus 24 losins of 11.5 by 8.5 at 6s the pies	£7 4s
Item to the puting in on losine of croun & on of comen	14s
11 Nov to dito one ches losine 11 by 8 in clined 14 windus	£1
Total	£57 7s

¹²⁰ NAS, GD224/232/9.

¹²¹ NAS, GD224/260/7.

APPENDIX 13: PARTITIONS AND PLASTERING

9 October 1728.¹²²

Accompt of wright work furnished by James Burn wright on the lodging posest by my Lord Roystoun

To 8 strong stoups for partition walls at 10d4s 2d

To 15 dales dight & wrought 9 foot long for partition walls £1

To one 3 bard door 6 foot high with 4 dales 6s 8d

To 90 double floren naills, 130 sigle ones, handfull lime, 2.5 days work to put up partition walls in seller, plaister holes & put up rakes for the bottles 4s 10.5d

22 November

To 13 Clift Sweds dale 10.5 long at 9d 9s 9d

To one broad to window with [sic] for garet 20 inches long & 16 inches broad with 15 double floren naills, 30 single, 100 plaintains & 200 doors, one houtfull lime 3.5 days work to make ready timber & put up in garet 8s 4d

24 November

To one piece bound lynnenn in your daughters room bended on both sides 10.5 yeards £1 11s 6d

To one door bound door piece, corness outside & inside 4.5 yeards with naills & work to put it up and hang a door 13s 6d

24 June 1726

To one thick clift dale 9 foot long at 10d & 4 clift dight on both sides att 9d with 15 floren naills, 30 plaintians & 3 hours work to put up shelves in my lords closet 5s 2d

21 March

To one drauer for bottles 6 foot high & 5.5 foot broad & a foot depth with 3 thick dales in it, 5.5 clift long dales, 160 door naills & 4 days work 14s 2d

To one thinn dale for shelves in a seller & one clift 8 foot long with 8 billgetts 2s 4d

To 15 double florens, 3 peises weighting 12.5 pound lead, 8 pillies & boxes & one days work 5s 10d

24 March

To one clift dale for broads to a [sic] in garet 15 floren naills 48 doors [nails] & one days work 5s 10d

Aprile

To one clift casement of wainscot with 6 lights in itt 2.5 foot hight 19 inches broad in youg [sic] laidies room 15s

4 July

To one chess window of inch 0.5 wainscot with 24 lights pillies & paises in young laidies room £1

To 30 florens, 30 doors [nails] 2 men 6 hours work to take down & put up lynnenn about windows 1s 10d

12 December

Item for ane caise and ches caisment and darken brods 3 foot 2 inch high and 2 foot brod with 6 lights in it in closet 7s 6d

To ane Scalf 5 .5 foot long and fillet & nails and work 1s

To 2 clift of brod dell ronded and dight to plant about panells and hirns in stair caise and hout full of plaster or lime and 60 dor naills and 100 inch & half sprigs and on days work

Soumis £8 8s 0.5d

¹²² Ibid.

APPENDIX 14: PAINTING

[a]

Room	planted lining	floring	siling plaster	stonwall plaster
Litel diningroom	107y 8ft 32in	27y 0ft 14in	25y 0ft 6in	24y 7ft 6in
Lobie closet	3y-7ft	4y-6ft	20y-4ft	24y-7ft
In the lobie wynd of bead work	4y-10ft		17y-0ft-2in	
The large diningrom	57y-0ft-19in			
The drawingrom	67y-3ft-20in	39y-0ft-6in		
The litle diningrom 63ft of cornish	241y-1ft-59in	70y-6ft-20in	62y-4ft-8in	24y-7ft-0in
The larg diningrom 9ft				
The drawing rom 5ft				

[b] 6 May 1727.¹²³

Her grace the dutches of Buccleugh to Roderick Chalmers

To painting in the lodging in Edinburgh possessed by Lord Royston tuo rooms and passages to the same
measuring 158.5 yeards

Cream colour in oyll at 4d per yeard £2 12s 10d

To whitning the roofs of said rooms with stair that goes up to the same and all the ston turnpyke stair
from top to bottom; the room caled the laundrie roof & side walls and all the lobie & kitchen tuice over
£1

Total £3 12s 10d

¹²³ Ibid.

APPENDIX 15: – OTHER INTERIOR WORK

[a] 4 September 1717, Mr Innes.¹²⁴

For a fyne brass call for the dutches of bucleugh lodging possessed by the Lord Roystoun £12

[b] 1721 A compt of Mr Innes to James Anderson.¹²⁵

21 Aprill Item to my Lord Royston loudegin an neu key to a 3 beriged iron lock to a study, and a nall to the spering	12s
16 March 1722 Item an neu lock to an colesat	12s
4 Junn Item an lairg stapel to the uter dour	2s
18 Junn Item meindin an 3 beriged iron lock to an colesat dour	6s
Total	£1 12s

I attest all furnished to my lords lodgen Edinburgh the 26 of Joulay 1722 thein recevid from Wilam Innes one pound tull shelin scots in full of thes acompt and all perecidengs writin and suberscreuid day and pelas for said by me James Anderson

[c] 26 November 1725.¹²⁶

Account of iron work furnished to hir grace Laidy duthis of Balclugh [sic] lodging nou possessed by my Lord Rouston, dene to James Anderson

To ane pair of lairge strong iron bands squar to a chamber doar to Ledy Jeans roume	£1 6s
To ane other roum doar a snek with brasses cullored with oyle	£1 10s
To ane pair of leairge crostill bands to a garrate doar	18s
28 January 1726	
To my lords roume a snek with brasses cullored with oyle	£1 10s
To on pair of shutter bands and snek and ring to a windou	10s
2 October	
To a leairg butten lock to a closet doar	14s
16 December	
To a pair of caisement bands and furnitur to a windou	£1 10s
To new kee to a brass pas lok clening the lok to the stairhead chamber doar	14s
To a neu kee to the closet in the laigh dyning room	6s
Summa	£8 18s

[d] 1 September 1715 to 21 Apryll 1716, account of incident charges dispursed by Richard Smith at the repairing of her graces house in the land market.¹²⁷

Item to robert watsons men that brought in lim 5 pints	10s
Item to the carters that led the ston from Tilaheun qwarie to lay on good loads on their carts	12s
Item to 4 neighbours men with their slip and toues to drau the two long stons when they wer rough from the stret down the clos that is sol and lintel to the diningrom window	12s
Item to 6 neighbors men with ther stings and rops to carey up the soll and lintel of the dining room window and to help lay them in ther places	12s
Item to the masons wrights and baromen when they wer carying up great trees to scaffold the chimlay heads on the roof of the hous on galon of ale	16s
Item to the neighbors men when they helped with ther stings and rops to cary the lintel of the drawingrom windo from the stret and helped to lay it on its place	10s
	£3 12s

[e] Edinburgh January 1720.¹²⁸

Accompt of ane kitchen hearth ston wrought furnished and laid to a lodgeing in the land mercate belonging to the dutches Beclough and possessed be my lord Royston and employed be Baylie Inness the duchesses chamberland, and done be James Watson mason there, the hearth ston consisting of 6 foot being 4 foot long and 2 foot odd enches broad at 9s per foot £2 14s

Item lifting the old and laying the neu with lyme 12s

¹²⁴ NAS, GD224/261/31.

¹²⁵ NAS, GD224/232/9.

¹²⁶ NAS, GD224/260/7.

¹²⁷ NAS, GD224/261/31.

¹²⁸ NAS, GD224/260/7.

Mor in December 1722 Accompt of ane large four foot ston and one foot and half broad wrought and furnisht for and ja hole to my Lord Roystons kitchen in land mercate consisting of 6 foot at 10s per foot
£3

Item to half a day for two masons with a workman cleanseing the old ja hole and setting in the new ston
£1 4s

Mor in January 16th 1725 accompt of the lifting and laying the rest of the kitchen hearth in my lord Roystons kitchen half a day of two masons with a workman
£1

Item 7 foot of new hearth ston furnisht to the said hearth at 9s the foot
£3 3s
Item to four burden of lym furnisht to the said work at 4s per burden
16s
Summa
£12 9s

[f] 1727 accompt of wright work in ye dutches of Ballcloughs [sic] lodging possessed by my Lord Roystoune by James Burns wright employed by Mr Hugh Somervell.¹²⁹

18 Sept to one draw broad in ye chimney in drawing room 3.5 ft laong and 2ft broad
3s
To 15 flooring naills & 30 plaitiars & 3 hours work to stop holls in ye pantrie
10d

30 Oct
to 4 dealls & halve dight one clift 2 billgetts & 6 filletts for shelves with 30 flooring naills 30 plaitiars and one days work to put ym up in ye room of ye stair head
10s

4 Nov
to one frame and 2 bound lids 5.5ft long and 2.5ft broad to one press & one shellve 2.5ft long with naills and work in his sons room
9s 2d

8 April 1728
to one cutt of tree 3 clifts of dale and 15 double floorings 130 single 3 breadfull of lime and one day and halvs work to put up gavell of one pantrie
9s 2d

15 Apr
to one bound frame with 2 bound lids 4ft and halve height & 4ft broad for one ambrie in pantrie
9s 6d

to one folding up table and one foot and angle with sweep to it 2 ft 8in long and 2ft 4in broad
3s 6d

to one roond thick dale one roond of sain dale with 18 double flooring naills 15 single 78 doors one broadfull of lime & 6 hours work to putt up ambrie in ye pantrie hinge ye lids of it & stop holls with lime
3s 6d

20 May
to one thick dale for one shelve with 8 double flooring naills pit it up in Mrs McKenzies room
3s

17 June to one strong bound door 6.5ft high as 3ft broad (part of ye pannels of old wood) & work to hing it
8s 6d

29 July
to one table in ye window 3ft long 10in broad with one fallding foot & naills and work to putt it up
4s

to 2 window broads 20in long and 16in broad for closett window in room of ye stair head with naills
3s 6d

12 Nov
to one dight dale for one falding table & one dight clift for one shelve in Mrs McKenzies room 3 clifts dight for shellves in bed room with 4 filletts 15 double floorings 15 single 60 plaitairs 30 doors & 2 days work to put up table & shelves
8s 6d

25 Nov
to one strong drawer 6ft long and 2ft broad with timber naills & work
18s
to 2 thick clifts of dight deall for shellves with 15 plaitairs & halve one days work to put ym up
2s 6d

10 October 1729
to one dight dale & on thick clift dight for shellves with 30 flooring naills 30 plaitairs & halve one days work to put ym up in landrie
3s 8d

to 15.5 yeards if strong bead lynning with wooden corneses in high dining room at 3s per yeard
£11 5s 9d

to 17 yeards in my lords bedroome at 3s per yeards
£2 11s

to 29.75 yeards in Mrs Mckenzie's room at 3s per
£4 9s 3d

¹²⁹ Ibid.

to 4.5 yeards of Lain dale lynning at 2s per yeard in ye backsides head and bottom of cupboard	9s
to 3 shes one follding table in cupboard	7s
to ye plaisterer for mending ye rose of ye high dinning room and severall parts of ye lodging with lime	8s
to one chess window in high dinning room of 2in wainscot with 12 lights in itt	£1 3s 4d
to two chess windows in Mr Mckenzie's room	£2
18 nov	
to 15 double floorings & 12 hours work to take down cornesses of doors & put up shelves	6d
31 march	
to one bound frame 6.5ft high 3ft 4in broad with 2 lain dale lids to it with 10 double floorings	45
laintairs 45 doors & 2 days work to mak it for one fixt press in kittchen	9s
Summa	£28 3s 2d

APPENDIX 16: SHBT HISTORICAL ARCHIVE: LIST OF IMAGES & WRITTEN ACCOUNTS

Reference No	Subject/Title	Author	Date
9732	Riddles Court (2 Photographs (Pentice Staircase and Close Archway)	Edinburgh Photo. Soc	1904
9891-9893	Riddles Court (Photograph)	Edinburgh Photo Soc	No Date
1071	Staircase, Riddles Court (BW Drawing)	Miller	1923
8608	Riddles Court Postcard (Knox Series)		No Date
13.093	Riddle's Court Photograph	Jackman	1987
13.094	Riddle's Court, Outer court facing east photograph	Jackman	1997
13.727	Riddle's Court Etching	Theys	1987
15.156	Riddle's Court Pencil Drawing	D.T. Rose (1891-1964)	No Date
2902	Riddle's Close, Lithograph		1900
4540	Riddle's Court	Grant	1957
13.75	University Hall Extension, Bailie Macmoran's House—Line Drawing	S.Henbest Capper	1893
287a	Riddle's Court, Pencil Drawing, Reproduction	J.W. King	No Date
287b	Riddle's Court Water Colour, Reproduction	A.Raeburn	No Date
288	Riddles Court, Lawnmarket, Bailie Macmoran's House 1813.	Wilson Forrest	1813
3029	Riddle's Close Watercolour		No Date
4481	Riddle's Court Photograph (Pentice Staircase)	Lacy	1956. E.P.L Photo. Comp.
6077	Riddle's Court Photograph		No Date (Edwardian)
6170	Riddle's Court Photograph		1903
6172, 6175-6	Riddle's Court, 3 Photographs		1904
6925	Riddle's Court	Jackman	1968
7212	Riddle's Court Photograph, Pentice Stair and main door of the North Block		1909
9728	Riddle's Court Details	Edinburgh Photo. Soc.	No Date
9731	Riddle's Court, Lamp Photographs	Edinburgh Photo. Soc.	No Date
17.728	View in Riddle's Court showing East Block Chimney	F.M Chrystal	c.1912
17.894	View in Outer Court, Riddle's Court	F.M Chrystal	1912
17.895	View of the Outer Court, Riddle's Court, Archway and Gate	F.M Chrystal	1912
17.914	Bailie Macmoran's House	F.M Chrystal	c.1912
1455	Riddle's Court from James Drummond. Old Edinburgh 1879 Pencil Drawing	Drummond	1854
1456	Riddle's Close Pencil Drawing	Diaz	1890

Reference No.	Title/Subject Description	Date
	Meeting Minutes with Spophia Leonard at the Rutland Hotel: Volunteer Research (Historical)	2008
	Patric Geddes: A Celebration in Glass by Kate Henderson	No Date
	The Patrick Geddes Centre for Life Skills at Riddle's Court: Vision Statement with associated Table of learning activities	2008
GB249 T/GED.	University of Strathclyde: Papers of Sir Patrick Geddes: Typscript of history and description of papers & Layout of the Catalogue compiled by Jim McGrath, University Archivist	1998
GEP 12/4/1	Edinburgh Summer Meeting 1896: Photocopy of expenditure	1896
	Four A4 Photocopies relating to the extension of University of Edibnrgh: 'The Culture Impetus of Universiot Extension' Ref	No Date
T-G60 9/804	Letter from Andrew Murray: reference to refurbishment in Riddle's Close	1907
T-G609/807	Letter to Prof. Geddes from Andrew Ramsay: Subject Huntley House	1907
	WEA Scotland publication: A Century of Learning 1903-2003 Timeline	2003
	Historic Scotland's Statutory List Photocopy HB 29242	
	RCAHMS Canmore Entry NT27SE 269	
SC426595 (SCRAN)	SCRAN entry with image of plaque above Riddle's Close passage	1999
	Photocopy of a document produced by Edinburgh Corporation Education Department: Formal Opening of Riddle's Court & Formal RSVP Invitation	1966
	Extract of minutes of a meeting held by Edinburgh Council: Lord Provost's Committee	18:9:46
	RCAHMS Inventory of Monuments In Edinburgh: Riddle's Court with Phase Development Plans	
C56007	Document entitled 'Life in the University Hall, from The Scots Pictorial'	24:4:1897
	Photocopy of Baillie Macmorran's House, Riddle's Close taken from Castellated & Domestic Architecture Vol.4	1892
B5627 accession no.	Photocopy of 'Plate No 16 Bailie Macmorran's House, Riddle's Close, Lawnmarket, Edinburgh: Plaster Ceiling' Edinburgh Libraries	
	Photocopy of 'Notes on Bailie Macmorran's House, Riddle's Close, Lawnmarket, Edinburgh: Plaster Ceiling'	No Date
	Draft of Riddle's Close Conservation Statement: Programme of Research with various hand written notes and edits	
	Sasine Register Research 29.10.2008-25.11.2008 by Eleftheria Maravelaki	2008
	Caroline Engel's Student Research Notes & annotated floor plans	
	Publication offprint 'Tait, R, 2008 Burgage Plots and the Foundation of the Burgh of Edinburgh. Book of the Old Edinburgh Club. New series Vol. 7 pp. 43-52	2008
	Publication offprint 'Tait, R 2006 ' Configeration and dimensions of burgage plots in the burg of Edinburgh. Proc. Soc. Antiq. Scot. 136, 297-310	2006

APPENDIX 17: MAPS IN THE NATIONAL MAP LIBRARY OF SCOTLAND

Date	Author	Title	Comment
1582	Braun and Hogenburg	Edenburgum, Scotiae Metropolis	Shows open ground to the immediate south of the study area
1647	James Gordon	Edinodunensis Tabulam / Iacobus Gordinius P. Rothemayus.	Panoramic street scape and Riddle's Court facing south with formal garden plots
1693	John Slezer	'The southside of the Castle of Edinburgh' from Thatrum Scotiae	Panoramic street scape
1765	William Edgar	City and castle of Edinburgh	Block layout
1780	John Ainslie	City of Edinburgh	Block layout
1784	Alexander Kincaid	A plan of the city and suburbs of Edinburgh	Block layout
1804	John Ainslie	Old and New Town of Edinburgh and Leith with the proposed docks.	Block layout
1805	R Scott	The Strangers Guide, being a Plan of Edinburgh & Leith exhibiting all the streets principal buildings & late improvements...	Block layout
1814	James Gordon	Frederik de WIT –Plan of Edinburgh, exactly done	Block layout
1817	Robert Kirkwood	This plan of the City of Edinburgh and its environs	Block layout
1821	James Kirkwood	Kirkwood's new plan of the city of Edinburgh	Block layout
1823	John Wood	Plan of the City of Edinburgh, including all the latest intended improvements	Block layout
1828*	Thomas Hamilton	Plan of the area showing Victoria Street (Bow Street) as to be altered.	Item EDD551/2 in RCAHMS
1836	James Kay	Kay's plan of Edinburgh	Victoria Street shown
1837	Robert Stevenson	The City of Edinburgh	Victoria Street shown
1851	Alfred Lancefield	Johnston's plan of Edinburgh and Leith, Left Side	Victoria Street shown
1853	Ordnance Survey	Town Plan of Edinburgh, Sheet 35	Shows passage from Victoria Street into Inner Close
1877	Ordnance Survey	Town Plan of Edinburgh, Sheet 35	Names churches on either side of Riddle's Close

1828* Thomas Hamilton plan is held in the National Monuments Record Scotland (NMRS)

APPENDIX 18: COMMISSIONERS RECORD BOOKS: EDINBURGH CITY ARCHIVES (Anne Schmidt)

Notes:

Italics: Notes the author has included for explanation or better understanding.

“Quotation Marks”: Direct quotes from the records.

Bold: Highlighted text by the author to facilitate reading

[Square Brackets]: references to other sources from the archives mentioned in this document

Plans and Works Minute Book Vol II – SL63/1/1G

pp. 341-346 Lawnmarket Properties are to be sold off

p. 366 subcommittee to investigate temporary communication between Lawnmarket and Grassmarket

p. 516 **11. Jan 1836** report by W. Smith to establish Bow Street Plan of Terrace Feuing [see also SL63/1/1D]

- Thoroughfare from Lawnmarket through Fisher’s Close not adopted – would be stair with 40 steps and thus a nuisance for the public
- Feuars will have a double line of shops = would compensate for area over terrace shops
- Estimating £1120 for purchase of 37 feet of feuing grounds and old material
 - o £700 profit keeping it up
- Report on Victoria Terrace and Riddle’s Court from the 10.11.1836

p. 519 “In an architectural point of view it will be the means of keeping up that **picturesque character** which is so conspicuous at present in that lofty group of houses situated between Bow Street and the Lawnmarket.

“This terrace will leave the advantage over Leith Terrace – first – by being **necessary as a public thoroughfare** – and second – by leaving no stair to raise to it.

“But there is one obstacle to this adoption of the terrace at the outset which I beg to notice namely – the commissioners will have to build the mason work of the terrace shops, or at least to the extent that may not be sold or feued off at the time. As the terrace will be of no use to the public as a thoroughfare, or to individual purchasers until it is completed from end to end, but this outlay would of course be repaid by the purchasers of the different lots and I have no doubt will meet with a ready sale.”

p. 542 **11. Feb 1836**

“There laid upon the table and opened by the chairman the following estimates for making additions and alterations on the house at the bottom of **Riddle’s Close** purchased from the solicitors at law, and for forming the retaining walls, cellarage of the terrace along Bow Street.

	Terrace	House	Total
J Gibson	£678	£728	£1406
Young+French	£918	£820	£1738
G Trotter	£730	£720	£1450
Sim	£814	£810.14	£1625.14
Shenan+Paterson	£769	£821	£1590

“The committee recommended to the commission to accept of M. Gibson’s offer as being the lowest.”

20. Feb 1836

“W Smith laid upon the table the working plans of the house in **Riddle’s Court** the low part of which is to be converted into shops fronting the terrace and otherwise improved.

“W Smith stated that with a view of enhancing the value of the whole property and enlarging the shop he had caused the survey or to measure and calculate the expense of taking down the whole front and rebuilding it forward to the **permanent curved line of Bow Terrace** and which he found amounted to the **sum of £95** Sterling which he considered very moderate for such an extend of work.

“The committee after hearing W Smiths explanations and examining his plans unanimously approved of the same as **being a means of enlarging and greatly improving that fine old building.**”

p. 554 **28. Mar 1836**

“The working drawings of the house at the foot of **Riddle’s Close** and report by W Smith and estimates of the expense were laid on the table and W Smith explained certain alterations which he proposed to be made.

“The committee considered this as being a matter of **urgency and beneficial to the property** approved of the alterations and authorised W Smith to proceed accordingly with them, the front of the house being of course rubble.”

Plans and Works Minute Book Vol III – SL63/1/1E

23. Jan 1837

“Victoria Street House”

“A report by M. George Smith under the permit from the commission of the 10. November last on the value of the shops and houses in Victoria Terrace and property in Riddle’s Court was read and considered.

“Before disposing of the report the clerk stated that with the concurrence of some members of the commission and owing to the urgency of the matter he had prepared an **advertisement of the sale to take place on Wednesday the 1st Mar** and had inserted the same in all the Edinburgh newspapers.

“The committee approved of this.

“The committee then approved generally of the report and agreed that the whole property should be exposed in one or more lots as may suit the intending purchaser or purchasers and at the upset prices recommended in the report that the **feu duty upon the whole tenement be fixed at £60** Sterling and that the feu duty if put in different lots shall be apportioned to each of these lots as provided for in the report that **no diminution of the feu duty should be made** – but that it should be left optional and in the powers of the following committee if they judged such proper to order a reasonable abatement to be made from the upset price of the tenement or the portions thereof exposed to sale.”

- [For name change see SL63/1/1D, 6. Oct 1826]

- *Title of report is Victoria Street House – another name for Riddle’s Court*

1. Feb 1837

- Riddle’s Court put up to **pullie sale at stated price of £60, no offerers appeared**
- Talked about sale of feuing grounds, the whole property or only parts of it

17. Feb 1837

“Estimates for fitting up **M Glasses premises** with gas were opened in presence of the meeting by the chairman and found to be as follows

Hay	£23
Brodie+Hume	£18.10
W Eskine	£22

“The committee accepted of Brodie and Humes estimates as being the lowest and authorised the works to be forthwith proceeded with.”

- *Reference to Riddle’s Court in connection to this*

Improvements Committee Minute Book – SL63/1/1D

14. Apr 1836

- “**The Bow House, Riddle’s Court**” – *another name for the house*

14. July 1836

“**Lot N° 7 The Terrace**: This lot comprehends the old tenement at the bottom of Riddle’s Court with the new extended front to Bow Street. **It measures 50 feet in front which at £25 per foot would be £62 of annual feu duty and the value of the tenement be stated at £2000.**”

6. Oct 1826

“Baillie Donaldson then moved and it was unanimously agreed to that the new approach leading from George IV Bridge at Malbourne Place to the Grassmarket be called ‘**Victoria Street**’ and that the terrace leading from the bridge to the head o the old Bow be called ‘**Victoria Terrace**’.”

10. Nov 1837

- *No report but there was a meeting* [see SL63/1/1E, 23. Jan 1837]

9. Feb 1837

- Report with Victoria Street House read. [see SL63/1/1E, 23. Jan 1837]

8. Feb 1838

- Victoria Terrace is extended to George IV Bridge by L.A.Wallace for £539 – shops might be unproductive and unoccupied if the terrace is not continued.

18. Feb 1839

“The following minutes of the feuing committee of 8th instant was read.

“The Cler stated that Mr Luke wished to be informed whether the commissioners intend to remain in the present chambers for another year from Whitsunday (15th May) next.

‘Before giving any opinion on the matter the committee adjourned along with Mr. Smith to inspect the premises belonging to the Commission in Victoria Terrace.

‘After minutely examining the eastern apartments in the terrace the committee was unanimously of opinion and accordingly recommended to the commission to give up the present office as of Whitsunday next and to remove to the premises in the terrace.

Reasons:

1. Superior in accommodation
2. Centrally located with 4 access points (West Approach, Two from Lawnmarket, One from the Terrace)
3. Premises have remained unoccupied and consequently unproductive since finished
4. Moving there will facilitate letting other properties of the commissions in the area

‘Upon the whole both as a matter of prudence and economy the committee have no hesitation to recommending to the commission to remove to the above premises at the term of Whitsunday next’

“The commission unanimously approved.”

Survey and Valuation Book - SL63/3/7/3

Bow Survey B – Grassmarket Communication (around 1828)

17 Riddle’s Court, Proprietor Mr Finnie, Brickmaker

- Premises occupied by Mr Finnie being (2) temporary brick shop with top hart [sic], (2) Small brick buildings for shops appended to back of large tenement, 2 stories high with platform roof of lead.
- (3) East projecting jamb of house
- (4) West projecting jamb (5)(5)(5) (*not quite sure what that meant...*)
- Main House with back jamb to the court. His whole premises consists of yard, workshop on south side, 3 stories of back jamb marked (3) and 3 stories of back jamb marked (4). 2 stories of back building with platform roof marked (3). The whole flat of main house marked (5)(5)(5) with back jamb and 3 vaulted cellars on sunk floor, the west half of sunk floor belongs to Society of Solicitors.

Mr. Finnie

- (3) East jamb, 2nd floor – 1 tenant, 2 apartments
- (4) west jamb, 2nd floor – 4 apartments, 2 tenants
- Riddle’s Close (5) back court to north – 2 apartments + closet, 1 tenant

Society of Solicitors

- Vaults – 2 large vaulted cellars, west end of main house being the original kitchen + let as a Tobacco cellar

- First Floor Up – Premises occupied by the society as their hall containing 2 large rooms in middle part 3 rooms in the west jamb and a large room in the east jamb
- Attics – the whole of this flat containing the same number of apartments big 5 rooms + closets [sic] is let as a parochial school to the session of New North Church

Financial Report - SL63/3/3/1

Society of Solicitors + Mr. Feinay [sic](*Fennie?*)
 Back Property (*of the one above?*)

£ 1680
 £ 749

Improvement Act 1827 – SL63/4/11

List of Properties where changes need to be made in order to complete the improvement
 67 Riddle's Court

	Owner	Occupier	Description
R	Mr. Wm Fennie	Mrs Kidd	Dwelling House
	-	Ebenezer Square	-
	-	Peter Coyle	-
	-	Donald Buchannan	-
	-	Kenneth Mackenzie	-
	-	Himself	Shop and Yard
	-		Shed and Pitch House
NL	Solicitors at Law, (R. Prentice)	Themselves	Dwelling House and Hall
	-	James Shaw	Printing Office
	-	-	Cellar

Name: Anne Schmidt

Dates Archive was consulted: Every Wednesday between 16. Jan – 13. Feb 2013-02-13

Date: 13. Feb 2013

APPENDIX 19: PHOTOGRAPHIC REGISTER & LOCATION PLANS

Folder 1

Shot No	Summary description of subject	LDN Room No	Comments/ Light
001	North Block, Interior second floor, north wall	S03	Flash
002	North Block, Interior second floor, east wall	S03	Flash
003	North Block, Interior second floor, south wall	S03	Flash
004	North Block, Interior second floor, west wall	S03	Flash
005	North Block, Interior second floor, east wall entrance	S03	Flash
006	North Block, Interior second floor, north wall	S02	Flash
007	North Block, Interior second floor, fireplace on north wall	S02	Flash
008	North Block, Interior second floor, east wall	S02	Flash
009	North Block, Interior second floor, south wall	S02	Flash
010	North Block, Interior second floor, south wall arch above window	S02	Flash
011	North Block, Interior second floor, west wall	S02	Flash
012	North Block, Interior second floor, WC interior	S05	Flash
013	North Block, Interior second floor, toilet east wall	S05	Flash
014	North Block, Interior second floor, east wall	S05	Flash
015	North Block, Interior second floor, south wall	S05	Flash
016	North Block, Interior second floor, west wall, wash hand basin	S05	Flash
017	North Block, Interior second floor, north wall	S04	Flash
018	North Block, Interior second floor, east wall	S04	Flash
019	North Block, Interior second floor, west wall	S04	Flash
020	North Block, Interior second floor, south wall with fenestration	S04	Flash
021	North Block, Interior second floor, corridor east wall and door to WC	S01	Flash
022	North Block, Interior second floor, corridor and door to Office S02	S01	Flash
023	North Block, Interior first floor, north wall, west end	F03	Flash
024	North Block, Interior first floor, north wall, east end	F03	Flash
025	North Block, Interior first floor, east wall fireplace (close up)	F03	Flash
026	North Block, Interior first floor, east wall fireplace (general)	F03	Flash
027	North Block, Interior first floor, south wall, east end	F03	Flash
028	North Block, Interior first floor, south wall, arched niches	F03	Flash
029	North Block, Interior first floor, south wall, arch above window	F03	Flash
030	North Block, Interior first floor, south wall, narrow window	F03	Flash
031	North Block, Interior first floor, south wall, entrance to F04	F03	Flash
032	North Block, Interior first floor, north wall and doorway	F04	Flash
033	North Block, Interior first floor, east wall plank clad wall	F04	Flash
034	North Block, Interior first floor, south wall and dormer window	F04	Flash
035	North Block, Interior first floor, west wall and central window	F04	Flash
036	North Block, Interior first floor, north wall and	F04	Flash

Shot No	Summary description of subject	LDN Room No	Comments/ Light
	central window		
037	North Block, Interior first floor, north wall, beam room	F02	Flash
038	North Block, Interior first floor, east wall, beam room	F02	Flash
039	North Block, Interior first floor, south wall, beam room	F02	Flash
040	North Block, Interior first floor, west wall, beam room	F02	Flash
041	North Block, Interior first floor, west wall, cut back wall and step feature on the north side of the chimneybreast	F02	Flash
042	North Block, Interior first floor, looking up on the painted beams	F02	Flash
043	North Block, Interior first floor, corridor, north wall window	F01	Flash
044	North Block, Interior first floor, corridor, north wall window	F01	Flash
045	North Block, Interior first floor, corridor staircase looking west	F01	Flash
046	North Block, Interior first floor, corridor staircase looking west	F01	Flash
047	North Block, Interior first floor, corridor facing east on staircase	F01	Flash
048	North Block, Interior first floor, corridor staircase looking west	F01	Flash
049	North Block, Interior first floor, recess above the toilet	F01	Flash
050	North Block, Interior first floor, north wall window	F01	Flash
051	North Block, Interior staircase window on the north wall	Stair 01	Flash
052	North Block, Interior first floor, stair 01 looking up	Stair 01	Flash
053	North Block, Interior first floor, stair 01 looking up	Stair 01	Flash
054	North Block, Interior first floor, stair 01 looking up from GF	Stair 01	Flash
055	North Block, Ground floor, oblique view of kitchen area	G04	Flash
056	North Block, Ground floor, oblique view of kitchen area	G04	Flash
057	North Block, Ground floor, east wall, blocked in fireplace	G04	Flash
058	North Block, Ground floor, south wall, arched entrance leading to Room G06	G04	Flash
059	North Block, Ground floor, south wall, arched entrance leading to Room G06	G04	Flash
060	North Block, Ground floor, south wall, sash and case window	G04	Flash
061	North Block, Ground floor, south wall, fire exit to courtyard	G04	Flash
062	North Block, Ground floor, west wall with free standing cupboard	G04	Flash
063	North Block, ground floor, south wall, interior fire exit to vestibule	G04	Flash
064	North Block, Ground floor, east wall, general shot of the blocked fireplace	G04	Flash
065	East Block, ground floor, north wall arched and square opening into G04	G06	Flash
066	East Block, Ground floor, east wall with arched niche	G06	Flash

Shot No	Summary description of subject	LDN Room No	Comments/ Light
067	East Block, Ground floor, south wall, arched opening into G07	G06	Flash
068	East Block, Ground floor, west wall, central window, sash and case	G06	Flash
069	South Block, Ground floor, north wall, fire exit, cupboard and door to G06	G07	Flash
070	South Block, Ground floor, north wall, door to G06 and arched opening	G07	Flash
071	South Block, Ground floor, east wall, arched niche	G07	Flash
072	South Block, Ground floor, south partition wall, with window and beam above	G07	Flash
073	South block, Ground floor, west wall, cupboard housing electrical switch gear	G07	Flash
074	South Block, Ground floor, north wall, west end, door top G10	G08	Flash
075	South Block, Ground floor, north wall, west end, door top G10	G08	Flash
076	South Block, Ground floor, north wall, west end, door top cupboard D03 and Stair 02	G08	Flash
077	South Block, Ground floor, north wall, east end, door to G07	G08	Flash
078	South Block, Ground floor, east wall, general view	G08	Flash
079	South Block, Ground floor, south wall, east end, fenestration	G08	Flash
080	South Block, Ground floor, south wall, mid section, fenestration	G08	Flash
081	South Block, Ground floor, south wall, west end, fenestration	G08	Flash
082	South Block, Ground floor, west wall, 18 th century fireplace	G08	Flash
083	South Block, Ground floor, west wall, 18 th century fireplace	G08	Flash
084	South Block, Ground floor, west wall, fireplace mantle	G08	Flash
085	South Block, Ground floor, west wall, fireplace surround	G08	Flash
086	South Block, Ground floor, west wall, fireplace, general view	G08	Flash
087	South Block, Ground floor, ceiling and beam from west end	G08	Flash
088	South Block, Ground floor, ceiling and beam from east end	G08	Flash
089	South Block, Ground floor, moulded cornice above the fireplace	G08	Flash
090	South Block, Ground floor, moulded cornice general shot	G08	Flash
090	South Block, Ground floor, moulded cornice above windows	G08	Flash
091	South Block, Ground floor, moulded cornice above windows	G08	Flash
092	South Block, Ground floor, looking up staircase 02	Stairs 02	Flash
093	South Block, First floor, looking down staircase 02	Stairs 02	Flash
094	South Block, First floor, moulded door surround to F12	Stairs 02	Flash
095	South block, first floor, four paneled door in room F12	F12	Flash
096	South block, first floor, east wall, storage clutter	F12	Flash

Shot No	Summary description of subject	LDN Room No	Comments/ Light
097	South block, first floor, east and flanking walls	F12	Flash
098	South Block, First floor, moulded door surround to F12	F12	Flash
099	South Block, First floor, window on landing at top of staircase 02	F11	Flash
100	South Block, Ground floor, cupboard D03, old stud partition work	G08/D03	Flash
101	South Block, Ground floor, cupboard D03, old stud partition work	G08/D03	Flash
102	South Block, Ground floor, cupboard D03, plank wall lining	G08/D03	Flash
103	South Block, Ground floor, cupboard D03, plank wall lining with shelving scars	G08/D03	Flash
104	South Block, Ground floor, cupboard D03, plank wall lining with shelving scars	G08/D03	Flash
105	South Block, Ground floor, cupboard D03, shelving	G08/D03	Flash
106	South Block, Ground floor, cupboard D03, shelving and stair tread above	G08/D03	Flash
107	South Block, Ground floor, hallway G10, facing north	G10	Flash
108	South Block, Ground floor, hallway G10, facing south	G10	Flash
109	South Block, Ground floor, hallway G10, doors to WC's (G11& G12)	G10	Flash
110	South Block, Ground floor, door to mens WC	G10	Flash
111	South Block, Ground floor, west wall, window above basins	G11	Flash
112	South Block, Ground floor, north-west wall and doorway	G11	Flash
113	South Block, Ground floor, mens toilet on south wall	G11	Flash
114	South Block, Ground floor, urinals on north wall	G11	Flash
115	South Block, Ground floor, window on east wall of ladies WC	G12	Flash
116	South Block, Ground floor, windows on east wall of ladies WC	G12	Flash
117	South Block, Ground floor, doorway into ladies WC	G12	Flash
118	South Block, Ground floor, west wall, arched niche and window	G12	Flash
119	North Block, Ground floor, north wall window, interior of cellar G02	G02	Flash
120	North Block, Ground floor, north wall window, interior of cellar G02	G02	Flash
121	North Block, Ground floor, north wall, arched niche and blocking work	G02	Flash
122	North Block, Ground floor, north wall, arched niche and blocking work, close-up on the edge of the blocking work	G02	Flash
123	North Block, Ground floor, south partition wall, blocked doorway, lower fabric and re-used stone	G02	Flash
124	North Block, Ground floor, south partition wall, door frame in blocking work	G02	Flash
125	North Block, Ground floor, south partition wall, blocked doorway, lower fabric and re-used stone detailed shot	G02	Flash
126	North Block, Ground floor, south partition wall, blocked doorway, lower fabric and general detail of the partition wall fabric	G02	Flash

Shot No	Summary description of subject	LDN Room No	Comments/ Light
127	North Block, Ground floor, oak floor joist timbers	G02	Flash
128	North Block, Ground floor, interior side of the varnished oak door on the east wall	G02	Flash
129	North Block, Ground floor, oak floor joist timbers, showing condition	G02	Flash
130	North Block, Ground floor, arched niche on north wall of G01 condition	G01	Flash
131	North Block, Ground floor, segmented arch detail in the niche on the south wall of G01	G01	Flash
132	North Block, Ground floor, wall and doorway into cellar G01	G01	Flash
133	North Block, Ground floor, segmented relieving arch and concrete lintel above the door into cellar G01	G01	Flash
134	North Block, Ground floor, stud timber framework for removed wall lining on the north wall of cellar G01	G01	Flash
135	North Block, Ground floor, stud timber framework for removed wall lining on the west wall of cellar G01	G01	Flash
136	North Block, Ground floor, oak floor joist timbers, in cellar G01	G01	Flash
137	North Block, Ground floor, oak floor joist timbers, in cellar G01	G01	Flash
138	South Block, Second floor, north wall, window detail, general shot	S08	Flash
139	South Block, Second floor, east wall, window detail, general shot	S08	Flash
140	South Block, Second floor, south wall, window detail, general shot of niche and press door	S08	Flash
141	South Block, Second floor, west wall, doorway and steps to interior of the room	S08	Flash
142	South Block, Second floor, south wall cupboard detail	S08	Flash
143	South Block, Second floor, west wall, below stairs cupboard door	S08	Flash
144	South Block, Second floor, north wall, general shot	S11	Flash
145	South Block, Second floor, east wall, general shot	S11	Flash
146	South Block, Second floor, south wall, general shot	S11	Flash
147	South Block, Second floor, south wall, general shot	S11	Flash
148	South Block, Second floor, west wall, general shot	S11	Flash
149	South Block, Second floor, stairs S05 looking up	S05	Flash
150	South Block, Second floor, stairs S05 top landing to S11	S05	Flash
151	South Block, Second floor, stairs S05 looking on irregular wall edge on the east wall	S05	Flash
152	South Block, Second floor, stairs S05, landing window on north wall at the bottom of the stairs	S05	Flash
153	South Block, Second floor, hall S07, door to turnpike staircase	S07	Flash
154	South Block, Second floor, north wall, windows lighting turnpike staircase S06	S06	Flash
155	South Block, Second floor, north wall, lower window lighting turnpike staircase S06	S06	Flash
156	North Block, exterior north-facing elevation, wall head, Riddles Court		Flash
157	North Block, exterior north-facing elevation, fenestration, Riddles Court		Flash

Shot No	Summary description of subject	LDN Room No	Comments/ Light
158	West Block, west-facing elevation, ground floor window surrounds with window bar sockets		Flash
159	West Block, west-facing elevation, ground floor window surrounds with window bar sockets		Flash
160	West Block, west-facing elevation, ground floor window surrounds		Flash
161	North Block, west-facing elevation, north end, general shot		Flash
162	North block, north-facing elevation, render and exposed fabric, fenestration		Flash
163	North block, north-facing elevation, render and exposed fabric, fenestration		Flash
164	North block, north-facing elevation, outshot wall and fenestration		Flash
165	North block, north-facing elevation, outshot wall and fenestration		Flash
166	South Block, Second floor, north wall and entrance	S17	Flash
167	South Block, Second floor, east wall	S17	Flash
168	South Block, Second floor, south wall and window	S17	Flash
169	North block, exterior north-facing elevation and NLS building		Flash
170	North block, exterior north-facing elevation and NLS building		Flash
171	North block, exterior north-facing elevation, corballed out ashlar above WEA entrance door		Flash
172	North block, exterior north-facing elevation, corballed out ashlar above WEA entrance door		Flash
173	North Block, exterior north-facing elevation, door jamb of the demolished tenement formerly adjoin the north block		Flash
174	North Block, exterior north-facing elevation, door jamb of the demolished tenement formerly adjoin the north block		Flash
175	North Block, exterior north-facing elevation, door jamb of the demolished tenement formerly adjoin the north block		Flash
176	North Block, exterior north-facing elevation, ashlar arch above the pend to Riddle's Close		Flash
177	North Block, exterior east-facing elevation, pend arch and window in G02		Flash
178	North Block, exterior west-facing elevation, pend arch and door to G01		Flash
179	North Block, exterior east-facing elevation, pend arch and window in G02		Flash
180	North Block, exterior south-facing elevation, pend arch and fenestration		Flash
181	North Block, exterior south-facing elevation, pend arch and fenestration, wall head		Flash
182	West Block, exterior east-facing elevation, wall and fenestration		Flash
183	West Block, exterior east-facing elevation, wall and fenestration		Flash
184	East Block, exterior west facing elevation, chimney stack, general shot		Flash
185	South Block, north-facing elevation, stone built hood/canopy feature above the window		Flash
186	South block, exterior north-facing elevation ground		Flash

Shot No	Summary description of subject	LDN Room No	Comments/ Light
	floor level		
187	South block, exterior north-facing elevation, general shot		Flash
188	South block, exterior north-facing elevation hood/canopy feature		Flash
189	West Block, exterior east-facing elevation ground floor level		Flash
190	West Block, exterior east-facing elevation general shot		Flash
191	West Block, exterior east-facing elevation wall head and stringcourse		Flash
192	West Block, exterior east-facing elevation, fenestration, wall head and stringcourse		Flash
193	West Block, east-facing elevation wall alignment		Flash
194	South Block, Second floor, east wall of S20	S20	Flash
195	South Block, Second floor, north wall of kitchen	S15	Flash
196	South Block, Second floor, east wall of kitchen	S15	Flash
197	South Block, Second floor, west wall, kitchen window	S15	Flash
198	South Block, Second floor, east wall of photocopy room	S18	Flash
199	South Block, Second floor, west wall door into the photocopy room	S18	Flash
200	South Block, Second floor, photocopy room, roof light	S18	Flash
201	South Block, Second floor, entrance into stores S19	S19	Flash
202	South Block, Second floor, interior, entrance into stores S19	S19	Flash
203	South Block, Second floor, entrance into stores S19 with stair tread above the door	S18	Flash
204	South Block, Second floor, ceiling within stores S19 showing stair tread		Flash
205	South Block, Second floor, interior entrance door leading to S18		Flash
206	South Block, Second floor S19 press on west wall	S19	Flash
207	South Block, Second floor, north wall and door	S20	Flash
208	South Block, Second floor, east wall	S20	Flash
209	South Block, Second floor, south wall and window	S20	Flash
210	South Block, Second floor, west wall and window reveal	S20	Flash
211	South Block, Second floor, hall S16, door to photocopy room	S16	Flash
212	South Block, Second floor, door to photocopy room S18	S16	Flash
213	South Block, Second floor, stair to mezzanine level looking south	Stair 07	Flash
214	West Block, Second floor, interior west wall bathroom	S14	Flash
215	West Block, Second floor, interior east wall bathroom door	S14	Flash
216	West block, Interior east wall, closet feature	of S12	Flash
218	South Block, turnpike staircase, top landing	Stair 03	Flash
219	South Block, turnpike staircase newal at the top landing	Stair 03	Flash
220	South Block, turnpike staircase, stone treads and newal between top landing and first floor	Stair 03	Flash
221	South Block, turnpike staircase newal at the top	Stair 03	Flash

Shot No	Summary description of subject	LDN Room No	Comments/ Light
	landing		
222	South Block, turnpike staircase, stone treads and newal between ground and first floor levels	Stair 03	Flash
223	South block, turnpike staircase, ground floor level and entrance	Stair 03	Flash
224	South block, turnpike staircase, ground floor level and entrance	Stair 03	Flash
225	West Block, First floor, north wall and fireplace	F08	Flash
226	West Block, First floor, east wall and central window	F08	Flash
227	West Block, First floor, east wall and central window	F08	Flash
228	West Block, First floor, south entrance and doorway	F08	Flash
229	West Block, First floor, west wall and two sash and case windows	F08	Flash
230	West Block, First floor, east wall fireplace in detail	F08	Flash
231	West Block, First floor, east wall fireplace in detail	F08	Flash
232	West Block, First floor, west wall cupboard	F08	Flash
233	West Block, Second floor, North wall and fireplace	S13	Flash
234	West Block, Second floor, east wall and window	S13	Flash
235	West Block, Second floor, south wall and doorway	S13	Flash
236	West Block, Second floor, east wall and window	S13	Flash
237	South Block, west end, cupboard with inspection opening showing relieving arch	F09	Flash
238	South Block, First floor, west end, cupboard with inspection opening showing relieving arch	F09	Flash
239	South Block, First floor, east wall and entrance to Room F10	F09	Flash
240	South Block, First floor, south wall and windows	F09	Flash
241	South Block, First floor, east wall general view	F09	Flash
242	South Block, First Floor, north wall and fireplace	F09	Flash
243	South Block, First Floor, north wall and fireplace	F09	Flash
244	South Block, First Floor, north wall and fireplace	F09	Flash
245	South Block, First Floor, north wall fireplace	F10	Flash
246	South Block, First Floor, east wall, false bookcases	F10	Flash
247	South wall, windows and seating	F10	Flash
248	South Block, First Floor, west wall and door to Room F09	F10	Flash
249	North Block, west-facing elevation, fenestration		Flash
250	North Block, west-facing elevation, exposed wall fabric where harling has fallen off		Flash
251	North Block, exterior west-facing elevation, exposed wall fabric where harling has fallen off and first floor fenestration		Flash
252	North Block, exterior west-facing elevation, exposed wall fabric where harling has fallen off , first floor fenestration and wall head		Flash
253	North Block, exterior west-facing wall alignment showing footings		Flash
254	North Block, exterior west-facing elevation with the remains of a door jamb protruding from the wall		Flash
255	North Block, exterior west-facing elevation with the remains of a door jamb protruding from the wall		Flash
256	North Block, exterior west-facing elevation, ground floor window detail		Flash
257	North Block, exterior west-facing elevation, ground floor window detail		Flash
258	North Block, exterior west-facing elevation, ground		Flash

Shot No	Summary description of subject	LDN Room No	Comments/ Light
	floor revetment wall running off the elevation		
259	Basement level, press off Room B10	B10.001	Flash
260	Basement level north wall taken from the south west	B10	Flash
261	Basement level, east wall Room B10, general view	B10	Flash
262	Basement level, east wall Room B10, general view	B10	Flash
263	Basement level, south wall and doorway, Room B10, general view	B10	Flash
264	Basement level, north wall and entrance to Room B10	B09	Flash
265	Basement level, east wall in Room B10	B09	Flash
266	Basement level, south wall in Room B10	B09	Flash
267	Basement level, west wall in Room B10	B09	Flash
268	Basement level, Stair 06 looking upwards (north)	Stair 06	Flash
269	Basement level, Stair 06 looking upwards (north)	Stair 06	Flash
270	Basement level, Stair 06 down above the door on blocking work	Stair 06	Flash
271	Basement level, Stair 06 looking upwards (north)	B06	Flash
272	Basement level, Storage area, Room B06 below Stair 06	B06	Flash
273	Basement level, Storage area, Room B06, arched niche on east wall	B06	Flash
274	Basement level, Storage area, stair treads in ceiling in passage B04	B04	Flash
275	Basement level, Storage area, stair treads in ceiling in passage B04	B04	Flash
276	Basement level, west end Press, B03 window on west wall	B05	Flash
277	Basement level, west end Press, B03 window on west wall	B05	Flash
278	Basement level, north end of WC and showers, B07	B07	Flash
279	Basement level, north end of WC and showers, B08	B08	Flash
280	Basement level, passage B04, west end showing moulded doorframe to B07	B04	Flash
281	Basement level, passage B04, west end showing moulded doorframe to B07	B04 (underexp)	Flash
282	Basement level, passage B04, west end showing moulded doorframe to B07	B04	Flash
283	Exterior, South-facing elevation of the North Block, fenestration details		Flash
284	Exterior, South-facing elevation of the North Block, fenestration details		Flash
285	Exterior, South-facing elevation of the North Block, fenestration details		Flash
286	Basement level, north wall, Room B02	B02	Flash
287	Basement level, east wall, Room B02	B02	Flash
288	Basement level, south wall, Room B02	B02	Flash
289	Basement level, west wall, kitchen area, Room B02	B02	Flash
290	Basement level, west wall, kitchen area, Room B02	B02	Flash
291	Basement level, south wall, window, Room B02	B02	Flash
292	Basement level, press off alley outside Room B10 (site of stair)	B10	Flash
293	Basement level, press off alley outside Room B10 (site of stair)	B10	Flash
294	Basement level, press off alley outside Room B10 (site of stair)	B10	Flash
295	Basement level, press off alley outside Room B10	B10	Flash

Shot No	Summary description of subject	LDN Room No	Comments/Light
297	Basement level, press off alley outside Room B10	B10	Flash
298	South Block, Second floor, interior of press S07a showing irregular shaped entrance and wall	S07a	Flash
299	South Block, Second floor, interior of press S07a showing irregular shaped entrance and wall	S07a	Flash
300	South Block, Second floor, interior of press S07a showing irregular shaped entrance and wall	S07a	Flash
301	South Block, Second floor, north wall general shot	S10	Flash
302	South Block, Second floor, east wall fireplace detail	S10	Flash
303	South Block, Second floor, east wall fireplace detail	S10	Flash
304	South Block, Second floor, east wall fireplace detail	S10	Flash
305	South Block, Second floor, south wall	S10	Flash
306	South Block, Second floor, north wall and doorway	S10	Flash

Folder 2 Roofspace and other miscellaneous inspections

Shot No	Summary description of subject	LDN Room No	Comments/Light
001	Ground floor, Cupboard G08 interior cladding	G08	Flash
002	Ground floor, Cupboard G08 interior segmented relieving arch above the interior of the cupboard	G08	Flash
003	Ground floor, Cupboard G08 interior segmented relieving arch above the interior of the cupboard	G08	Flash
004	Ground floor, Cupboard G08 interior segmented relieving arch above the interior of the cupboard	G08	Flash
005	Ground floor, Cupboard G08 interior segmented relieving arch above the interior of the cupboard	G08	Flash
006	Ground floor, Cupboard G08 interior segmented relieving arch above the interior of the cupboard	G08	Flash
007	Ground floor, Cupboard G08 interior cladding	G08	Flash
008	Ground floor, Cupboard G08 interior cladding	G08	Flash
009	South Block, North side roof space, corbel on Chimney D supporting rafters		Flash
010	South Block, North side roof space, oak rafter and sarking boards		Flash
011	South Block, North side roof space, corbel on Chimney D supporting a timber plate		Flash
012	South Block, North side roof space, corbel on Chimney D supporting a timber plate		Flash
013	South Block, North side roof, cross member jointing on the rafters		Flash
014	South Block, North side roof space, rafters and sarking boards		Flash
015	South Block, North side roof space, rafter against a roof partition wall		Flash
016	South Block, North side roof space, corbel on Chimney D supporting a timber plate and rafter		Flash
017	South Block, North side roof space, corbel on Chimney D supporting a timber plate and rafter		Flash
018	Ground floor, G8 interior cladding in cupboard G08 001	G08	Flash
019	Ground floor, G8 interior cladding in cupboard G08 001	G08	Flash
020	Basement, west end, window in cupboard B05	B05	Flash
021	Basement, looking east along passage B04	B04	Flash

Shot No	Summary description of subject	LDN Room No	Comments/ Light
022	Basement, looking north in B07 on profile of the vaulted ceiling	B07	Flash
023	Basement B07, former window?	B07	Flash
024	Basement B07, former window?	B07	Flash
025	Basement B07, door surrounds to hall B04 from entrance to toilets	B07	Flash
026	Basement, stair treads above Stair 06 within the pend leading from basement to Riddle's Close,	Stair 06	Flash
027	South Block, roof space, lap-jointed collar on rafter showing rough tooling		Flash
028	South Block, roof space, pine collar with bark present		Flash
029	South Block, roof space, the ends of pine collars showing rough hewn ends of the collars		Flash
030	South Block, roof space mortise hole in one of the oak common rafters		Flash
031	South Block, roof space, numbering carved on the rafters		Flash
032	South Block, lap-jointed rafters with the tie beams (out of focus)		Flash
033	South Block, ridge piece and lap-jointed rafters		Flash
034	South Block, old rafters and 19 th century rafter visible		Flash
035	South Block, curious notch in one of the rafters		Flash
036	South block, rafter detail, numbering and remnants of sap wood		Flash
037	South Block, looking east on a partition wall with five A-frame rafters exposed		Flash
038	South Block, numbered collars and vertical bracing		Flash
039	South Block, mortise hole not in line with the end of the collar		Flash
040	South Block, mortise hole not in line with the end of the collar		Flash
041	South Block, mortise hole and outside collar		Flash
042	South Block, mortise hole with peg still in-situ		Flash
043	South Block, general view of the A-frame trusses		Flash
044	South Block, general view of a water tank		Flash
045	South Block, general view of the tie beams, rafters and partition wall looking east		Flash
046	North Block, exterior wall of Baden Powel House, relieving arch in the existing gable		Flash
047	North Block, Roof space, tie-beam ends protruding below the lattice configuration of the existing flat roof		Flash
048	North Block, general view of 19 th century lath work on the north side of the roof near access hatch		Flash
049	North Block, general view of the partition work supporting the lath and plaster		Flash
050	North Block, looking down on the remains of a window reveal at the north-east corner of the roof		Flash
051	North Block, section of the window reveal, showing rebate		Flash
052	North Block, top of the window remains showing grouted socket		Flash
053	North Block, top of the window remains showing grouted socket		Flash

Shot No	Summary description of subject	LDN Room No	Comments/ Light
054	North Block, top of the window remains showing moulded edge		Flash
055	North Block, top of the window remains showing moulded edge		Flash
056	North Block, fabric detail on part of the window remains		Flash
057	North Block, fabric detail on part of the window remains		Flash
058	North Block, fabric detail on lower section of the window remains		Flash
059	North Block, interior of the window reveal showing the remains of lime plaster		Flash

Key:

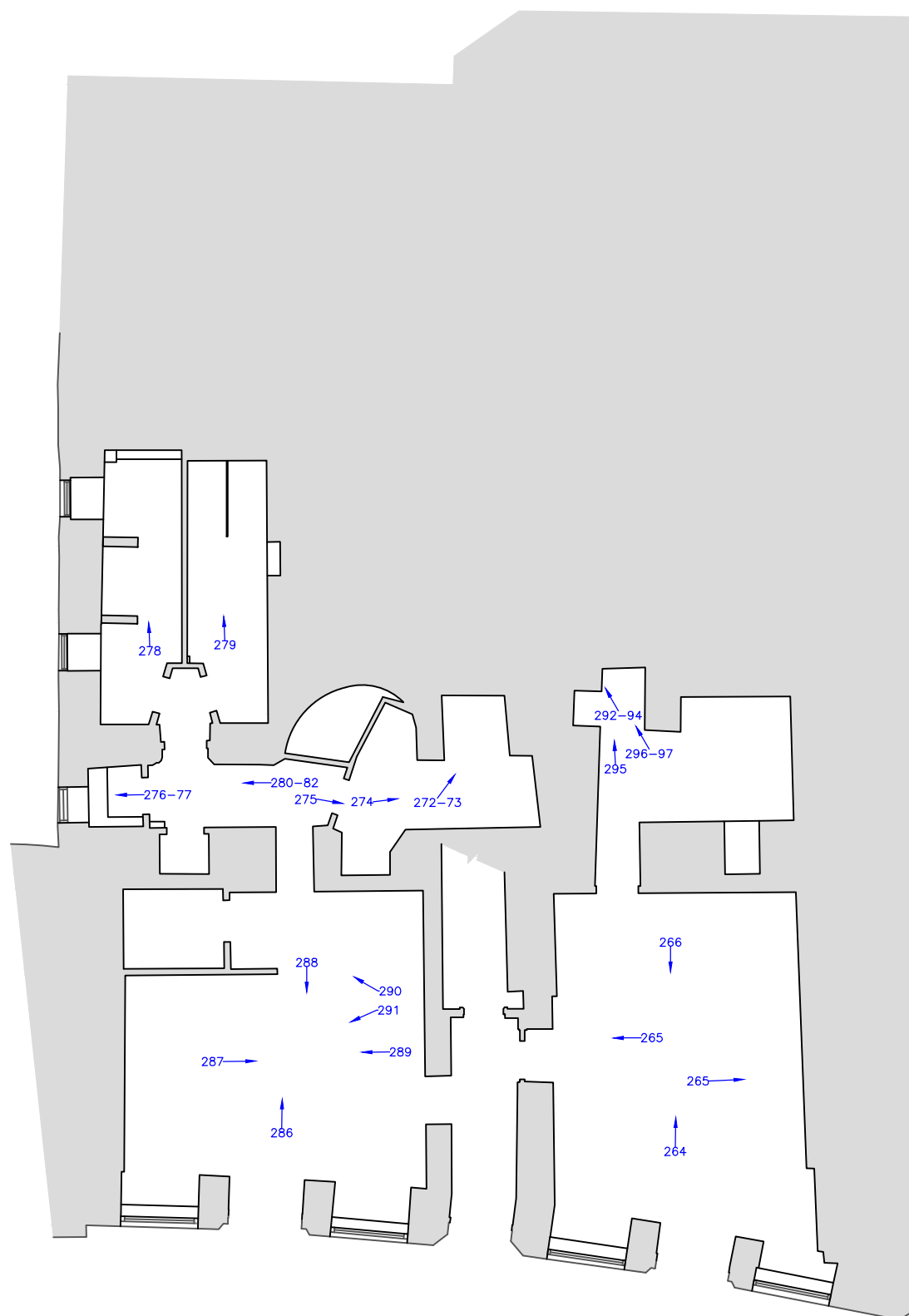


Photo location plan - Basement



Photo location plan - Ground floor

CFA ARCHAEOLOGY LTD
 The Old Engine House
 Eskmills Park
 Musselburgh
 East Lothian, EH21 7PQ
 t: 0131 273 4380
 f: 0131 273 4381
 e: info@cfa-archaeology.co.uk
 w: www.cfa-archaeology.co.uk

Fig. No: **Appendix** Revision: **0**

Title:
**Photo location plans -
 Basement and Ground floors**

Project:
**Riddle's Close,
 Lawnmarket, Edinburgh
 Historic Building Survey**

Client:
LDN on behalf of SHBT

Scale at A3:
1:125



Key:

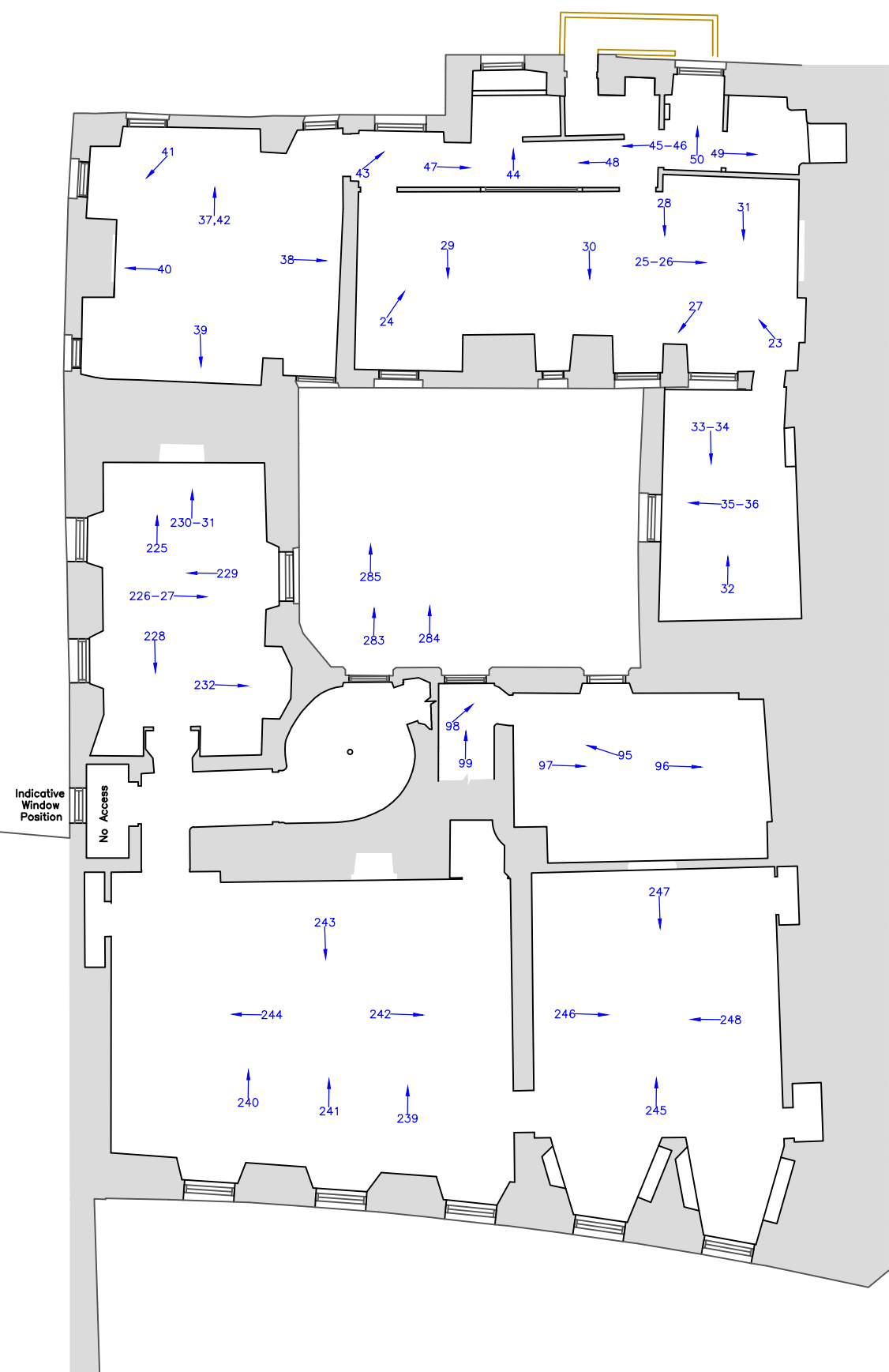
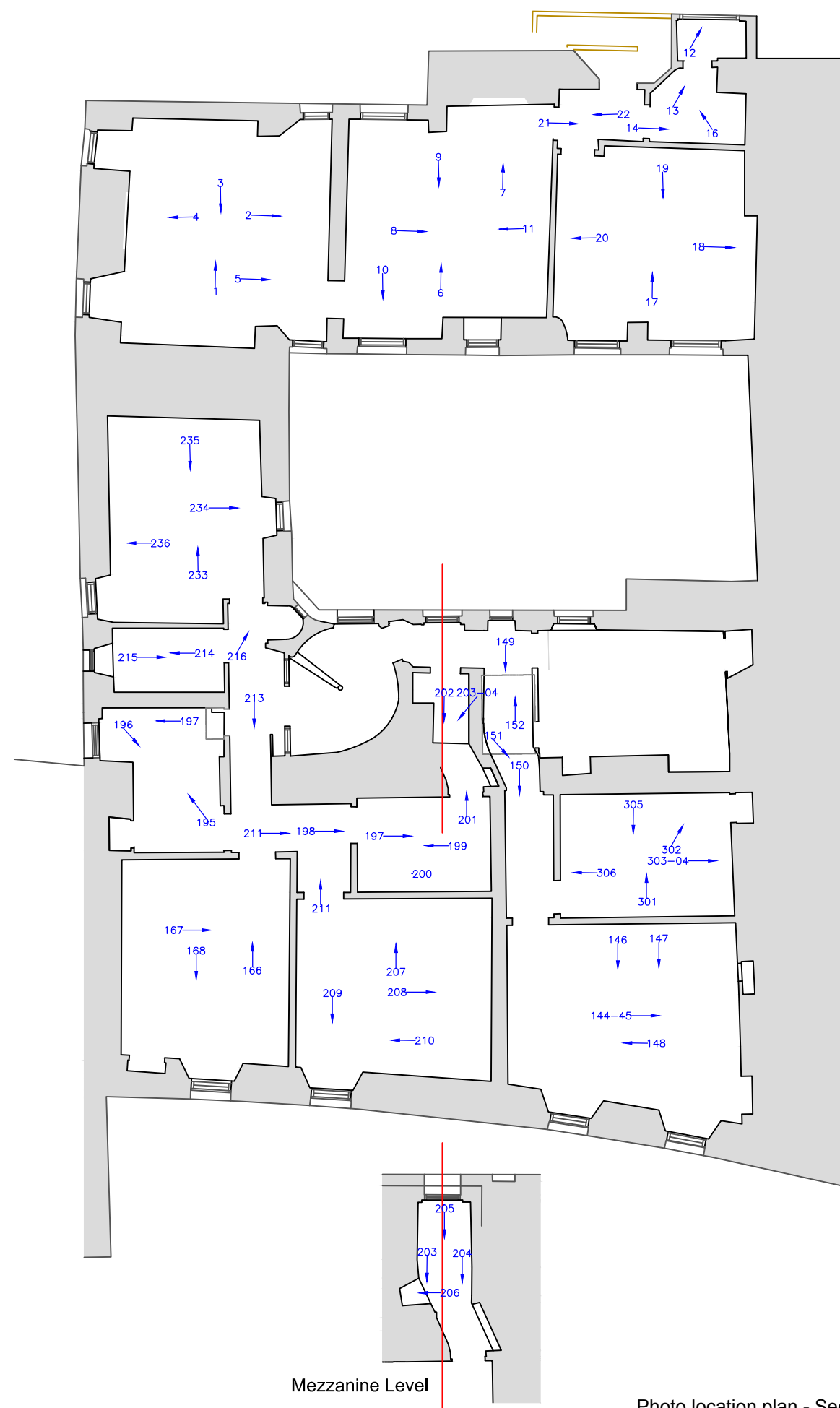


Photo location plan - First floor



Mezzanine Level

Photo location plan - Second floor

CFA ARCHAEOLOGY LTD
The Old Engine House
Eskmills Park
Musselburgh
East Lothian, EH21 7PQ
t: 0131 273 4380
f: 0131 273 4381
e: info@cfa-archaeology.co.uk
w: www.cfa-archaeology.co.uk

Fig. No: **Appendix** Revision: **0**

Title:
Photo location plans - First and second floors

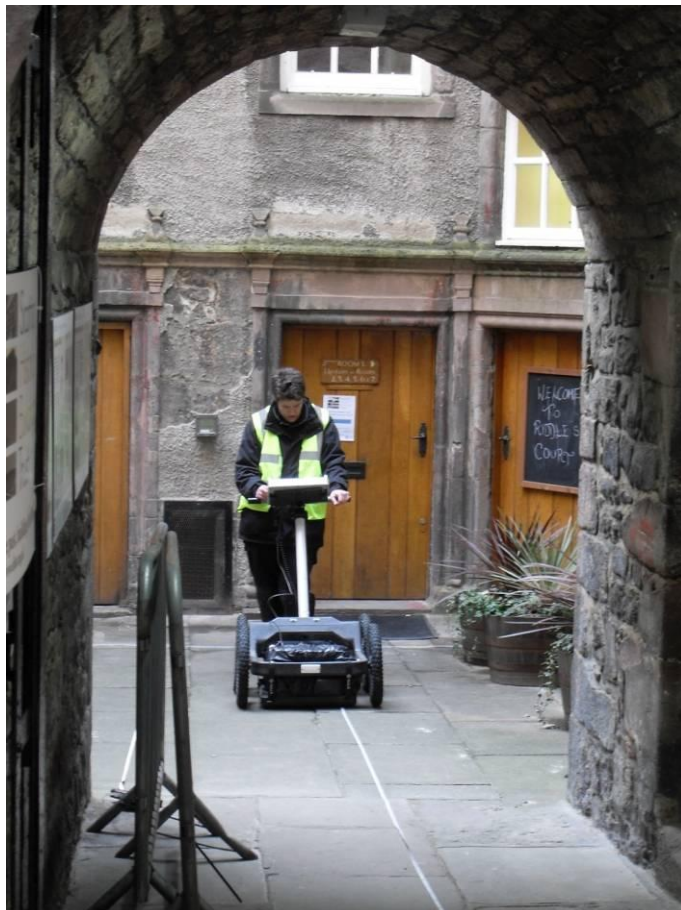
Project:
**Riddle's Close,
Lawnmarket, Edinburgh
Historic Building Survey**

Client:
LDN on behalf of SHBT

Scale at A3:
1:125



Geophysical Survey Report
Riddle's Court, Edinburgh
RGC1374RDC



On Behalf of:

CFA Archaeology Ltd



Rose Geophysical Consultants:
Specialising in Archaeological Survey and Consultancy



Rose Geophysical Consultants LLP:
Specialising in Archaeological Survey and Consultancy

5 Petticoat Lane
Orphir
Orkney
KW17 2 RP

Telephone: 01856 811783
Email: susan@rosegeophysics.co.uk
www.rosegeophysics.co.uk

Registered in Scotland No. 304077

VAT Registration No: 141 7787 93

Executive Summary

A Ground Penetrating Radar (GPR) survey was undertaken within several areas of Riddle's Court, Lawnmarket, Edinburgh.

The areas of both Courts have clearly undergone much alteration. This is particularly apparent in the east of the outer Court. Within both Courts services are apparent.

In the eastern side of the inner Court is a strong anomaly roughly 2m square that suggest stone foundations, but that could be a void. The cellar known to have had in its entrance hatch on the north-western side of the inner Court is not readily apparent suggesting that it has been in-filled. However, results from the East Link (G06) suggest that some part of the cellar may survive running under the building itself.

On the western side of the outer Court a variety of ephemeral confused anomalies suggest that only shallow remains are present from the buildings known to have previously occupied this part of the site, although, some linear trends are apparent at a depth of 1.75m to 2.00m.

Surveys of the walls and the basement rear office (B07) were inconclusive.

Survey:	Geophysical Survey at Riddle's Court, Edinburgh (RGC1374/RDC)
Client:	CFA Archaeology Ltd
Date of Survey:	8th February 2013
Survey Personnel:	Dr S M Ovenden and A S Wilson
Date of Report:	26th February 2013
Report Author:	Dr S M Ovenden

1. Introduction

- 1.1 A Ground Penetrating Radar (GPR) survey was undertaken within several areas of Riddle's Court, Lawnmarket, Edinburgh as part of on-going works to preserve and investigate the fabric of the buildings being undertaken by the Scottish Historic Buildings Trust. Riddle's Court is an A listed 16th Century courtyard house set behind the Royal Mile and close to Edinburgh Castle. It contains significant architectural features and has associations with, amongst others, King James VI and David Hume.
- 1.2 Two primary areas were investigated using GPR; the Inner Court and the Outer Court. Survey was carried out with the aim of locating cellars, culverts and drains in the Inner Court and wall footings and building remains in the Outer Court. A further small area of survey was carried out within the building over the floor of ground floor East Link (G06). The location of these surveys is shown on Figure 1, with the data being displayed as depth slice maps and accompanying interpretation diagrams in Figures 2 – 9, with a summery interpretation displayed in Figure 1.
- 1.3 Further GPR traverses were collected over the floor of Basement Rear Office (B07) and against two walls; Ground Floor Fireplace Between Lobby (G07) and East Link (G06) and Ground Floor Fireplace Between Ladies Toilets (G10) and Pigsty (G02). The relative location of these is shown together with the individual radargrams from the traverses in Figures 10 – 12.

2. Methodology

- 2.1 Prior to data collection a series of markers were established across the site and tied-in to hard features.
- 2.2 The Ground Penetrating Radar (GPR) survey was carried out using a Mala Ramac X3M system with a 500MHz antenna. This antenna was selected on the basis of ground conditions, the nature of the soils and expected targets within both courts and pends. Subsequent areas for survey were added at a later date. Data was collected at 0.02m intervals along traverses 0.5m apart. Given the small size of the areas data

was collected on an orthogonal grid, where possible, to provide as much coverage and resolution as possible within the confined areas.

- 2.3 In GPR surveys pulses of electromagnetic energy are directed downwards into the earth. The transmitted wave is affected by variations in the electrical properties of the subsurface, specifically the dielectric constant and the conductivity of the subsurface.
- 2.4 Contrasts in these properties cause differential reflection of the energy wave creating an anomaly. The subsurface is mapped by recording the amplitude of this reflected energy and its travel time. The travel times were converted to depth using a calculated constant velocity. While the depths provided should be a reasonable estimation of the depth of features, there may be some variation as a constant value has been applied and the velocity can vary vertically and laterally within the subsurface.
- 2.5 GPR Data were processed using GPRslice software package. The data were collected and processed as individual traverses, a selection of which are shown in Figures 11 and 16. All the traverses, where appropriate, were then assembled into a block of data and processed and displayed as a series of time slice or depth maps in Figures 2 - 9. This type of data processing and visualisation allows more subtle features and relationships between features to be analysed more easily.

3. Results of GPR: Inner and Outer Courtyards and East Link.

Anomaly numbers referred to below are shown on the GPR Interpretation diagrams (Figures 2 – 9).

3.1 0.00m - 0.25m

- 3.1.1 Numerous high amplitude reflections (1) are apparent in the outer courtyard which are due to inspection hatches. These appear at all depths due to ringing of the signal caused by the marked differences in the properties of metal and flags/concrete.

- 3.1.2 The high reflection in the pend (2) leading to the road is likely to be due to associated wall foundations given its shallow nature.
- 3.1.3 Suggestions of a rectilinear anomaly (3) is apparent in the west of the outer courtyard within this depth slice. Although the coherent response does not extend into the deeper slices more discrete reflections within this area are apparent. Given the shallower nature of the response it may simply be due to subtle variations in the make-up of the ground immediately beneath the flags, or variations in the nature of the flags, concrete etc. More modern "additions" and alterations appeared more prevalent in the outer court and particularly so to its western side.
- 3.1.4 More discrete rectilinear trends (4) are visible in the east of the outer courtyard. Given the shallow nature of the response this may be related to the nature of the flooring. However, it is possible the responses relate to shallow foundations of previous structures.
- 3.1.5 Linear high amplitude reflections (5) within the Pend leading between the two courtyards could be service channels, although they are not visible in the deeper slices. They could, likewise, relate to earlier flooring or shallow foundations associated with the existing walls.
- 3.1.6 There are areas (6) of notable low amplitude areas which are rectilinear in nature. Given the shallow depth this is likely to be due to material under the flags or the flags themselves.
- 3.1.7 Only a very small area could be surveyed within East Link room (G06) making interpretation cautious. A well-defined anomaly (7) is apparent within this depth slice although its shallow nature suggests materials in the flooring.
- 3.1.8 The high reflection in the Outer Court (8) and (9) are likely to be due to associated wall foundations given their shallow nature.

3.2 0.25m - 0.50m

- 3.2.1 Many of the anomalies seen within the previous slice are still apparent at this depth suggesting they may be associated with foundations, for example (1), (2), (8), (9) and (10). Some of these appear to be associated with linear trends, shown to the south of the northern Pend. This combined with the continuation of these anomalies from a shallower depth make it likely that they all may be due to ground disturbance related with services.
- 3.2.2 At the Eastern side of the outer Court is a small grouping of high amplitude anomalies associated with (1). They are small and indeterminate in nature but may be associated with the footings of ancillary structures known to have previously been erected in this area of the Court. Within the outer Pend leading to the street can be seen the remnants of (2).
- 3.2.3 A well-defined high amplitude reflection (11) is visible along the western edge of the inner courtyard. Although there is a small inspection hatch in this area it is not visible in the survey slice. This anomaly (11) is visible until a depth of about a metre. It's origin is not clear but the nature of the reflection suggests stone i.e. foundation etc, or possibly a void.
- 3.2.4 Within the Pend joining the two courtyards a short linear high amplitude reflection (12) is visible. This appears to be related to (5) and again may be due to earlier flooring or it could be buried foundations - however - one would not expect a structure within the Pend, and it does not extend deeper suggesting it is not a cellar. The reflections (13) at the northern end of the Pend are apparent in deeper slices suggesting this may relate to wall footings/foundations.
- 3.2.5 Within the northern half of East Link (G06) is a linear high amplitude anomaly (17). Whilst the area concerned is small and a context is difficult to establish, and therefore interpretation is cautious, it is possible this represents previous wall footings or cellar walls.

3.3 0.50m - 0.75m

- 3.3.1 The strong reflections (8) and (9) along the west of the Outer Court are still apparent at this depth, as is the remnants of (10) in the east of the outer Court.
- 3.3.2 Weak linear anomalies (14) are apparent in the east of the Outer Court at this depth. As these appear to be associated with (1) it is likely that they are services.
- 3.3.3 The anomaly (11) in the west of the Inner Court is still apparent and coherent at this depth. In the east of the Inner Court a weak anomaly (15) has been detected and is still visible in the deeper depth slices. The nature of (15) suggests possible foundations and this may be associated with the 'hatch' depicted on early etchings of the site. The strength and nature of the anomaly suggests that there is not a void present in this area.
- 3.3.4 A discrete reflection (16) is visible in the southwest of the Pend and is probably due to foundations.
- 3.3.5 The well-defined reflection (17) is still visible in the floor area of the East Link (G06).

3.4 0.75m - 1.00m

- 3.4.1 At this depth the reflections thought to be associated with possible foundations (8) and (9) are still apparent within the outer courtyard. The services (14) are also still discernible at this depth.
- 3.4.2 Within the inner courtyard the anomalies (11) and (15) are also still visible.
- 3.4.3 The anomaly (17) is still visible in the floor area of the East Link (G06).
- 3.4.5 A linear trend (18) is apparent at this depth. Its nature and association with the inspection hatch (1) to the south indicate it is a service.

3.5 1.00m – 1.25m

- 3.5.1 At this depth the reflections thought to be associated with possible foundations (8) and (9) are still apparent within the outer courtyard. The services (14) are also still discernible at this depth.
- 3.5.2 At this depth the anomaly (15) thought to be associated with the hatch is no longer apparent and the anomaly in the west of the Inner Court (11) is notably weaker suggesting it does not extend more than about a metre below the current ground surface.
- 3.5.3 The linear trend (18) is still apparent at this depth.
- 3.5.4 The anomaly (7) within the room has reappeared at this depth; however this could be due to ringing of the signal. Anomaly (17) has disappeared.

3.6 1.25m - 1.50m

- 3.6.1 Many of the responses at this depth are from the surface features and their associated service trenches and are due to ringing of the signal.
- 3.6.2 There does appear to be a well-defined anomaly (19) in the northwest corner of the area which extends to some depth perhaps suggesting possible walls. However, this anomaly could be the result of ringing from (17), but its form does appear to have changed.

3.7 1.50m – 1.75m & 1.75m - 2.00m

- 3.7.1 The reflections within these two depths slices are due to ringing of surface features. No other significant anomalies are apparent within the Courts and Pends at these depths.

- 3.7.2 Anomaly (19) is still apparent at the depth 1.75-2.00m but had disappeared at 1.50-1.75m, again suggestive that this feature may be ringing of (17) from shallower depths. It is possible that the same could be said of (20) associated with the wall buttress, however given the response at depth it is thought that this is likely to represent wall footings/foundations.

4 Results from Selected Transects

Anomaly letters referred to below are shown on the selected radargrams (Figures 10 - 12)

- 4.1 As was explained at the time the frequency of antenna needed for the primary survey was not suited to the other areas requested. Although data was collected with the hope of providing some additional information, the results are not conclusive.

4.2 Ground Floor Fireplace Between Lobby (G07) and East Link (G06)

- 4.2.1 GPR traces collected against the wall are inconclusive. Although a strong reflection (A) is visible in two of the radargrams (Lines 2 & 3) and is discernable in a third (Line 1) interpretation is cautious given the antenna used. However it is possible that this represents an inner face to the wall. It should be noted that this anomaly is not present in line 4 (i.e. 0.3m from the floor).

4.3 Ground Floor Fireplace Between Ladies Toilets (G10) and Pigsty (G02)

- 4.3.1 No discernable features are visible within these radargrams due to nature of the antenna.

4.4 Basement Rear Office Floor (B07)

- 4.4.1 Survey of the toilet block was not feasible. Two transects were collected in the basement floor office. No discernable features are visible within these radargrams probably due to nature of the antenna and particularly due to the suspended floor.

5. Conclusions

- 5.1 Whilst the areas for survey are not large, and some were too confined for survey, overall the results, particularly for the Courts and Pends, have been informative.
- 5.2 The areas of both Courts have clearly undergone much alteration. This is particularly apparent in the east of the Outer Court. Within both Courts services are apparent.
- 5.3 In the eastern side of the Inner Court there is a strong anomaly roughly 2m square that suggest stone foundations, but that could be a void. The cellar known to have had in its entrance hatch on the north-western side of the inner Court is not readily apparent suggesting that it has been in-filled. However, results from the East Link (G06) suggest that some part of the cellar may survive running under the building itself.
- 5.4 On the western side of the outer Court a variety of ephemeral confused anomalies suggest that only shallow remains are present from the buildings known to have previously occupied this part of the site. Although, some linear trends are apparent at a depth of 1.75m to 2.00m.
- 5.5 Surveys of the walls and the basement rear office (B07) were inconclusive.

List of Figures

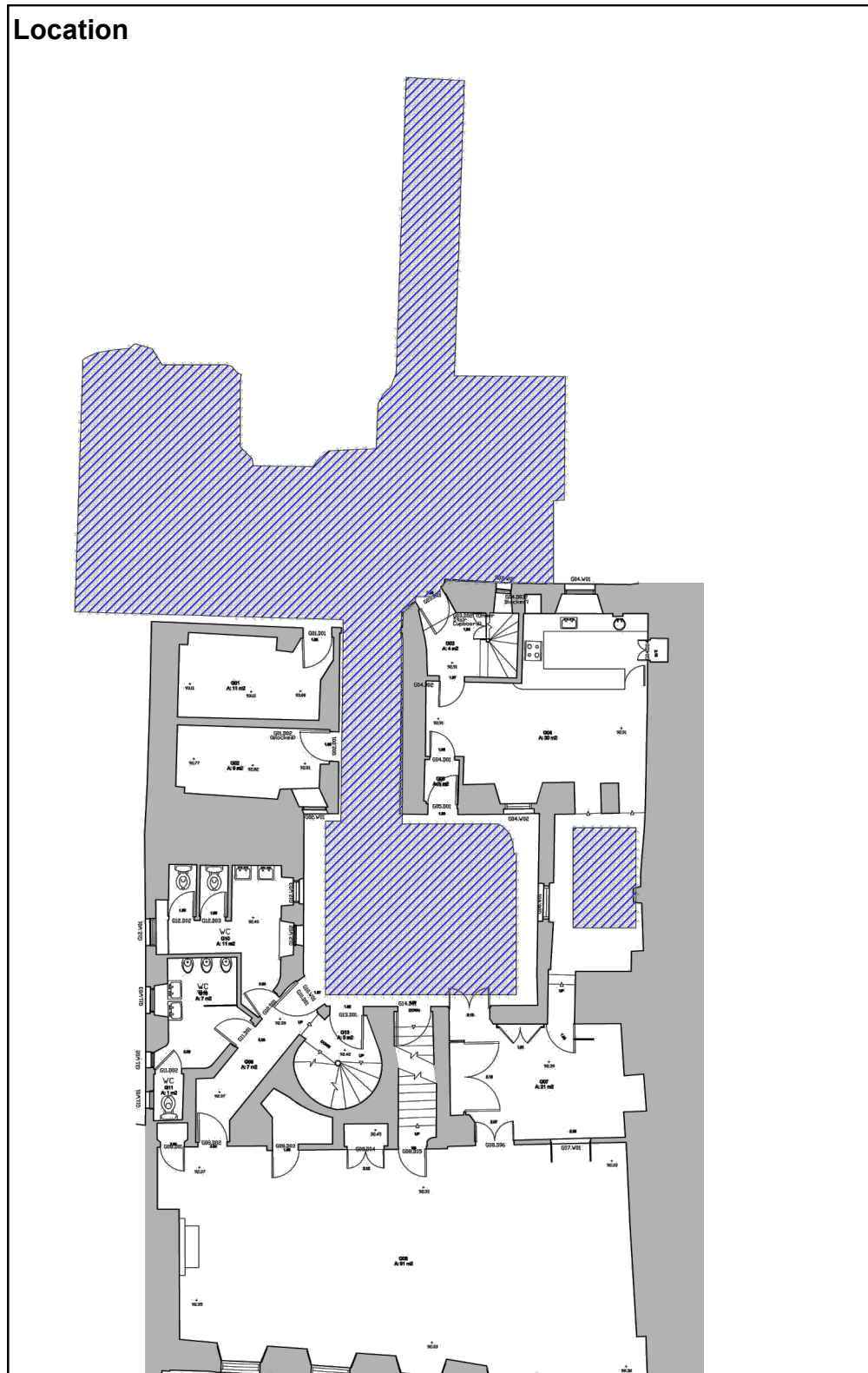
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Riddle's Court, Edinburgh

Ground Penetrating Radar Survey







Location of Survey & Summary Interpretation

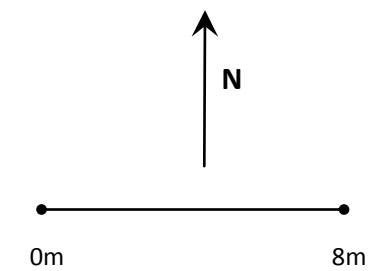
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Summary Interpretation

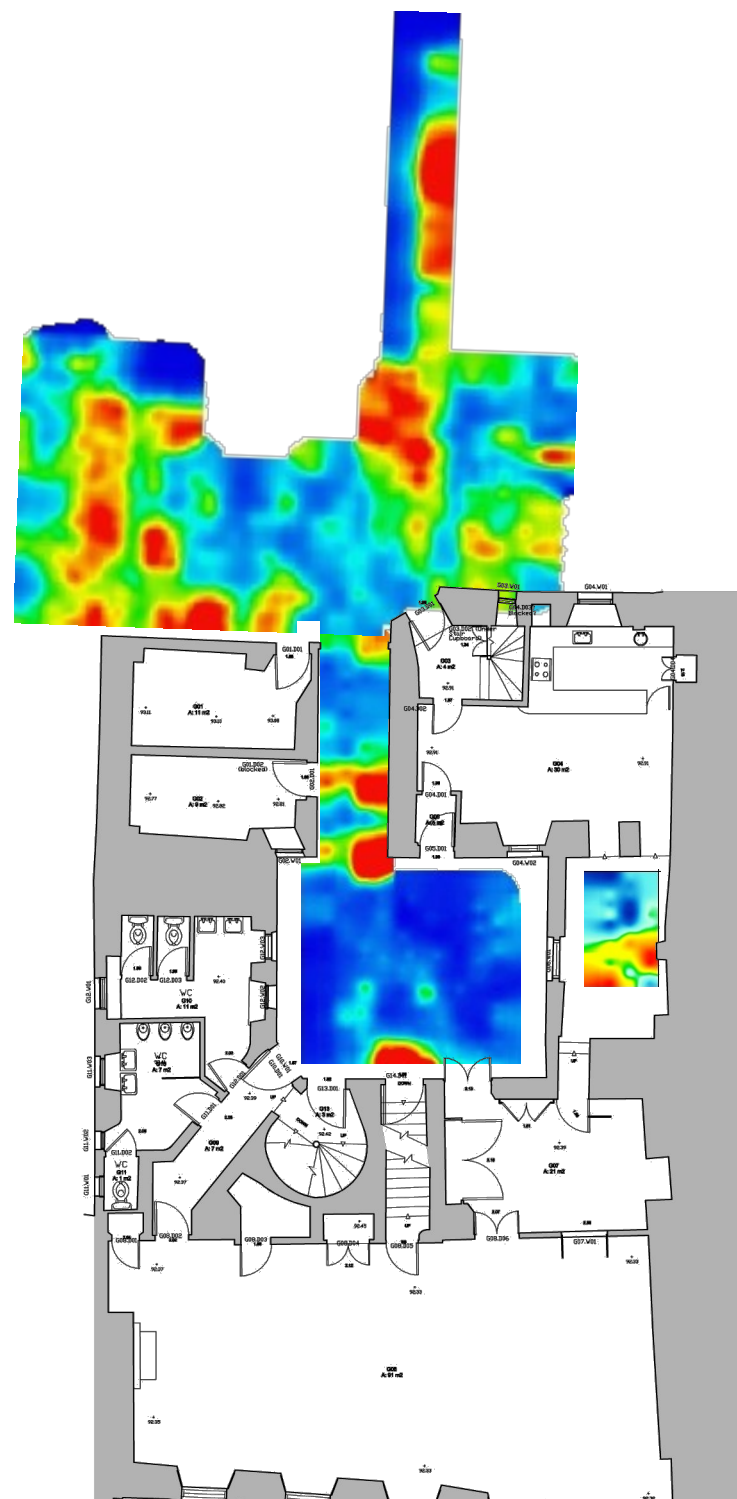


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-  Trend
-  ? Service

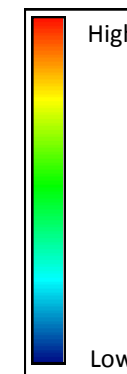
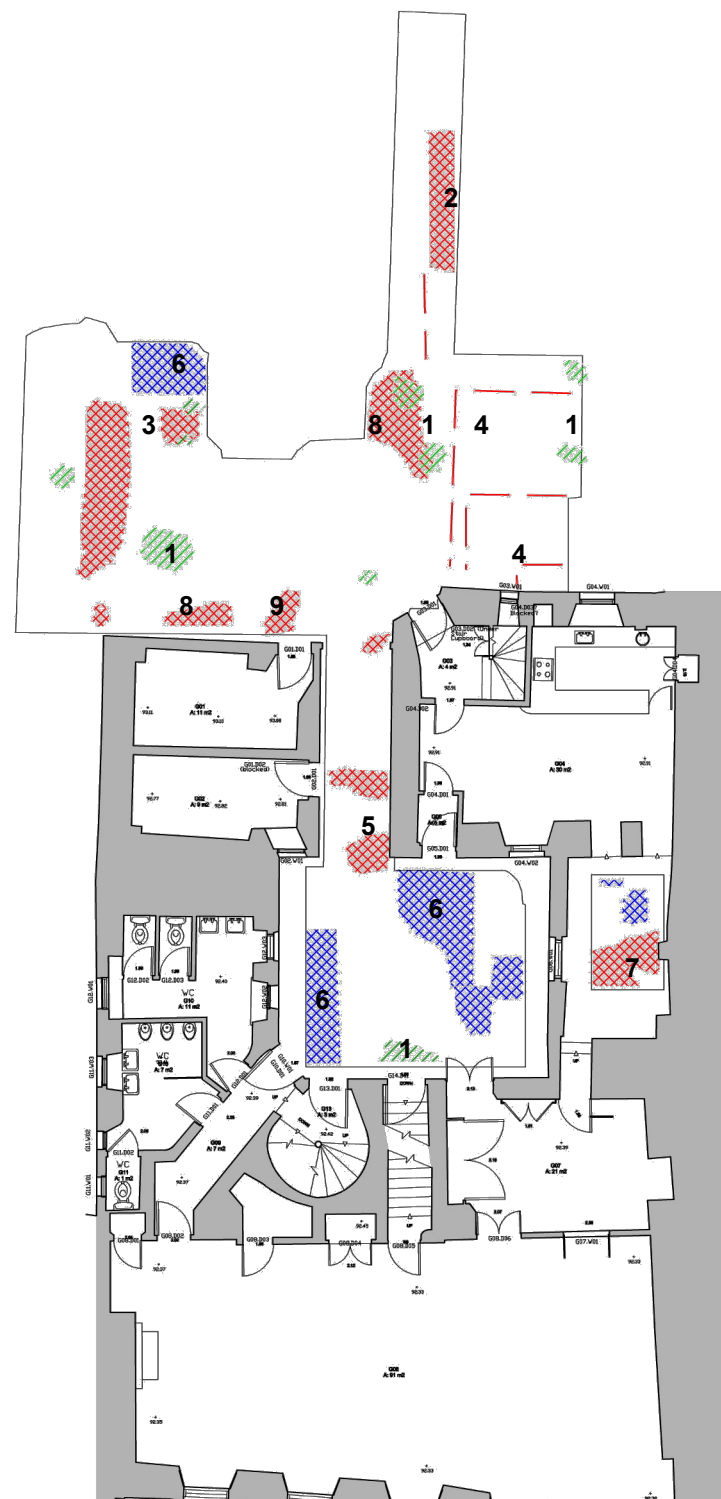







Riddle's Court, Edinburgh
 Ground Penetrating Radar Survey
 0.00m - 0.25m

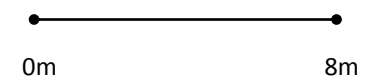
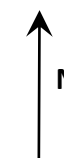
Depth Slice



Interpretation

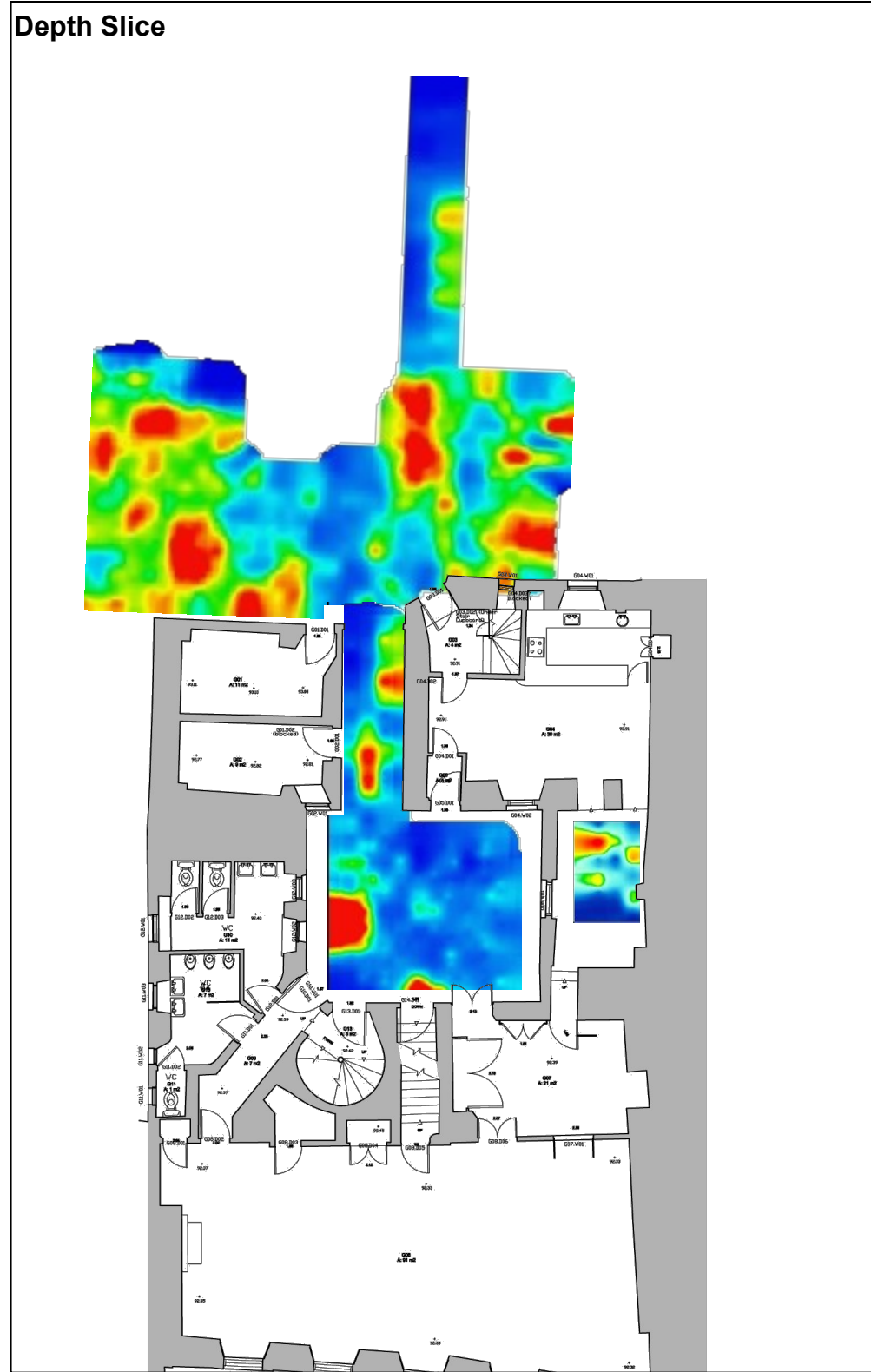


-  Surface Variation
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-  Trend
-  ? Service

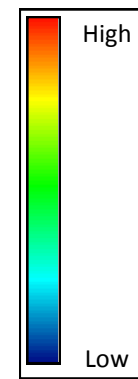
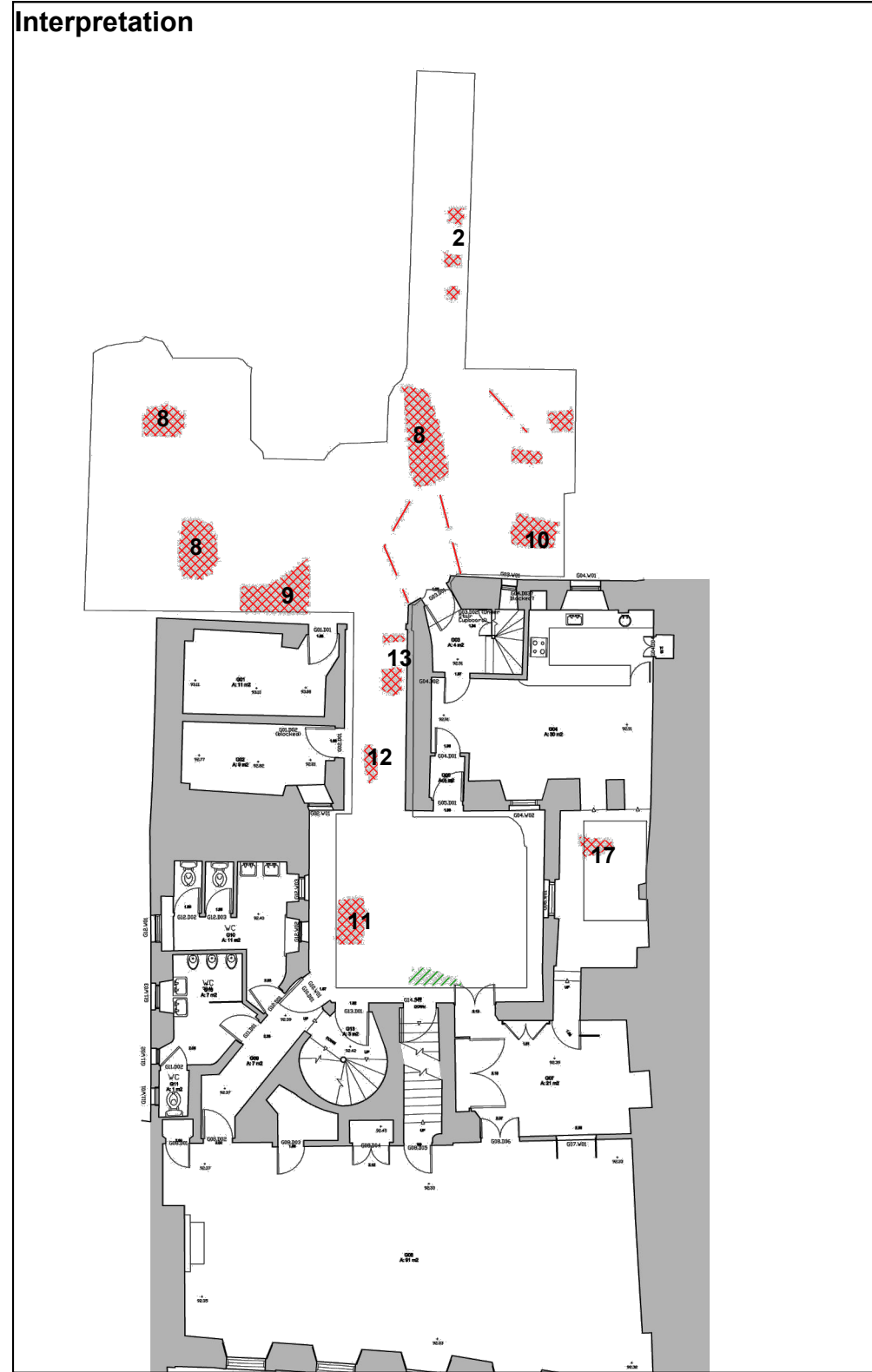







Riddle's Court, Edinburgh
 Ground Penetrating Radar Survey
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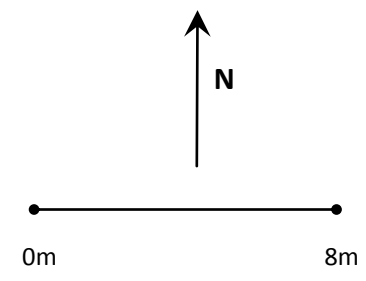
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Interpretation

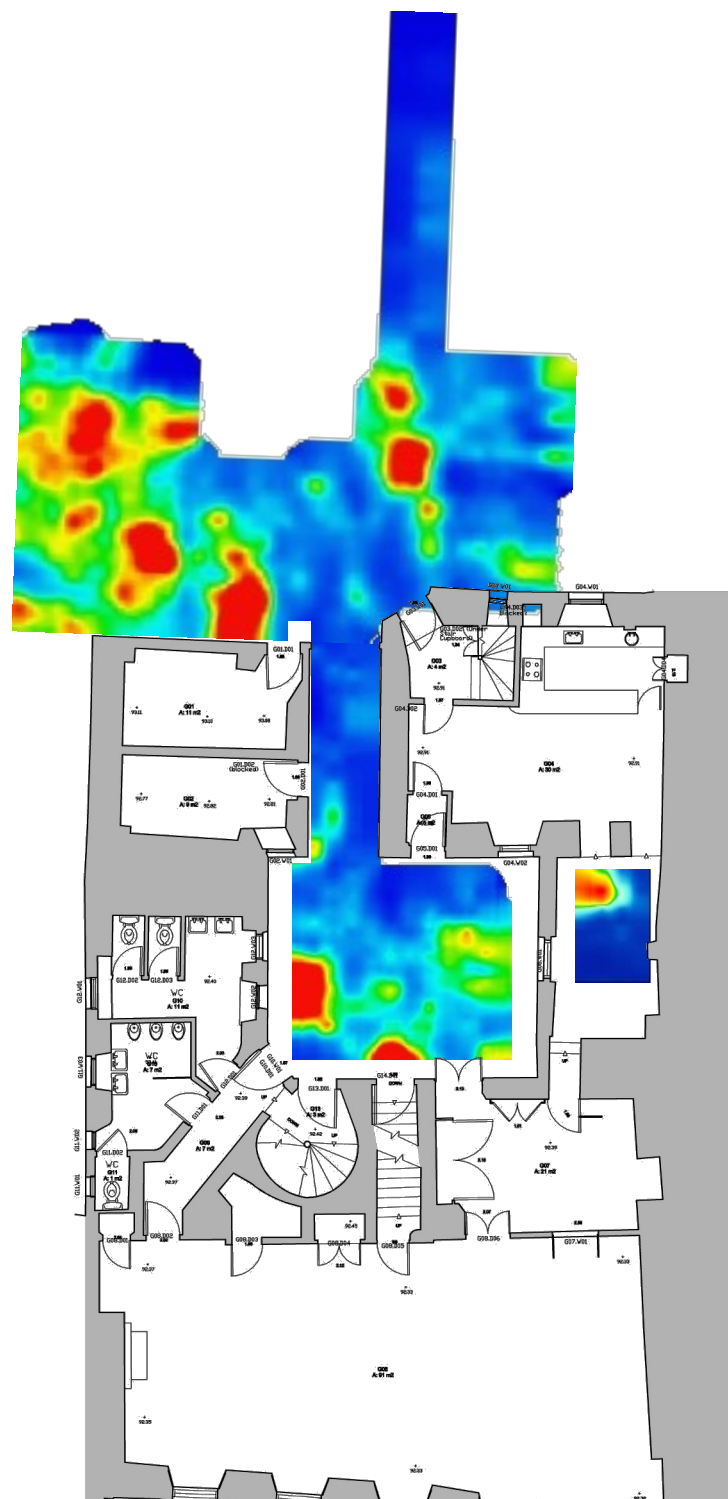


-  Surface Variation
-  High Amplitude: ?Solid Feature
-  High Amplitude: ?in-filled Feature
-  Trend
-  ? Service

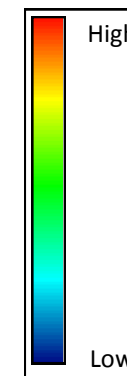







Riddle's Court, Edinburgh
 Ground Penetrating Radar Survey
 0.50m - 0.75m

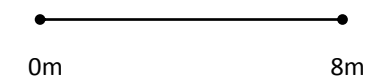
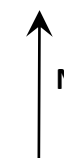
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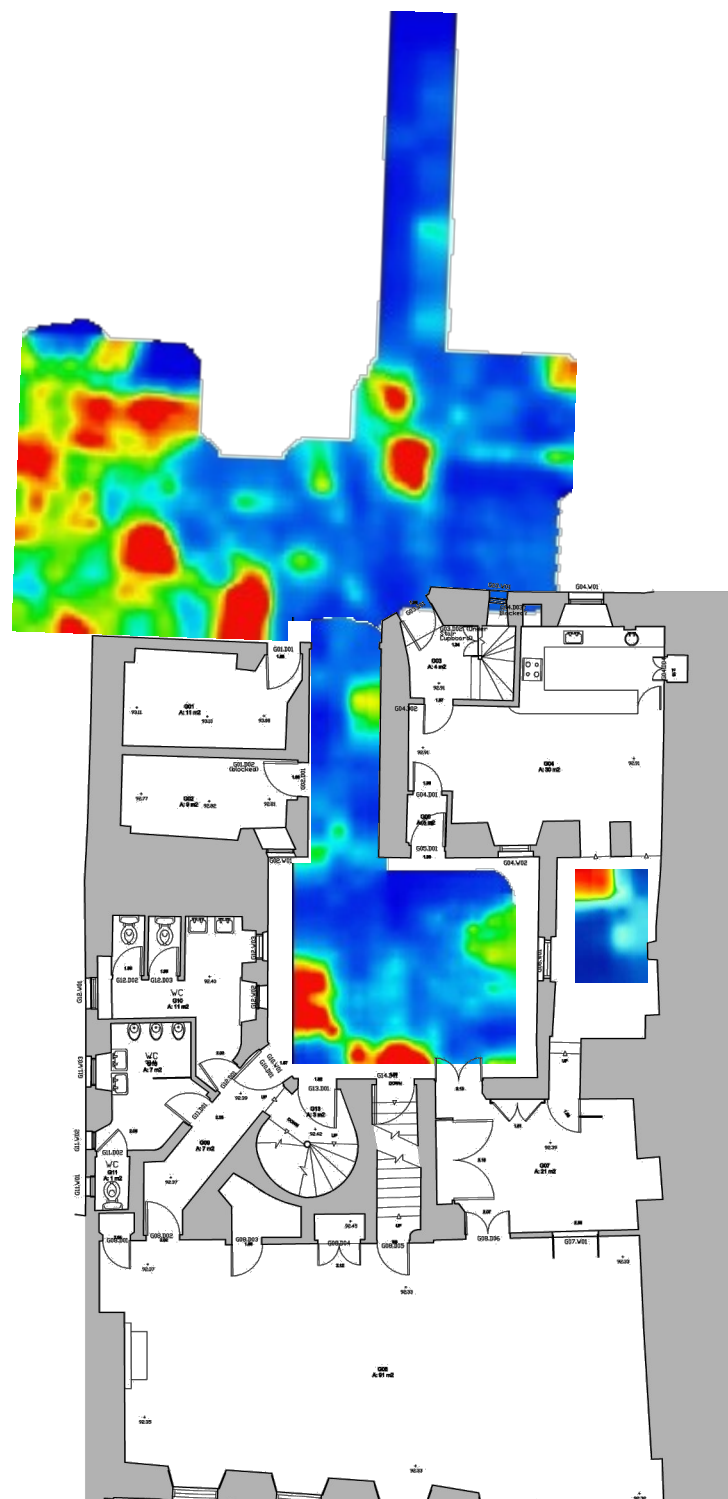


-  Surface Variation
-  High Amplitude: ?Solid Feature
-  High Amplitude: ?in-filled Feature
-  Trend
-  ? Service

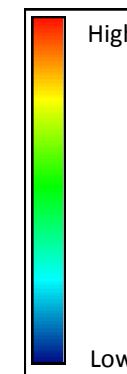
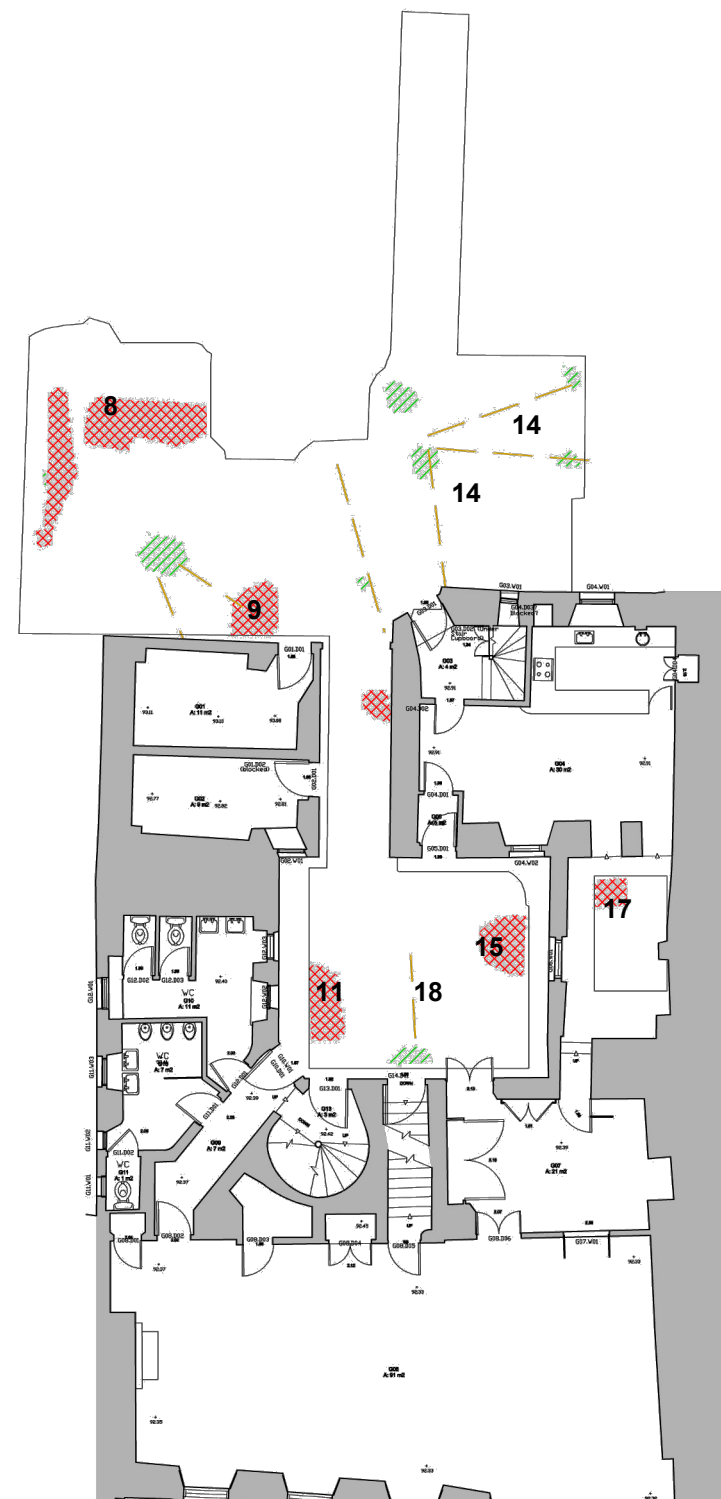







Riddle's Court, Edinburgh
Ground Penetrating Radar Survey
0.75m - 1.00m

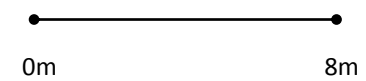
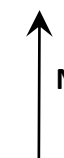
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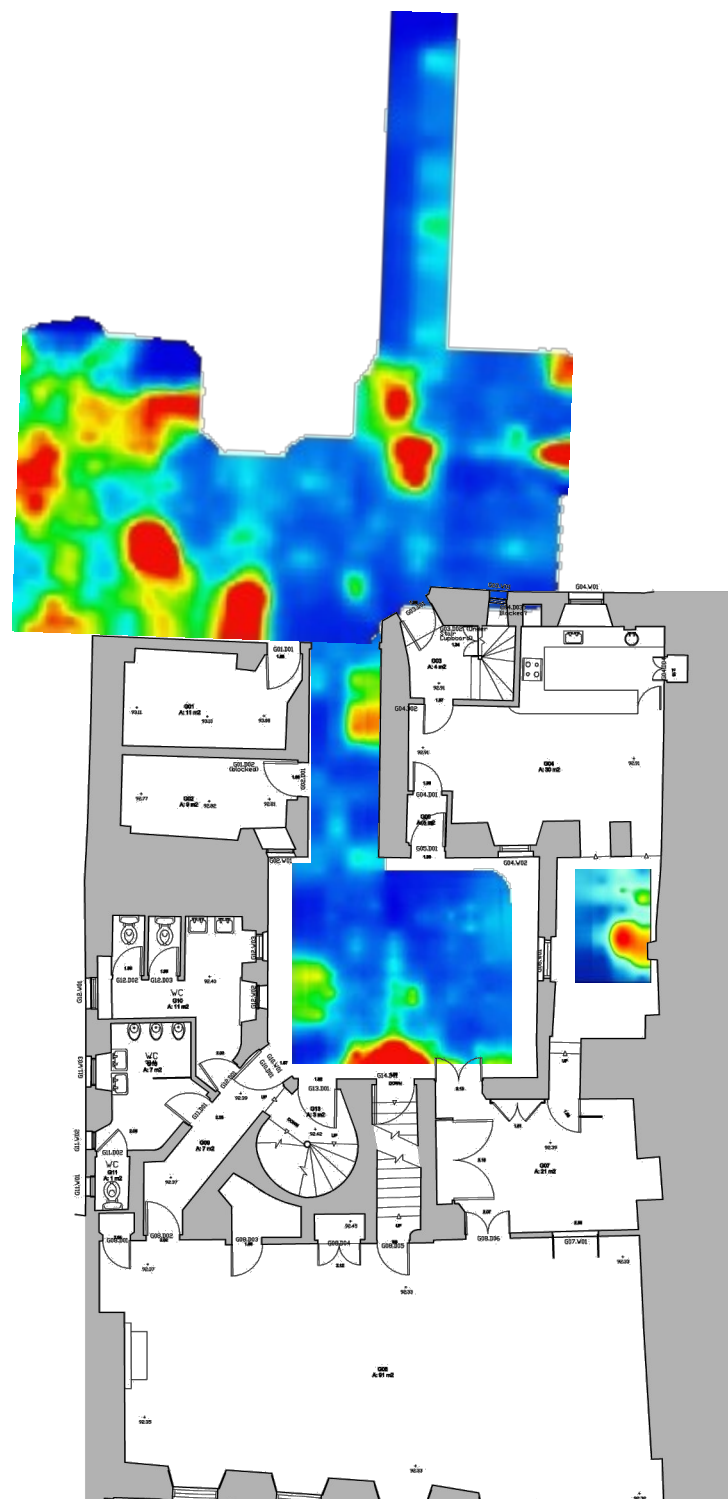


-  Surface Variation
-  High Amplitude: ?Solid Feature
-  High Amplitude: ?in-filled Feature
-  Trend
-  ? Service

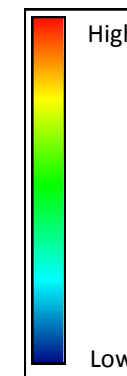
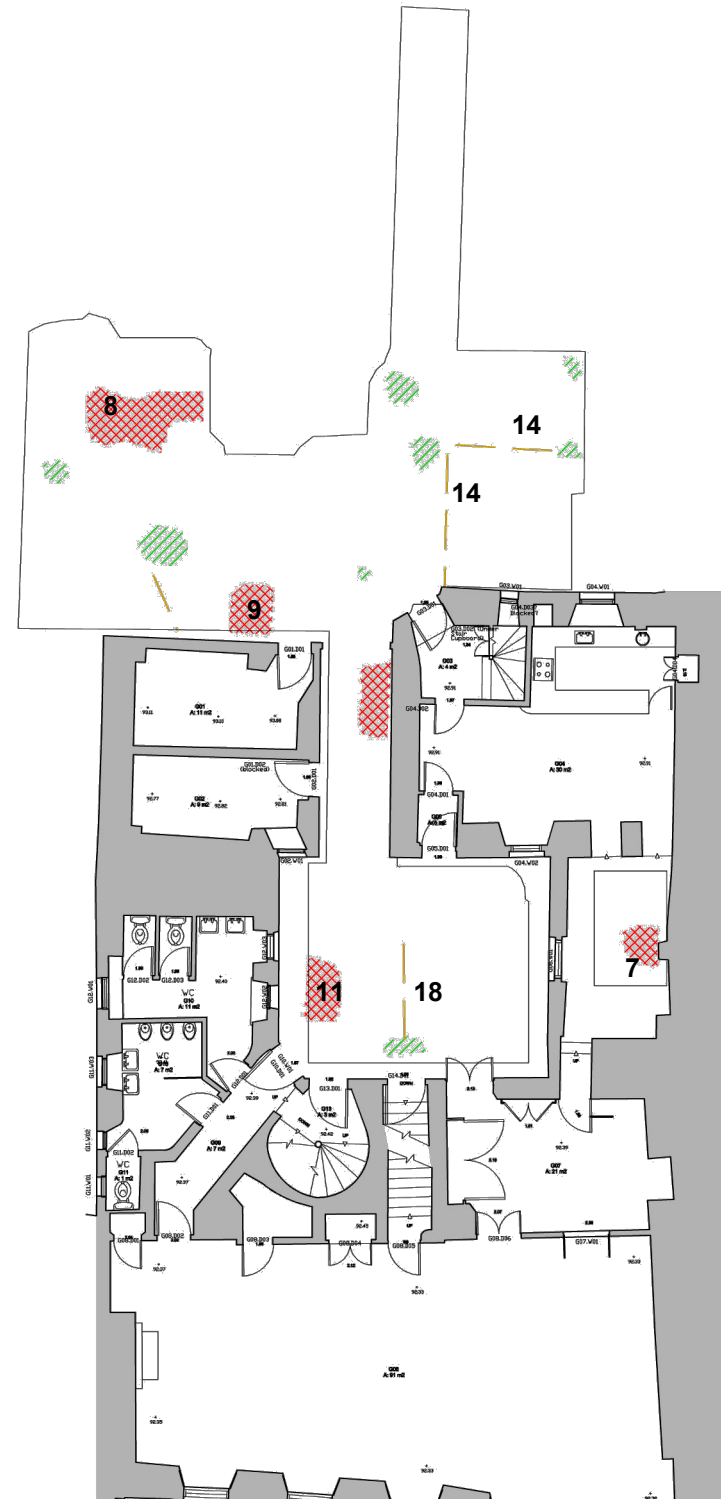


Riddle's Court, Edinburgh
Ground Penetrating Radar Survey
1.00m - 1.25m

Depth Slice



Interpretation



Surface Variation



High Amplitude:
 ?Solid Feature



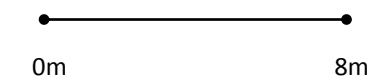
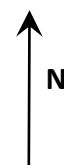
High Amplitude:
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Trend

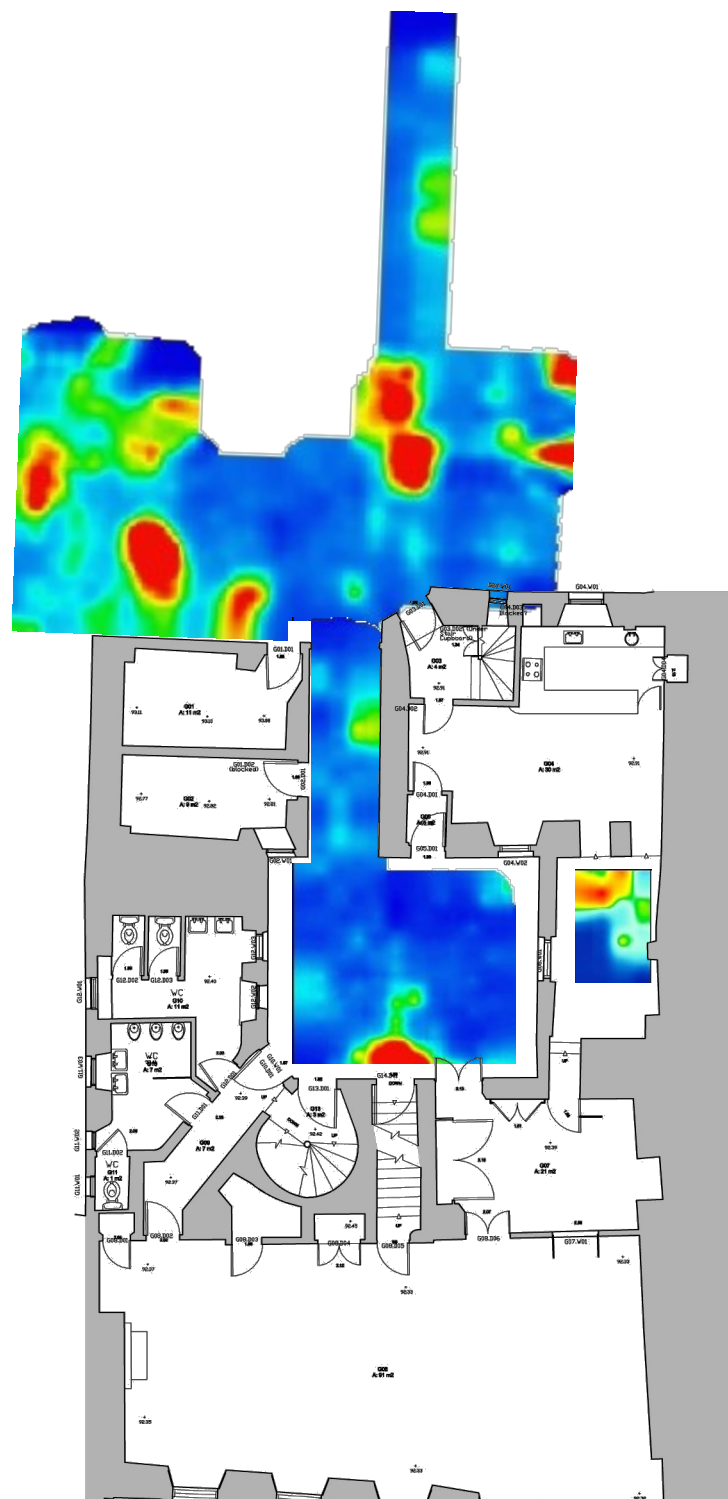


? Service

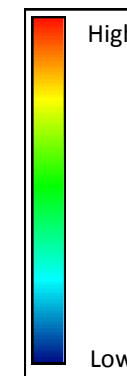
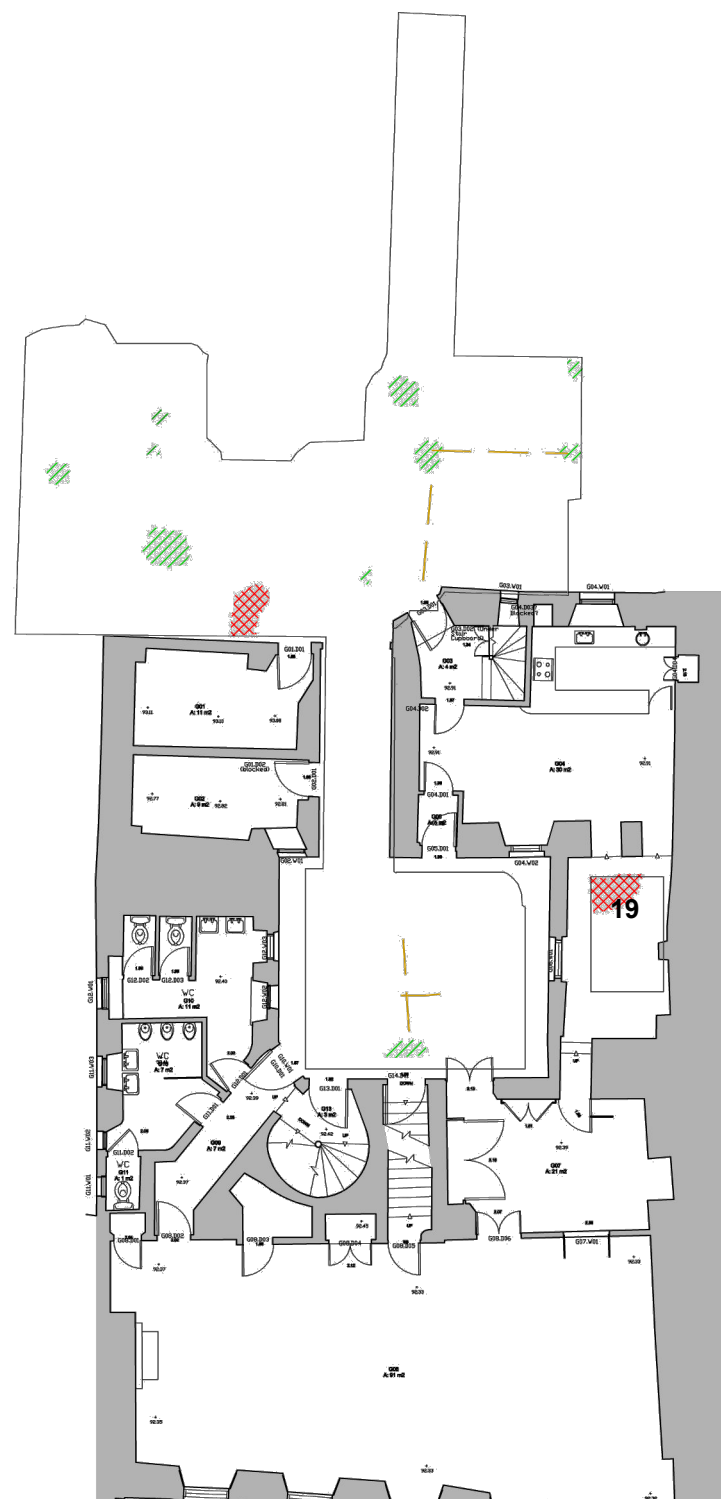


Riddle's Court, Edinburgh
Ground Penetrating Radar Survey
1.25m - 1.50m

Depth Slice



Interpretation



Surface Variation



High Amplitude:
?Solid Feature



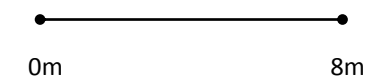
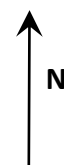
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Trend

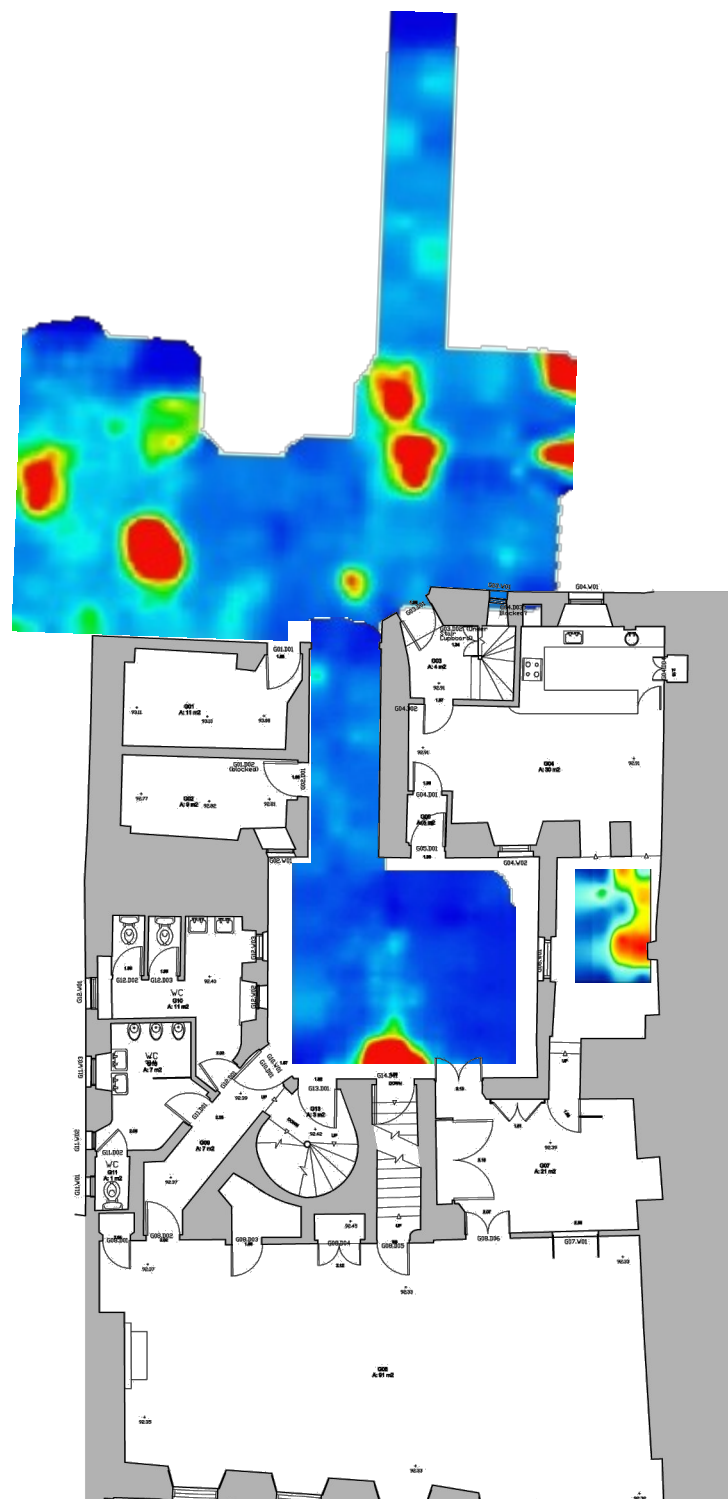


? Service

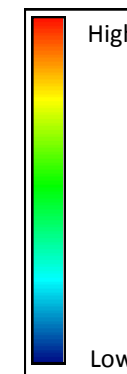
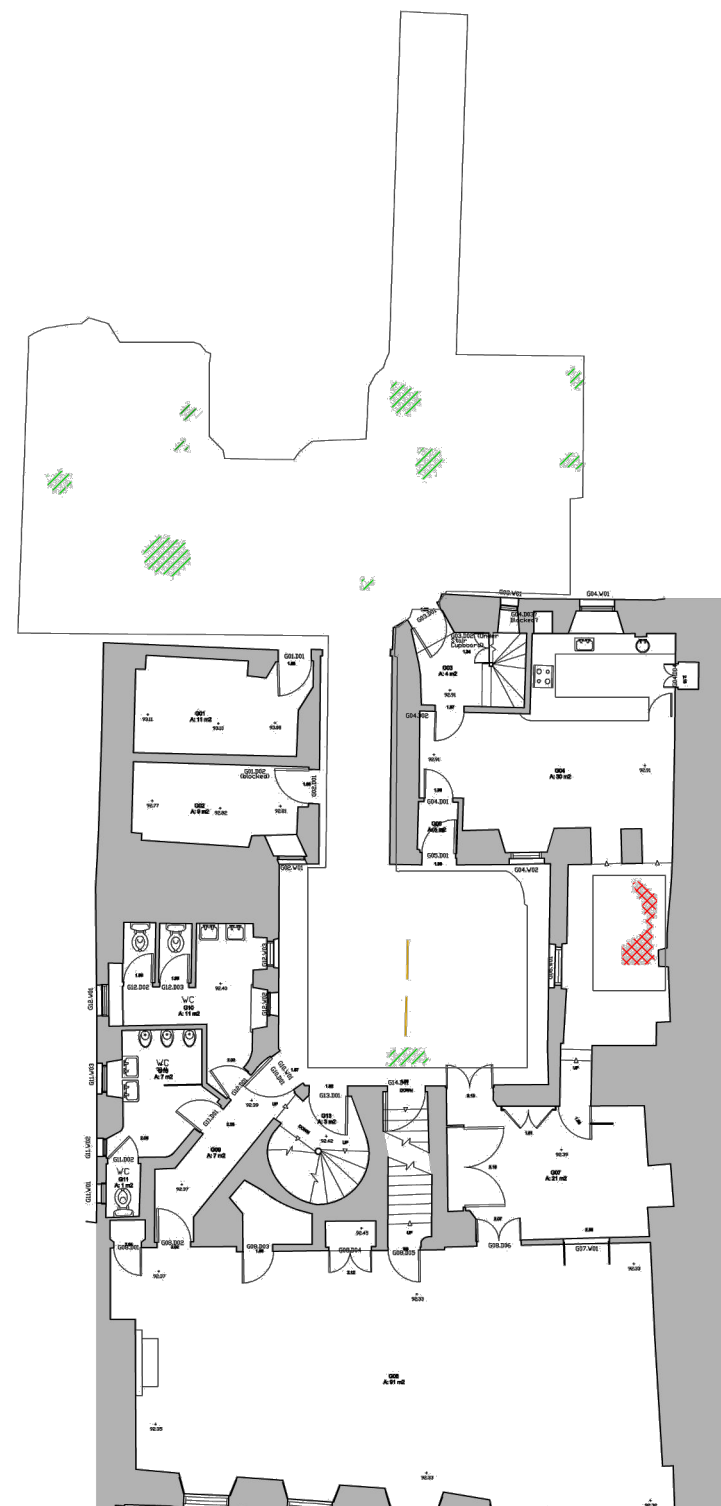


Riddle's Court, Edinburgh
Ground Penetrating Radar Survey
1.50m - 1.75m

Depth Slice



Interpretation



Surface Variation



High Amplitude:
?Solid Feature



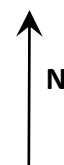
High Amplitude:
?in-filled Feature



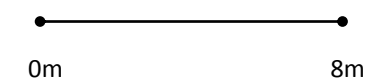
Trend



? Service



N

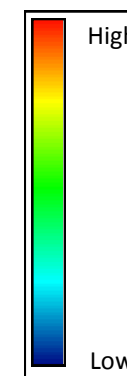
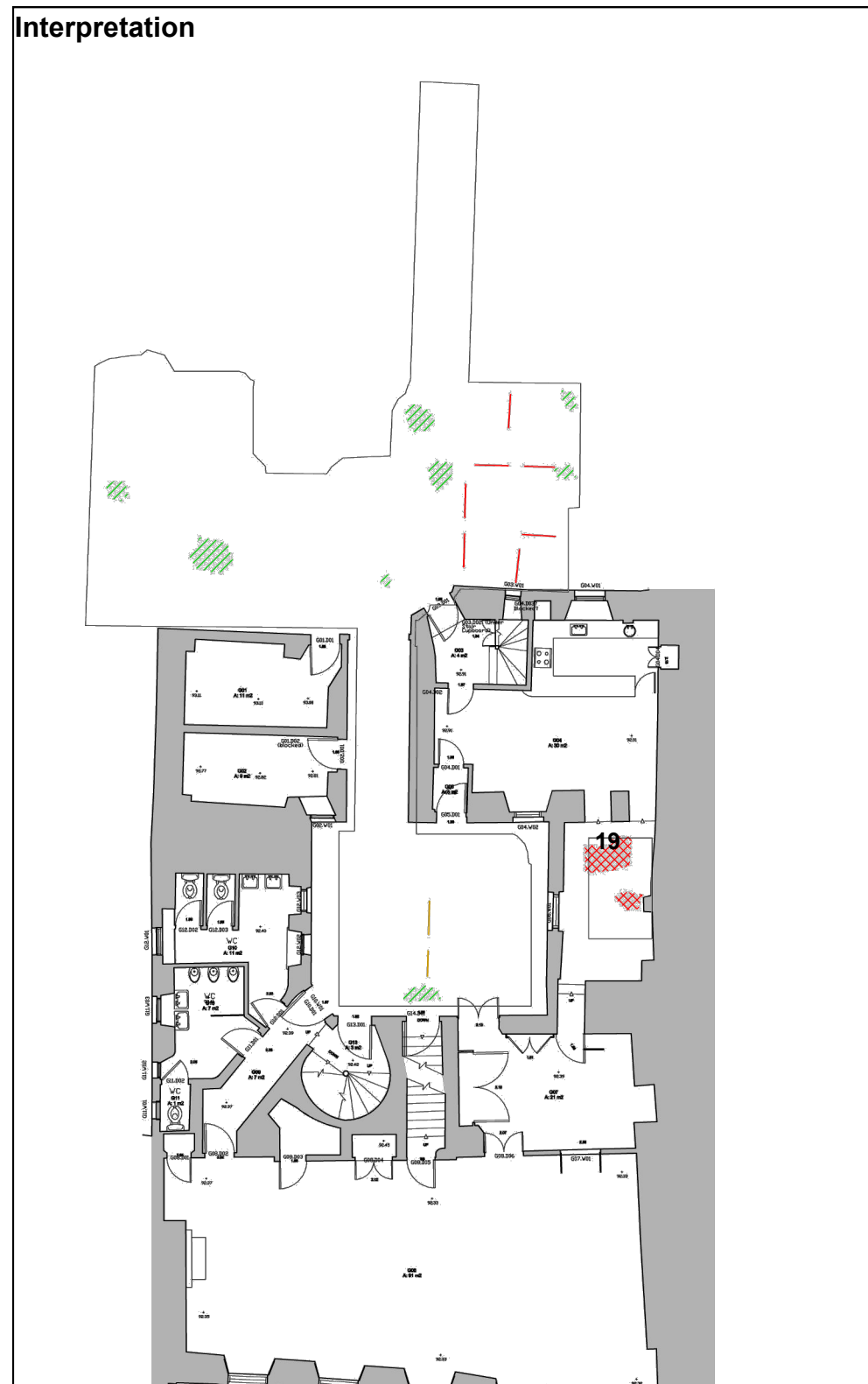


Riddle's Court, Edinburgh
Ground Penetrating Radar Survey
1.75m- 2.00m

Depth Slice



Interpretation



Surface Variation



High Amplitude:
?Solid Feature



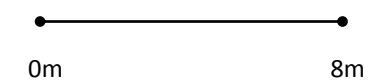
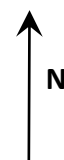
High Amplitude:
?in-filled Feature



Trend



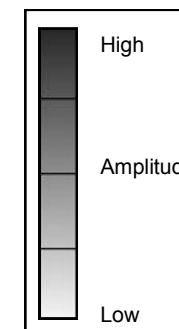
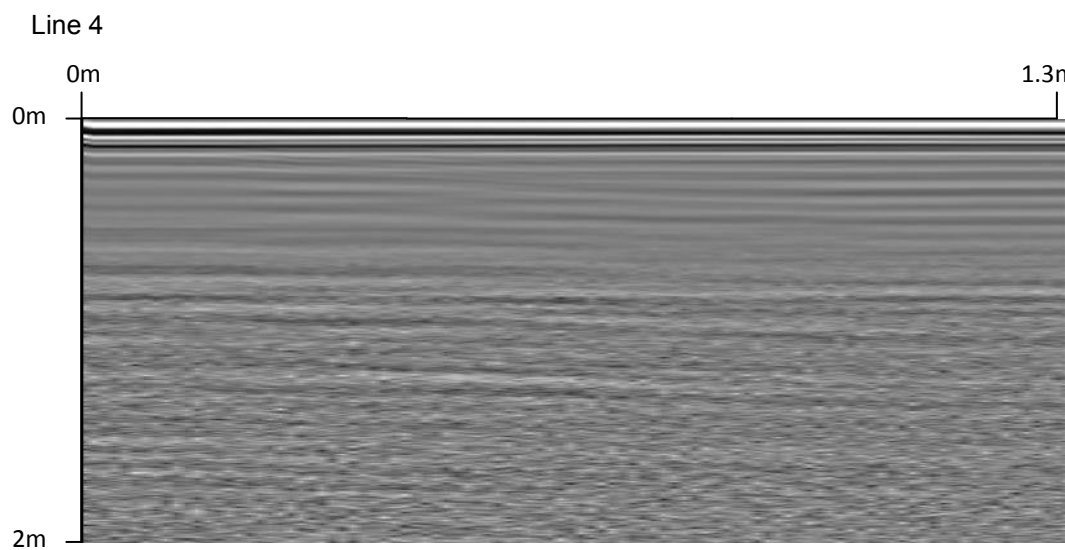
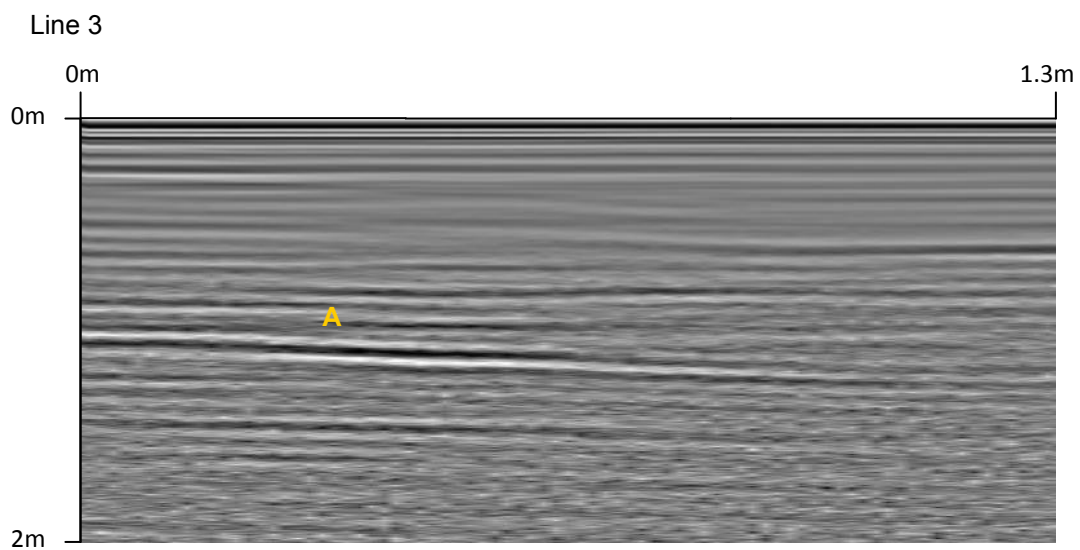
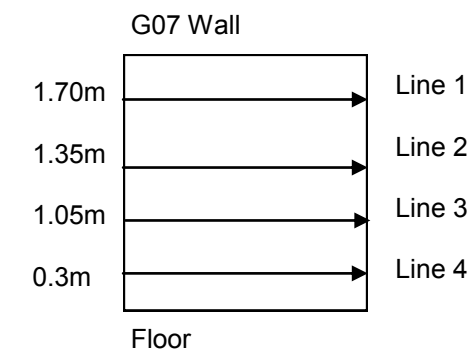
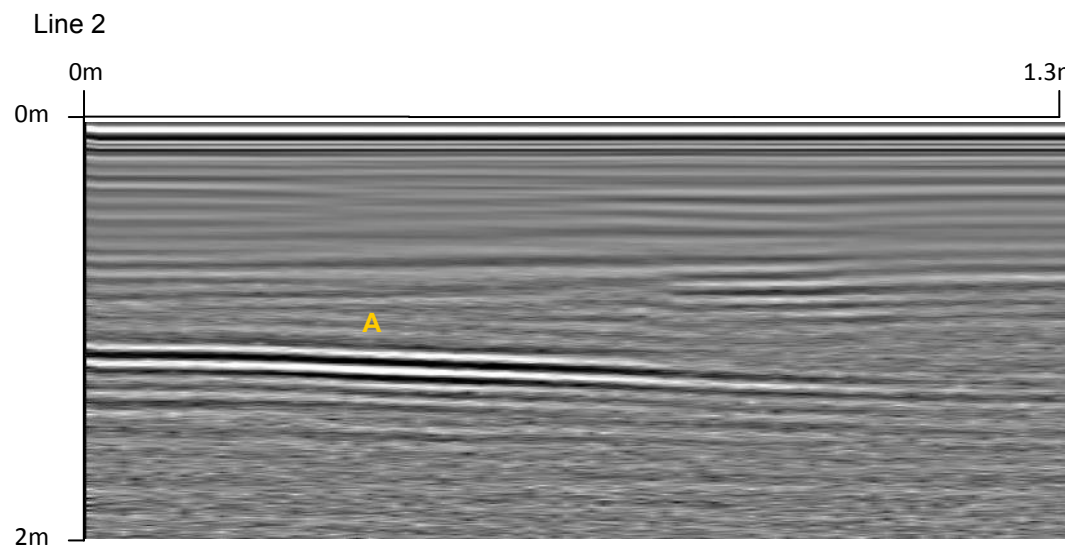
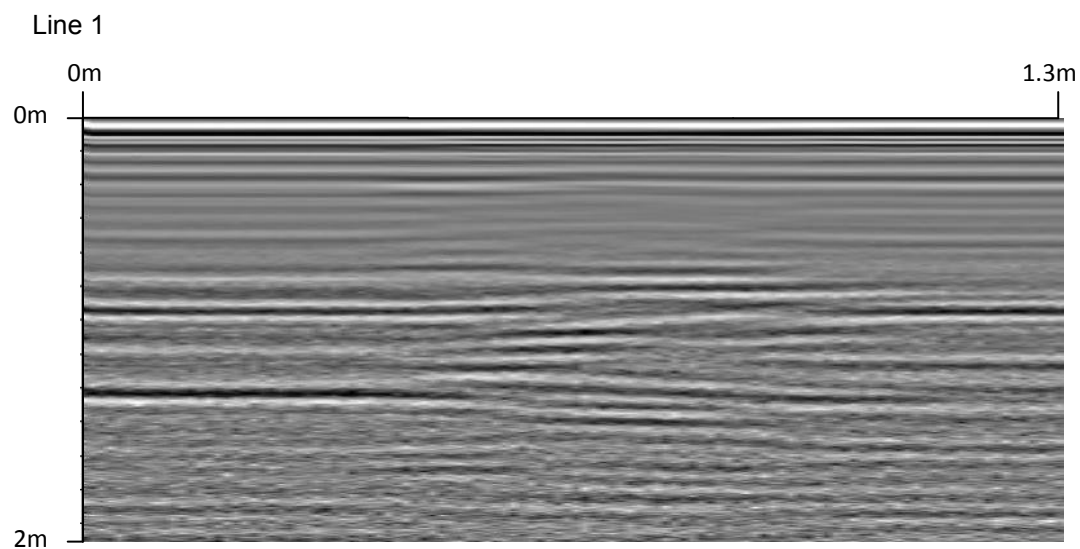
? Service



Riddle's Court, Edinburgh

Ground Penetrating Radar Survey

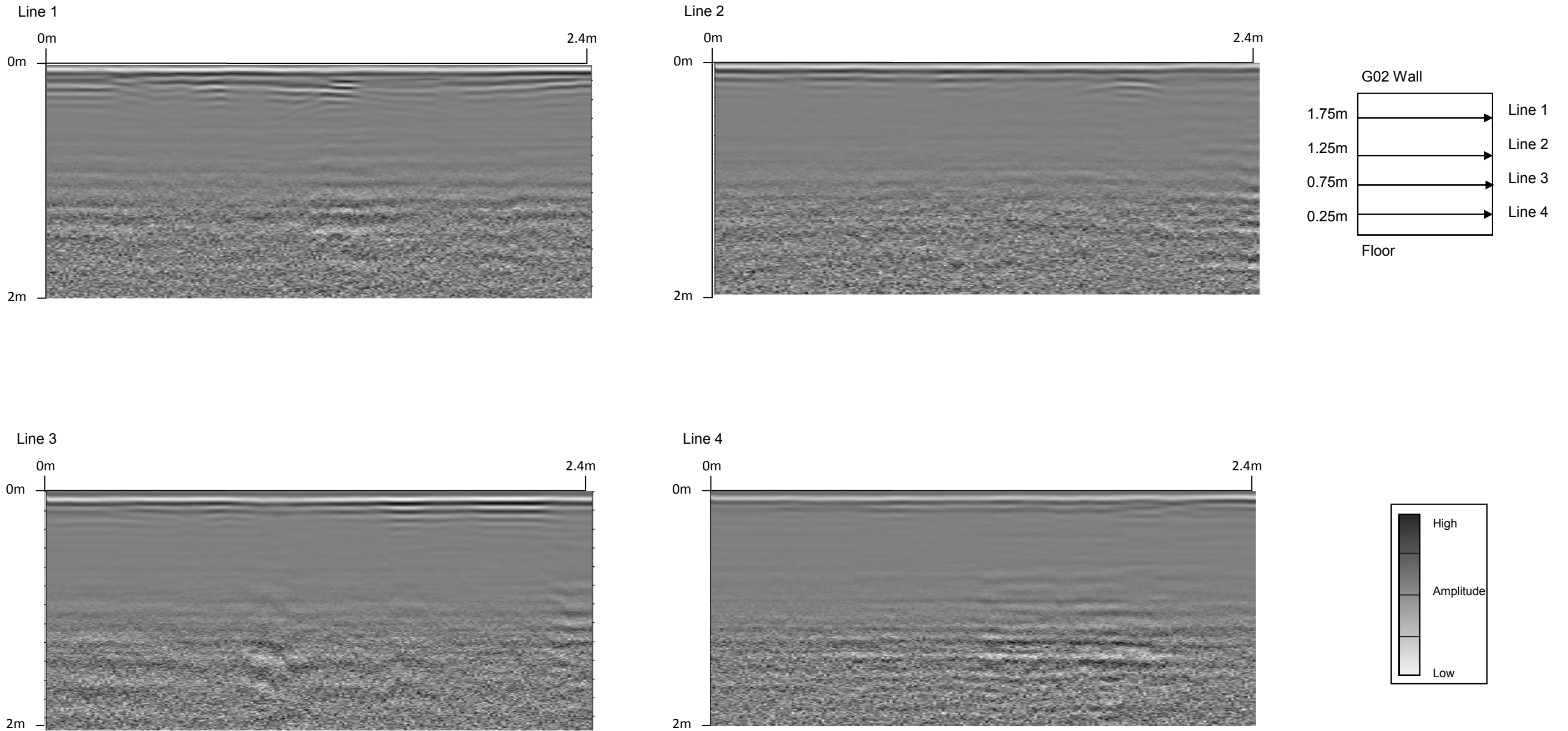
Ground Floor Fireplace Between Lobby (G07) and East Link (G06)



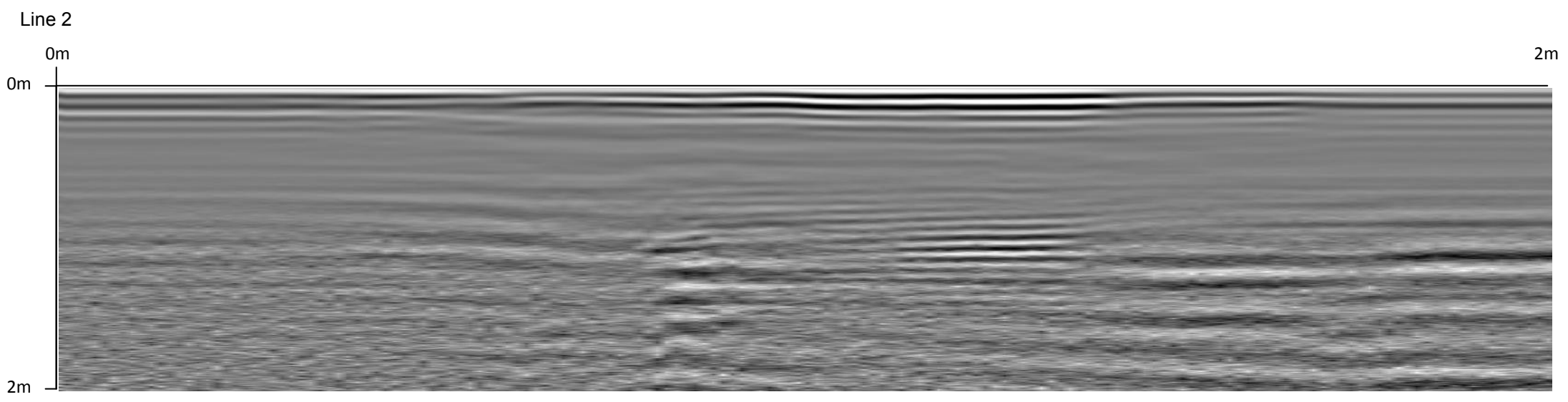
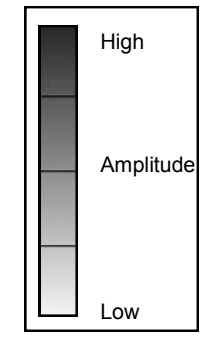
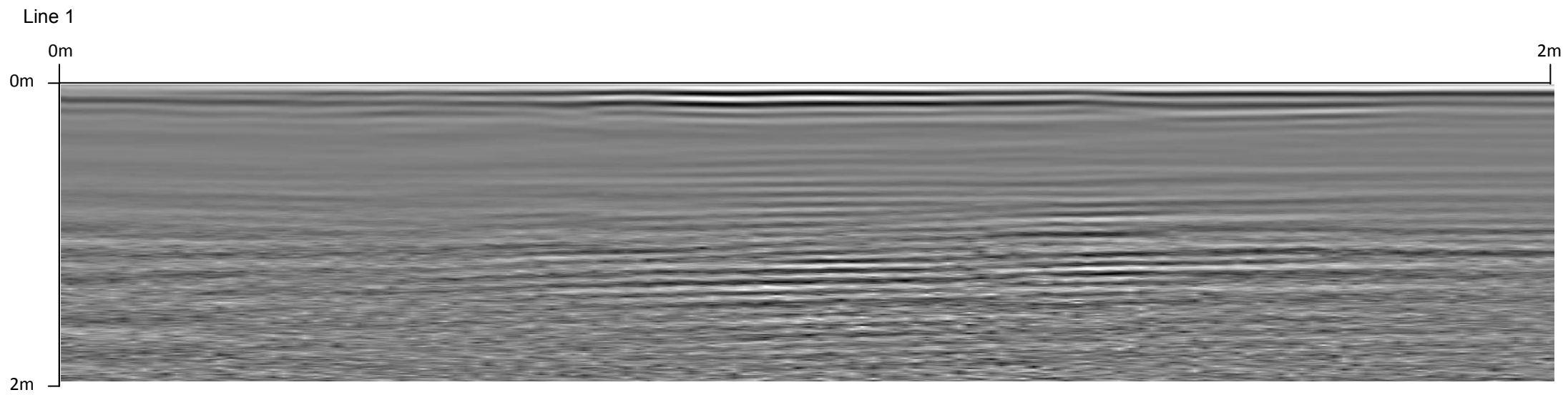
Riddle's Court, Edinburgh

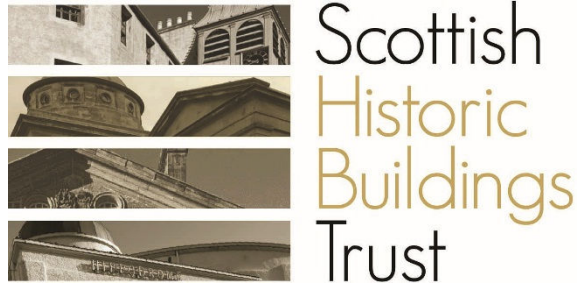
Ground Penetrating Radar Survey

Ground Floor Fireplace Between Ladies Toilets (G10) and Pigsty (G02)



Riddle's Court, Edinburgh
Ground Penetrating Radar Survey
Basement Rear Office Floor (B07)





Riddle's Court

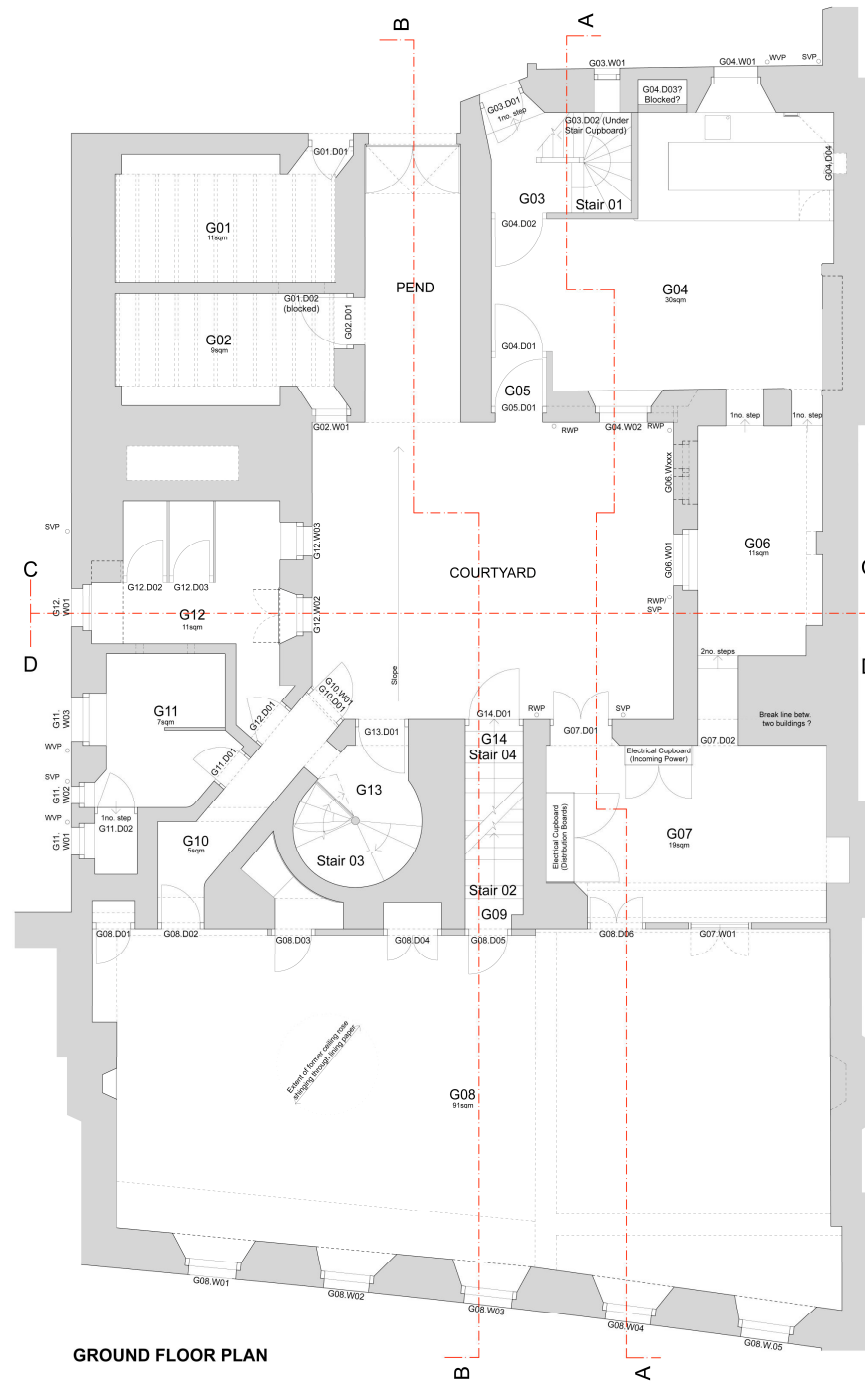
Room Gazetteer

Mario Cariello

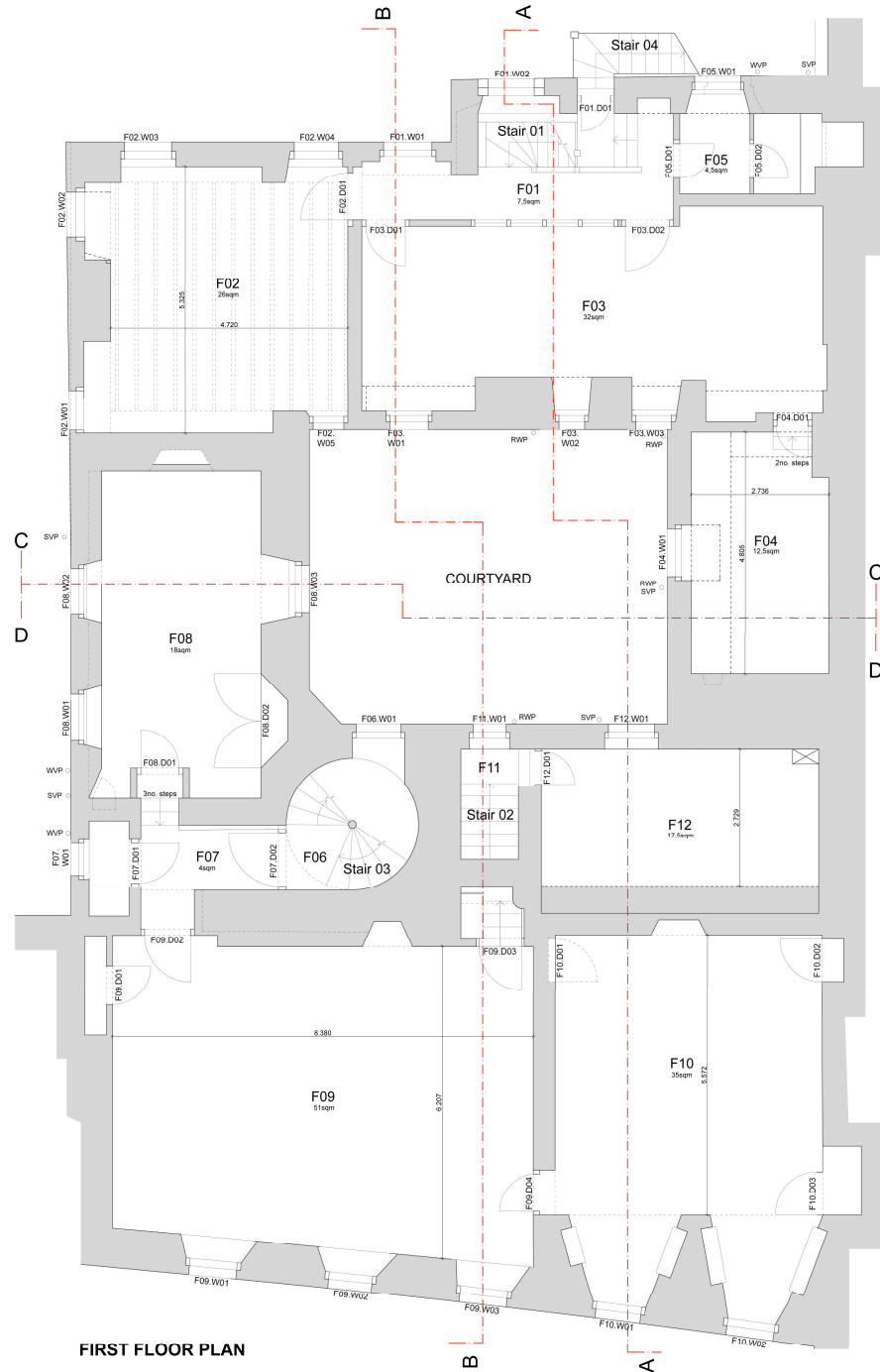
April 2012



A survey of the rooms of Riddle's Court under the Scottish Historic Building's Trust's (SHBT) management, with an attempt to tracking alterations made to these from source evidence and informed ideas, as well as providing a current inventory and inspection on the status of each. An appendix of the historic plans and sketches consulted is included for reference.



GROUND FLOOR PLAN

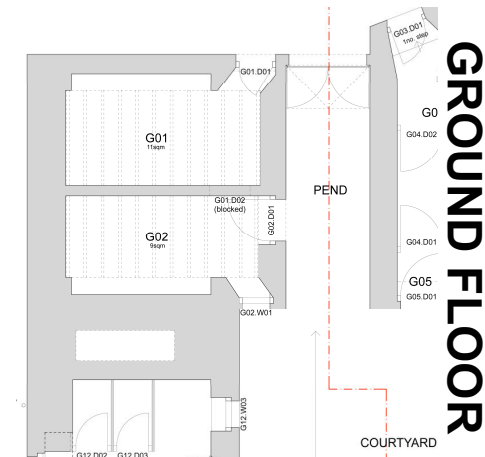
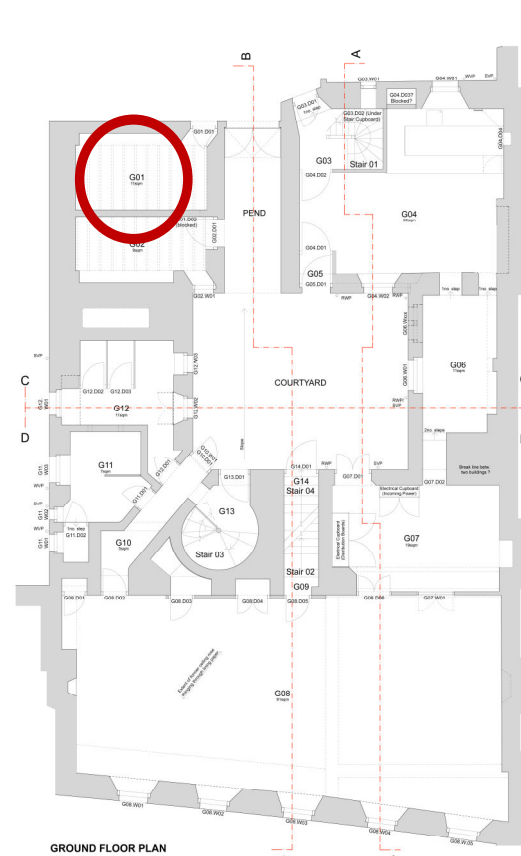


FIRST FLOOR PLAN



SECOND FLOOR PLAN

Room	G.01	
Historic Use	Pig stable and later a cellar (late 19 th century).	
Summary Description	Currently storage for property of former tenants 'Diverse Attractions', including Edinburgh Festival related material. Accessed from outer court.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Timber floorboards & joists from floor of F.02, with timber beams immediately below. - Modern fluorescent tube lighting (x1).
	Walls Light fittings	Cement over stone.
	Windows	N/A
	Doors	Small hardwood door with iron door handle (1960s installed?).
	Floors	Stone
	Fixtures/Fittings	- Timber beams fixed to walls below joists. - Stone arch above doorway. - Stone arched recess/niche adjacent to above (along north wall).
	Alterations	Blocked entrance to G.02 on south wall.
Significance	Forms part of the original west wing of the building erected under Bailie MacMorran.	
Issues	- Requires clear-out of former tenant's material (limited access). - Joists & beams could perhaps be strengthened/replaced. - Possible re-cementing of walls.	
Gaps in knowledge	When exactly entrance to G.02 was blocked.	
Sources	LDN Architects (2008/9); A. Ramsay Traquair (1897).	

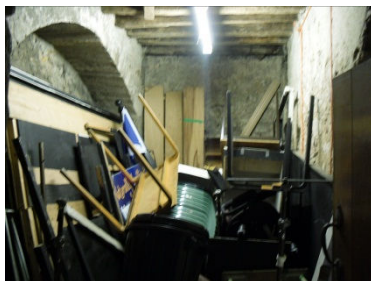
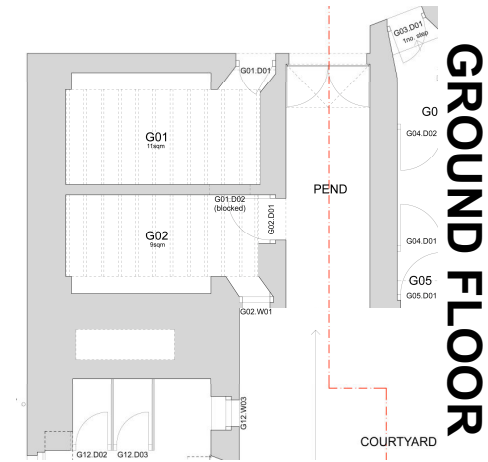
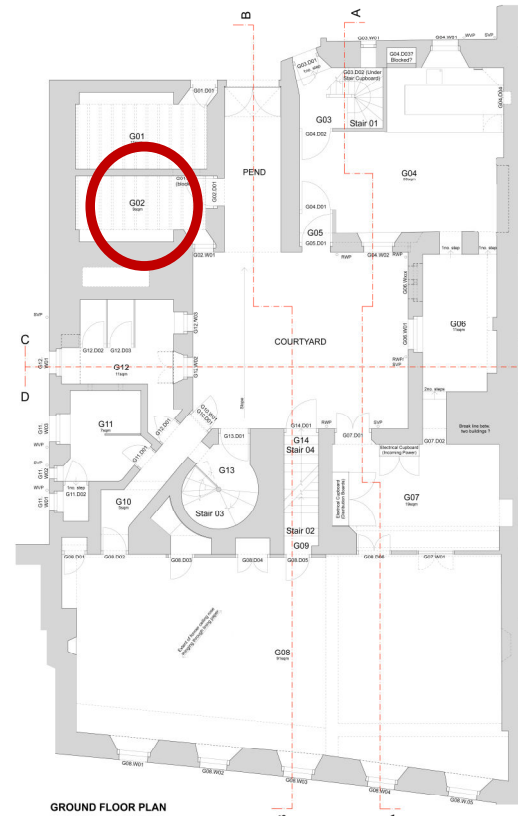


Entrance to G.01 from outer court with pend to left.



Stone arch on north wall with timber beams above.

Room	G.02	
Historic Use	Pig stable and later a cellar (late 19 th century)	
Summary Description	[same as G.01, except accessed from the pend]	
D e s c r i p t i o n	Ceiling	- Timber joists from F.02 above
	Cornices/Light fittings	- Modern fluorescent-tube lighting (x1)
	Walls	Cement over stone
	Light fittings	
	Windows	1x square timber framed, 4 paned light window, with timber wedges secured between the frame and surrounding stone recess. On south wall.
	Doors	Small hardwood door with iron door handle (1960s installed?).
Floors	Cement over stone.	
Fixtures/Fittings	<ul style="list-style-type: none"> - Exposed brickwork of blocked entrance to G.01 with, "W. Hunter & Co. Patent Portobello". - Stone arches above door and window and stone arched recess mirroring one in G.01. 	
Alterations	Blocked entrance to G.01 on north wall.	
Significance	[Same as G.01] + engraved brick suggests date of blocked entrance to be from 1873-1881 (when the company was active).	
Issues	<ul style="list-style-type: none"> - Dry rot on timber joists. - Limited access as in G.01: clear-out required. 	
Gaps in knowledge	When exactly entrance to G.01 was blocked.	
Sources	LDN Architects (2008/9); http://bloodhound.tripod.com/scots_bricks.htm (from, Graham Douglas's <i>A Survey of Scottish Brickmarks</i> , published in 1986 by the University of Strathclyde's Industrial Archaeology Survey); <i>A. Ramsay Traquair</i> (1897).	

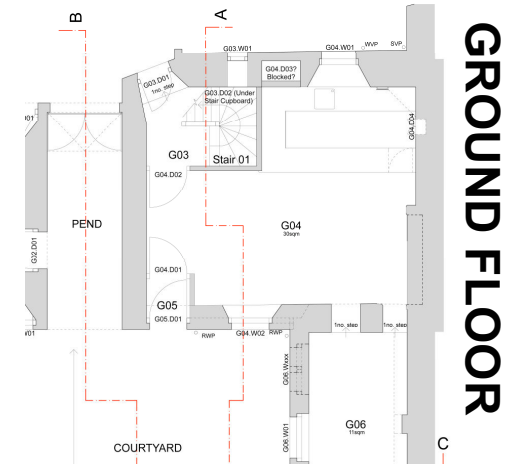
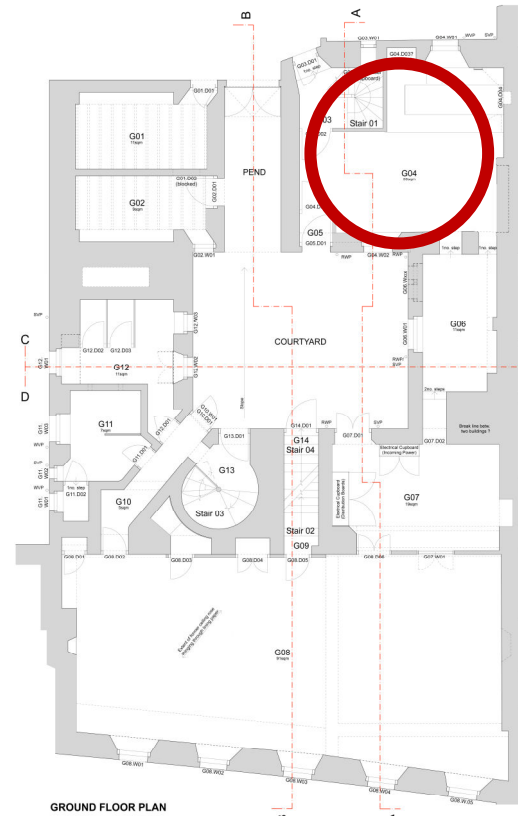


Stone arch on south wall with timber joists above.



Engraved brick on north wall (right hand side of entrance).

Room	G.04	
Historic Use	Canteen.	
Summary Description	Currently used as the 'event/meeting kitchen' for S.H.B.T.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Plaster (and suspended in kitchen galley). - No existing cornice. - Modern fluorescent panel lighting (x4) + 5 large 'spot' lights in the kitchen galley.
	Walls Light fittings	- Plaster on stone. - Likely stud partition from south wall for doorway to G.05 (porch). - Recently painted.
	Windows	X2: (i) c. late 19 th cent. casement window fitted with extractor fan (owing to kitchen), on north wall. (ii) c. late 19 th cent. single glazed sash window of 12 panes, on south wall.
	Doors	X2: (i) white painted, softwood leading to G.05, with council supplied door closer servicing/assist and aluminium handle. (ii) white painted, softwood leading to G.03. Also with door closer assist.
	Floors	Modern laminate non-slip surface (black).
	Fixtures/Fittings	- 2x fire extinguishers; 1x electric radiator; 1x fire alarm sounder/bell; 1x fire exit light above door (i); 1x emergency shutdown device for power supply(?); 1x smoke detector.
Alterations	- Possibility of fireplace (blocked flue?) on east wall. - Room formerly included G.03 (1951 (and 1887?)).	
Significance	-	
Issues	-	
Gaps in knowledge	- Date of blocked window on north tiled wall in kitchen galley.	
Sources	LDN Architects (2008); <i>MacGibbon and Ross</i> (1887); (<i>Anon</i>) 1951 plans.	



GROUND FLOOR

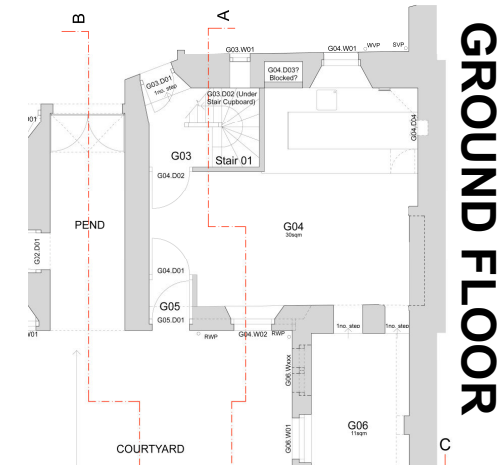
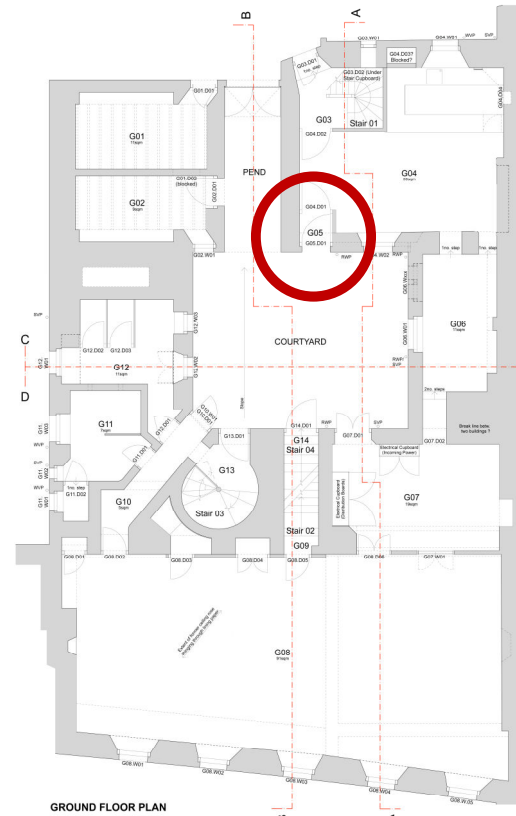


View of G.04 facing east.

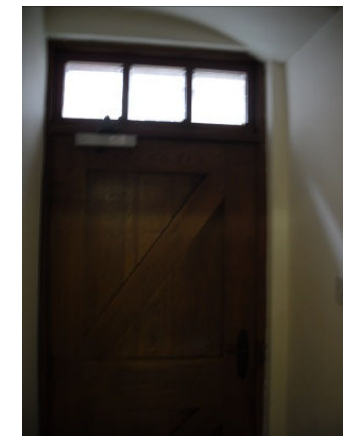


Kitchen galley of G.04 with suspended ceiling.

Room	G.05	
Historic Use	Formerly part of a corridor leading straight ahead to G.03 (now entrance to WEA offices) and once cut further into G.04. (A. Ramsay Traquair, 1897).	
Summary Description	Current porch/vestibule to canteen/kitchen.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	-Plaster. - Sectioned arch running above doorway to courtyard. - 1 x fluorescent tube box light.
	Walls Light fittings	Plaster.
	Windows	3 single glazed, gridded panes above door (i).
	Doors	X2: (i) hardwood door with iron handle (1960s installed?) leading to courtyard. (ii) [same as G.04 door (i), but with aluminium finger plate] to G.04.
	Floors	Modern (industrial) hard wearing carpet. (black)
	Fixtures/Fittings	- 1 x metal doorstop. - 1x fire alarm.
Alterations	- Door (i) was formerly a window looking out onto the (inner) courtyard. See James Drummond drawing of 1879..	
Significance	Low.	
Issues	-	
Gaps in knowledge	Exact date(s) of alterations to room, including reduced size and replacement of window with door facing courtyard.	
Sources	LDN Architects (2008); James Drummond pencil drawing (1854); A. Ramsay Traquair (1897).	

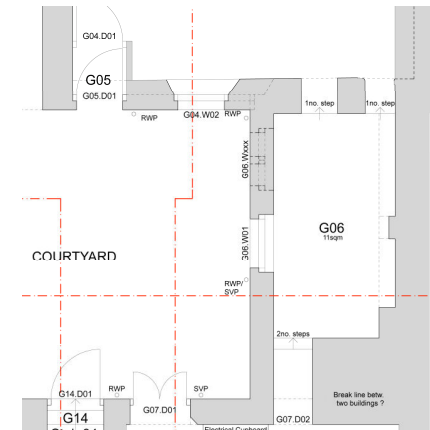
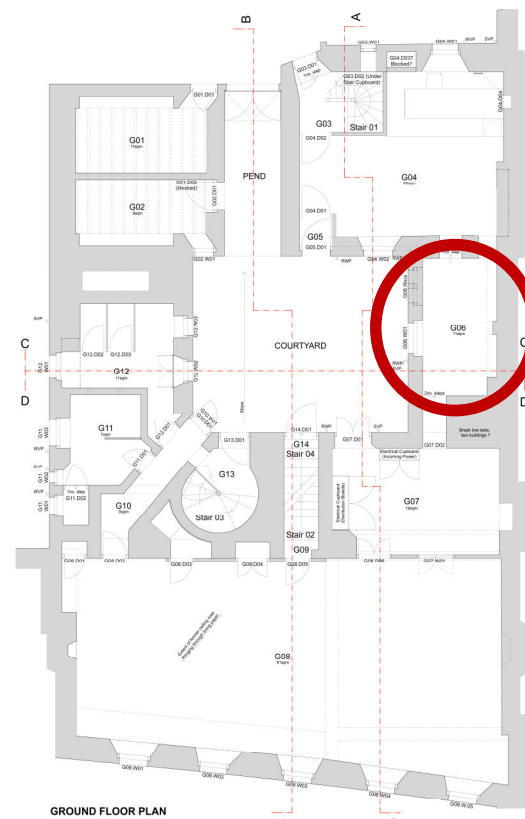


GROUND FLOOR



Door (i) of G.05 with glazed panes .

Room	G.06	
Historic Use	?	
Summary Description	Largely empty room operating as effective hallway between G.04 and G.07.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Plaster. - No existing cornice. - 4x modern 'panel lights'.
	Walls Light fittings	- Plaster. - Recently painted.
	Windows	1x timber sash window and sill (c. late 19 th cent.).
	Doors	- 3 narrow openings in the walls: 2 on the north wall and 1 arched opening on the south wall.
	Floors	- Non-slip surface (same as G.04). - Not level with neighbouring G.04 or G.07.
	Fixtures/Fittings	- 1x smoke detector (on centre of ceiling). - 1x electric radiator. - 1x intercom telephone (controlling access to Riddle's Court, south block: SHBT leased). - 1 x fire exit light (above opening to G.04).
Alterations	<ul style="list-style-type: none"> - Formerly a door to right of window entered from the courtyard (1890s). - Formerly a stud partition between the two arched recesses (1897 plan). - Prior to Geddes' intervention there was no access between G.04 and G.06 and then again this must have been re-sealed between the 1890s and 1951 and not re-opened till approx. the 1960s. In fact G.06 could only be accessed from the courtyard before. 	
Significance	- Room subjected to radical (unrealised) proposals of Geddes to install a turnpike stair in N.E corner leading to current WEA office F.04.	
Issues	- No 'Mind the Step' or 'Mind your Head' signs above openings between G.06 and neighbouring rooms (Health & Safety issue/concern?)	
Gaps in knowledge	- Exact historic use of room.	
Sources	LDN Architects (2008); Patrick Geddes Alterations: <i>Mitchell</i> (1889); <i>A. Ramsay Traquair</i> (1897); (<i>Anon</i>) 1951 plans; <i>Paterson</i> (1961); Patrick Geddes Alterations: <i>Capper</i> (1892).	

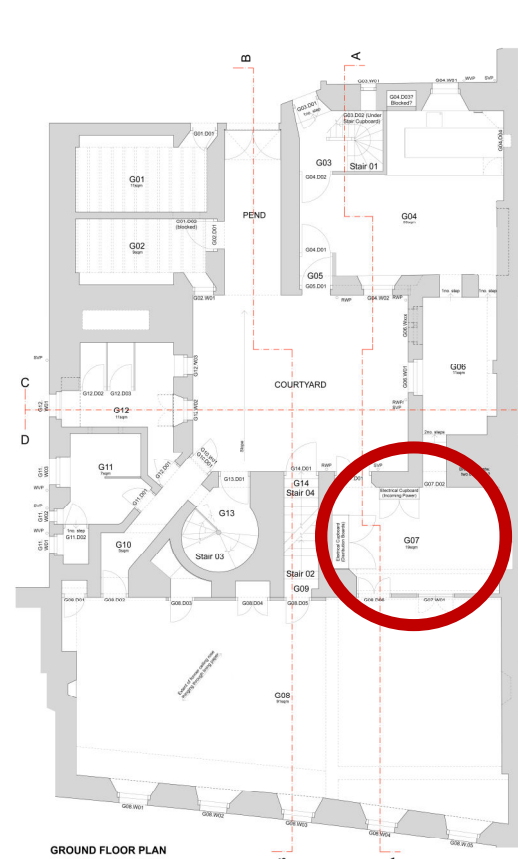


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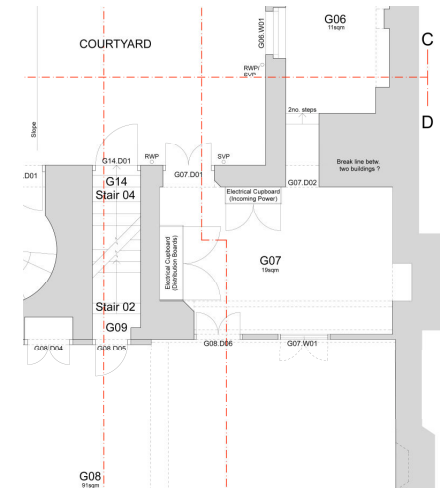


View of G.06 from entrance to G.04, facing south.

Room	G.07	
Historic Use	Formerly part of the Mechanic's Library.	
Summary Description	Currently used as a 'refreshments room' for WEA classes and other events/meetings managed by SHBT. Also providing access to electrical sources for south block of the building.	
D e s c r i p t i o n	Ceiling	- Plaster.
	Cornices/Light fittings	- No existing cornice. - 2x fluorescent tube lights. - Old partition wall to G.08 visible at south side of room.
	Walls	- Plaster.
	Light fittings	- Recently painted.
	Windows	1x timber double casement window with gridded astragals separating 12 glass panes. Opened from G.08.
	Doors	X3: (i) thin timber door leading to G.06. (ii) double door (timber panelled with glass panes at top), leading to G.08. (iii) double door (hardwood, 1960's?) fire exit leading to court outside.
Floors	(industrial) hard wearing carpet (red).	
Fixtures/Fittings	- 1x fire exit light (north wall); 1x fire alarm bell; 1x fire extinguisher; 1 x arched recess; 1 x fire alarm; 1x electric radiator; 1x fire alarm control panel; 2x electrical cupboards: i) incoming power (north wall) ii) distribution boards (west wall); 1x smoke detector.	
Alterations	- Former enclosed stone wall between G.07 and G.06. - Door (iii) formerly (part of?) a window. - Former partition extending from north wall (1951).	
Significance	-Formerly part of the Mechanics Library that occupied G.08 also, prior to Geddes' intervention	
Issues	- Health & Safety (i.e. low ceiling and mind step signs?).	
Gaps in knowledge	- Exact dates of alterations and historic use of room.	
Sources	LDN Architects (2008); Patrick Geddes Alterations: <i>Mitchell</i> (1889); (<i>Anon</i>) 1951 plans; <i>Grant</i> , courtyard sketch (1895).	



GROUND FLOOR PLAN



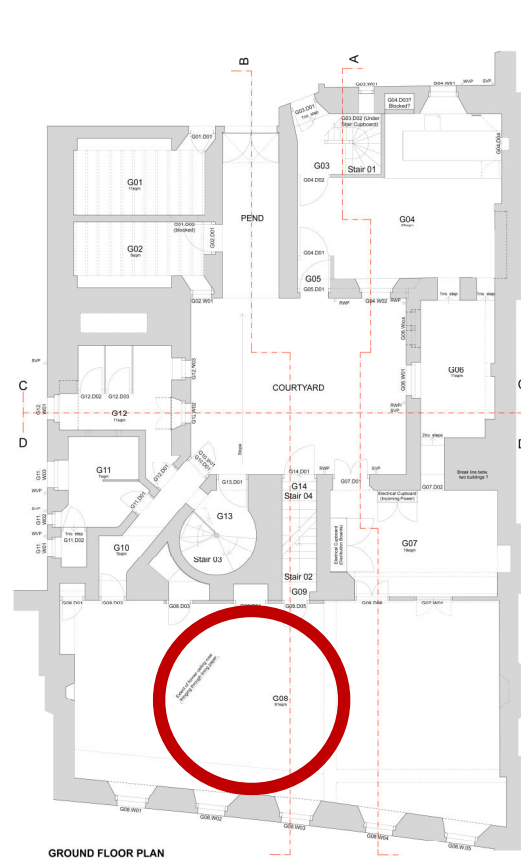
GROUND FLOOR

View of G.07 facing west , with distribution boards in cupboard ahead.

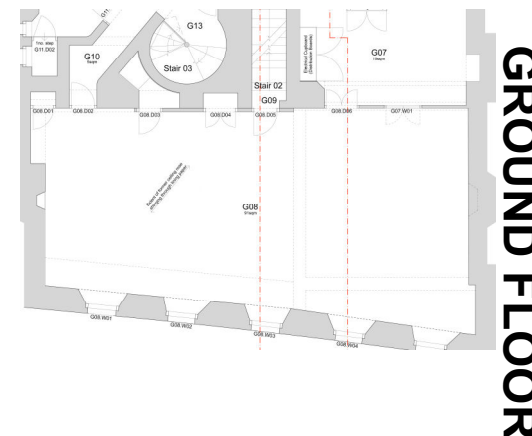


View of G.07 facing east, featuring arched recess.

Room	G.08	
Historic Use	<ul style="list-style-type: none"> - Halls/bed chambers for uni. students at the time of P. Geddes. - Also formerly Mechanic's Library (1889 plan). 	
Summary Description	Currently referred to as the 'Orwell Room', operating as the largest function room under SHBT.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	<ul style="list-style-type: none"> - Plaster with lining paper. - 8x fluorescent tube lights.
	Walls Light fittings	<ul style="list-style-type: none"> - Plaster with lining paper. - South wall runs parallel to Victoria St. (hence its odd curve). - timber dado rail (& timber panelling on lower east wall).
	Windows	X6: 5x late 19 th cent. timber sash windows with shutters (original?) along south wall. (vi) [same as G.07 window].
	Doors	X6 timber panelled: (i) cleaner's storage cupboard; (ii) to G.10; (iii) storage cupboard with sealed off space that follows back curved wall of stair 03; (iv) double door storage cupboard with shelving and moulded architrave around it; (v) to G.09 and stair 02; (vi) double door to G.07.
	Floors	Recently re-varnished pine floor boards.
	Fixtures/Fittings	- Most notably an 18 th cent. fire surround featuring highly decorative engravings with a lion centred; 1x fire alarm bell; 1x smoke detector; 5 x electric radiators; 3x fire extinguishers; 2x fire exit lights; 1x projector screen.
	Alterations	<ul style="list-style-type: none"> - Evidence of former ceiling rose (faintly) visible through lining paper. - Each bay on the south wall pertained to an individual bedroom during its time as university halls. - Evidence of former Mechanic's Library walls on east side of the ceiling.
Significance	Its historic use as well as the social significance attributed with stellar appearances from Dame Maggie Smith and Stephen Fry whilst in use for the Edinburgh Festival.	
Issues	-	
Gaps in knowledge	Exact dates of alterations.	
Sources	LDN Architects (2008); <i>Mitchell</i> (1889); <i>A. Ramsay Traquair</i> (1897).	



18th century fire surround.



GROUND FLOOR

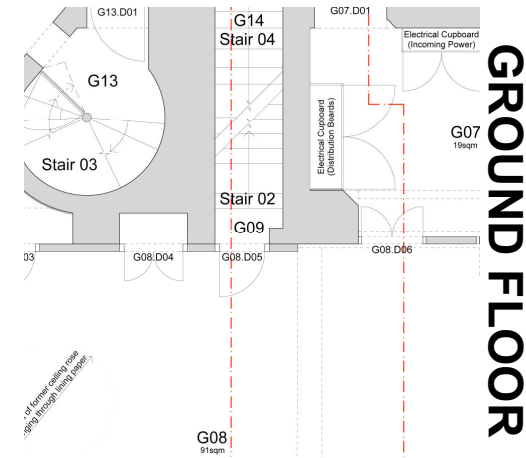
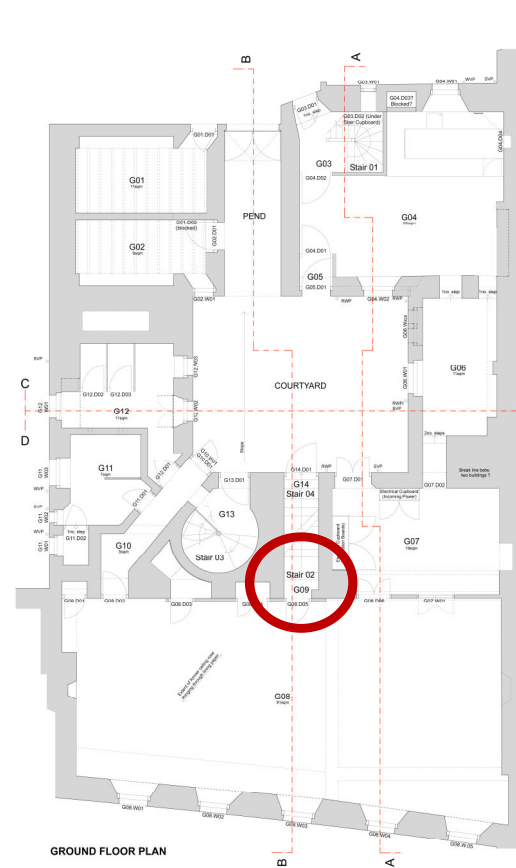


View of south wall facing Victoria Street and Terrace, with evidence of former walls on ceiling.



View of G.08 doors along north wall.

Room	G.09	
Historic Use	?	
Summary Description	Small contained space positioned in front of stair 02 leading to F.11 and 12.	
Descriptive partition	Ceiling	- Low hanging.
	Cornices/Light fittings	- Stone ceiling immediately after door frame. - Timber around door frame with strong cardboard nailed to fill in gaps.
	Walls	Plaster on timber.
	Light fittings	
	Windows	N/A
	Doors	1x timber panelled (c. late 19 th cent.).
	Floors	Stone (painted red).
Fixtures/Fittings	-	
Alterations	Ceiling clearly part of a changed partition wall.	
Significance	-	
Issues	Gaps in timber door frame sealed only by strong cardboard.	
Gaps in knowledge	Date this room and adjoining staircase originate from; historic use of room.	
Sources	LDN Architects (2008).	

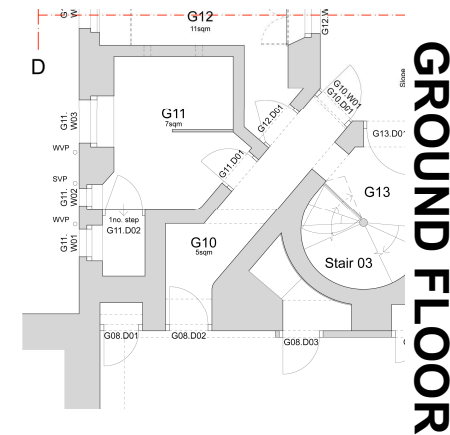
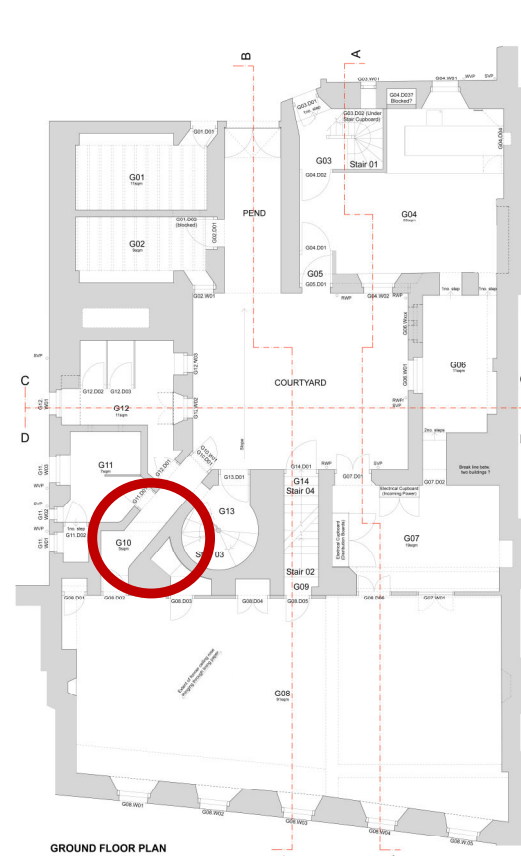


View of G.09 from stair 02.



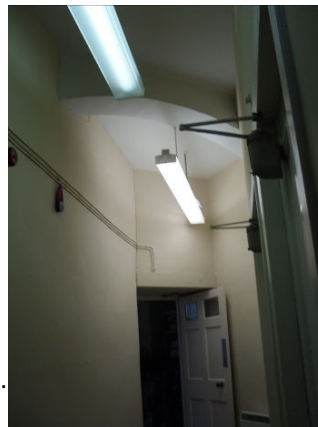
View from under the door frame looking up. Brown edge in left hand corner indicates timber section of door frame, with strong cardboard immediately below this (grey) and the stone thereafter (cream).

Room	G.10	
Historic Use	Hallway for accessing former kitchen (G.11 and 12) and Mechanic's Library (G.08).	
Summary Description	Currently a hallway providing access from the courtyard to G.08, 11, 12 and stair 03.	
D e s c r i p t i o n	Ceiling	- Plaster.
	Cornices/Light fittings	- 2x fluorescent tube lights.
	Walls	Plaster on stone.
	Light fittings	
	Windows	1x timber, single glazed light window above door to courtyard. Installed after 1895.
	Doors	X4: (i) hardwood (1960s?) leading to courtyard; (ii) timber panelled, leading to female toilets; (iii) timber panelled, leading to male toilets; (iv) timber panelled with glass panes in top panels, leading to Orwell Room.
Floors	Stone (recently painted grey).	
Fixtures/Fittings	- 1x electric radiator; 1x fire alarm; 1x fire exit light; 1x fire alarm bell.	
Alterations	Evidence of former wall for doorway to Mechanic's Lib. on the ceiling.	
Significance	Forms part of the original west and south building of Bailie MacMorran.	
Issues	Very bad draft from courtyard door (door (i)).	
Gaps in knowledge	-	
Sources	LDN Architects (2008); <i>Mitchell</i> (1889); <i>Grant</i> , courtyard sketch (1895).	

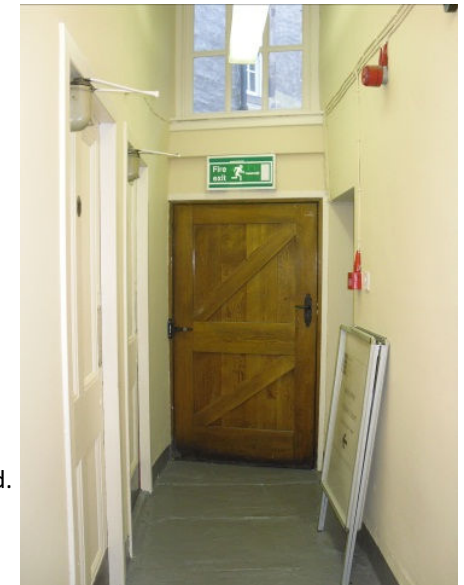


GROUND FLOOR

G.10 facing entrance to G.08, with evidence of former wall on ceiling.



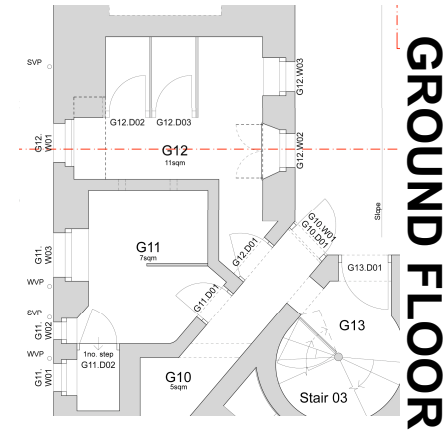
View of G.10 facing door to the courtyard.



Room	G.11	
Historic Use	Formed part of the kitchen used during the time of the university halls.	
Summary Description	Currently used as male toilets.	
D e s c r i p t i o n	Ceiling	- Plaster.
	Cornices/Light fittings	- 1x fluorescent tube light; 1x circular fluorescent ring light.
	Walls	- Plaster on stone and brick.
	Light fittings	- Stud partition wall from east stone wall (for urinal privacy from entrance).
	Windows	X3 timber casements with frosted glass, on west wall with timber sills (c. late 19 th cent.)
	Doors	X2: (i) timber panelled with yale lock, leading to G.10; (ii) timber panelled with privacy lock and step up to W.C.
Floors	Stone (with cement on top?), painted grey.	
Fixtures/Fittings	- 1x fire exit light; 1x electric radiator; 2x porcelain sinks; 1x toilet; 3x urinals; 1x small hot water tank (for washing hands)	
Alterations	- Evidence of hollow north wall that was opened to G.12 at time room was part of a kitchen (certainly up to 1951). - Converted to toilets by the 1960s. - 3 windows only visible from 1951 onwards.	
Significance	Formerly part of old kitchen.	
Issues	Possibly install a separate hot water tap to avoid risk of burning from tank.	
Gaps in knowledge	Did this form part of the kitchen original to the building's construction?	
Sources	LDN Architects (2008); <i>A. Ramsay Traquair</i> (1897); (<i>Anon</i>) 1951 plans; <i>Paterson</i> (1961).	



GROUND FLOOR PLAN



GROUND FLOOR

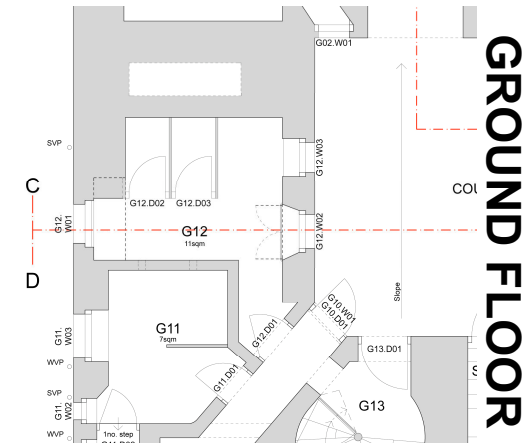
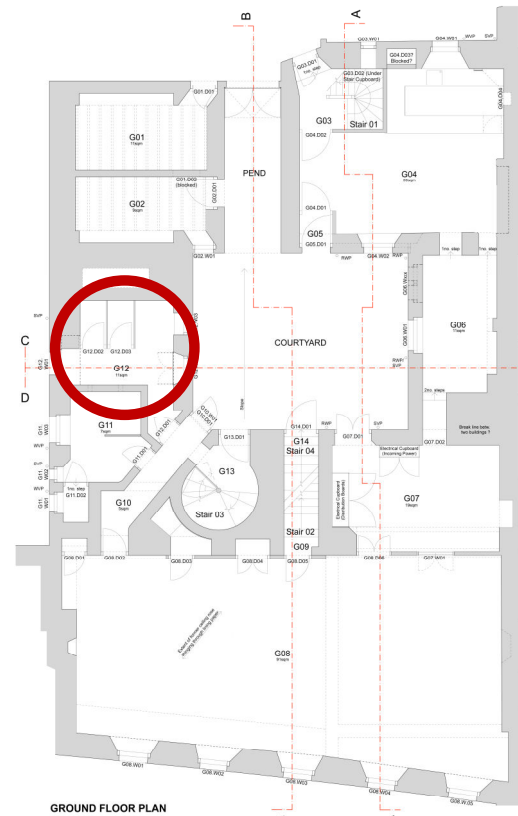


View of entrance and stud partition wall of G.11.



View from north wall, facing W.C.

Room	G.12	
Historic Use	Like G.11 this room was formerly part of the kitchen servicing the university students staying here.	
Summary Description	Currently used as the female toilets.	
D e s c r i p t i o n	Ceiling	- Plaster.
	Cornices/Light fittings	- 2x fluorescent tube lights.
	Walls	East wall is definitely stone and other walls are possibly a mix of stone or brick (e.g. the partition walls for the toilets).
	Light fittings	
	Windows	X3 timber framed with frosted glass: (i) sash on east wall; (ii) 2 paned light window above mirror; (iii) casement window set within arch on west wall.
	Doors	X3: (i) timber panelled with yale lock, to G.10; (ii) & (iii) timber, to toilets.
Floors	Stone (with cement on top?), painted grey.	
Fixtures/Fittings	- 1x fire exit light; 1x electric radiator; 1x storage cupboard beneath window (ii); 1 x small hot water tank (for washing hands); 2x porcelain sinks; 2x toilets; stone arch over window (iii).	
Alterations	Blocked window behind mirror; blocked flue on north wall; blocked wall bordering with G.11.	
Significance	Formerly part of old university halls kitchen	
Issues	[same as for G.11].	
Gaps in knowledge	[same as for G.11] + date of blocked window.	
Sources	LDN Architects (2008); <i>A. Ramsay Traquair</i> (1897); (<i>Anon</i>) 1951 plans; <i>Paterson</i> (1961).	

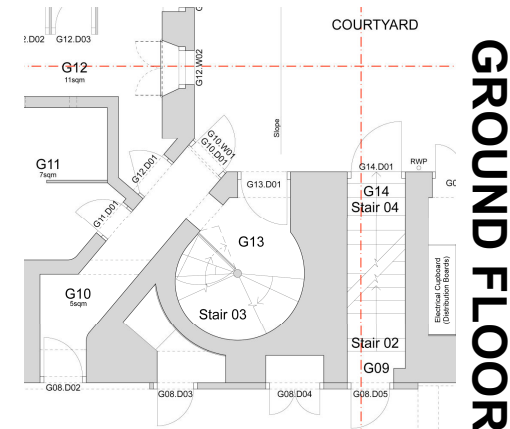
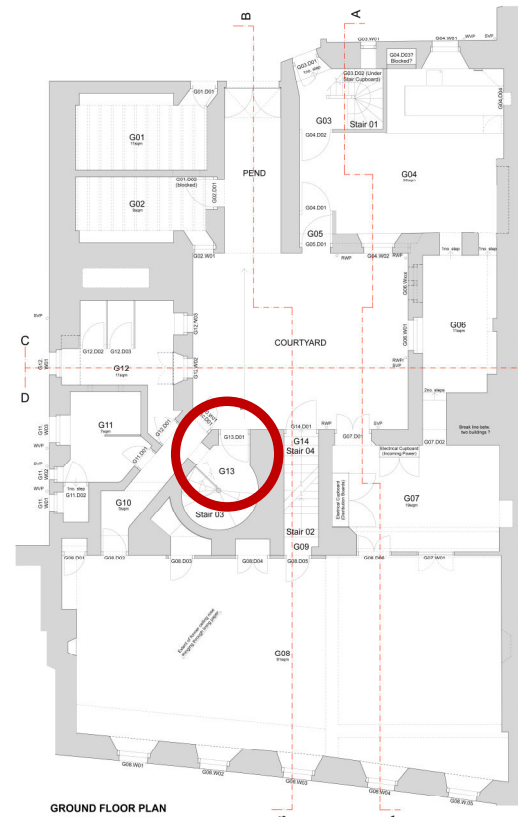


View of stone arch on west wall and W.C.'s.



View of windows (i) and (ii) which face the courtyard.

Room	G.13	
Historic Use	Likely to have formed at least part of the original entrance, given that the turnpike stair is original to the build.	
Summary Description	Public main entrance/porch to south block of Riddle's Court with stair 03 immediately in front.	
Description	Ceiling Cornices/Light fittings	The underside of the turnpike stair immediately ahead.
	Walls Light fittings	Stone (with plaster and paint). [lights on stair 03: fluorescent tube box].
	Windows	N/A
	Doors	1x hardwood (c. 1960s installed) fitted with electronic controlled access by switch/intercom and an emergency door release.
	Floors	Stone (painted red).
	Fixtures/Fittings	- 1x fire exit light; 1x fire alarm; 2x power supply boxes; 1x fire alarm.
	Alterations	Stair 03 possibly extending down to Victoria Terrace at time of new facade of c.1820s/30s.
Significance	Good surviving example of a quintessentially Scottish (tower house) turnpike stair.	
Issues	Health and Safety: perhaps install anti-slip tape/nosing for steps of turnpike stair.	
Gaps in knowledge	When access to the basement via stair 03 was blocked.	
Sources	LDN Architects (2008).	



GROUND FLOOR

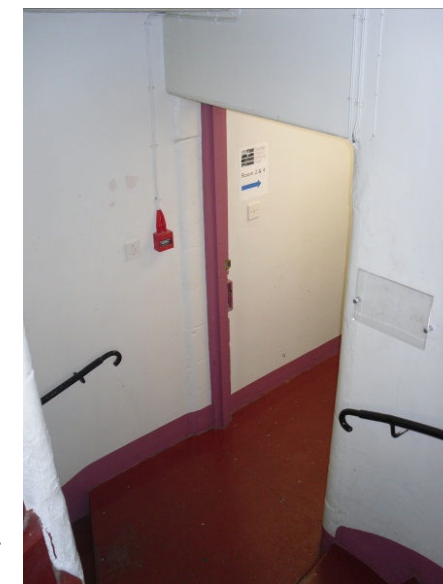
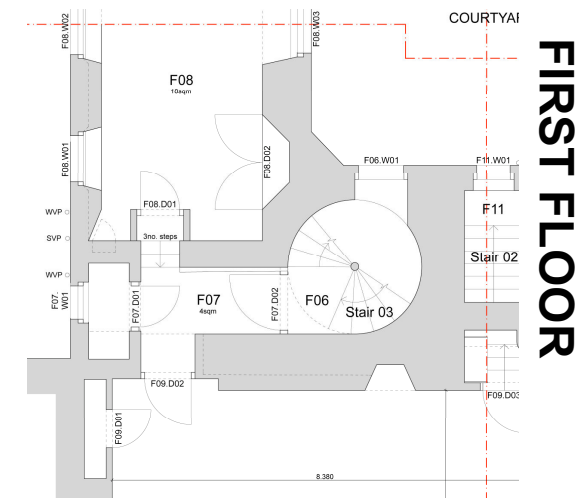


Main public entrance to SHBT, with underside of turnpike stair in left hand corner.

Foot of turnpike stair from ground floor, with blocked entrance to basement level indicated by black gate on right.

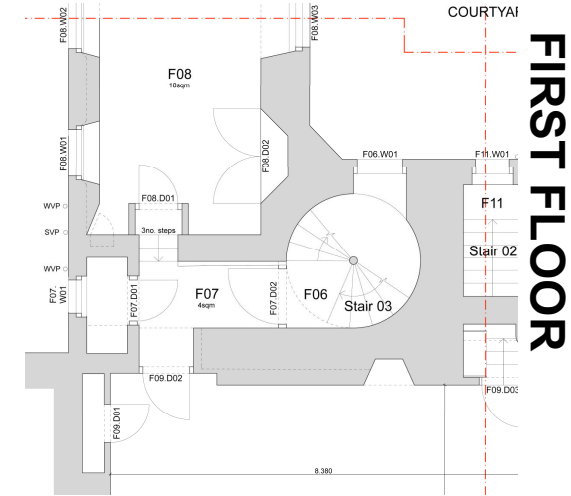


Room	F.06	
Historic Use	Most likely stair 03's landing to the 1 st floor.	
Summary Description	Currently the landing to the 1 st floor of the south block of Riddle's Court.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	Stone (original to build?) i.e. the underside of stair 03.
	Walls Light fittings	Stone with plaster. [lights on stair 03: fluorescent tube box].
	Windows	[above on stair 03: timber sash window facing north to courtyard].
	Doors	1x broad timber door (c. 1960s) with installed single glazed panel on top half. Also fitted with council supplied door closer servicer/assist and yale lock.
	Floors	Stone (with plaster/cement on top?), painted red.
	Fixtures/Fittings Alterations	- 1x fire alarm; 1 x light switch (for lights on stair 03). Installation of new door and door frame likely to be 1960s development.
Significance	Provides access to 1 st floor of the south block.	
Issues	Perhaps necessary to install a non-slip laminate surface on the floor, given narrow space and proximity to stair 03.	
Gaps in knowledge	Exact date(s) of alterations.	
Sources	LDN Architects (2008); A. Ramsay Traquair (1897); (Anon) 1951 plans; Paterson (1961).	



View of F.06 from turnpike stair.

Room		F.07
Historic Use		Passage to access the dining room (F.09) and drawing room (F.10) of the university halls era and before.
Summary Description		Narrow hallway leading to F.08, .09 and .10 and a storage cupboard facing you on entering the room from stair 03.
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Plaster and suspended above doorway to storage cupboard. - 1x fluorescent tube.
	Walls Light fittings	Stone with plaster.
	Windows	1x timber casement window and sill within storage cupboard.
	Doors	X4: (i) [same as F.06 door]; (ii) timber panelled with yale lock and Perspex room plate fitted, leading to F.08; (iii) timber panelled (top four panels are frosted glass) with yale lock and door assist, to storage cupboard; (iv) timber panelled fitted with Perspex room plate and yale lock, to F.09.
	Floors	Stone (with plaster/cement on top?), painted red.
	Fixtures/Fittings	-1x fire exit sign; 1x smoke detector; 1x fire alarm bell.
Alterations		-Window appears to have existed before Geddes' intervention (1887), but blocked in 1890s and then re-opened by 1951; wall above door (iv).
Significance		- The only access point to two of the best historically preserved and key function rooms.
Issues		- Cracks in the plaster and plaster board suspended ceiling and on the wall around door (ii); lining paper peeling in multiple places.
Gaps in knowledge		Exact date(s) of alterations.
Sources		LDN Architects (2008); A. Ramsay Traquair (1897); (Anon) 1951 plans; Paterson (1961); Macgibbon and Ross (1887).

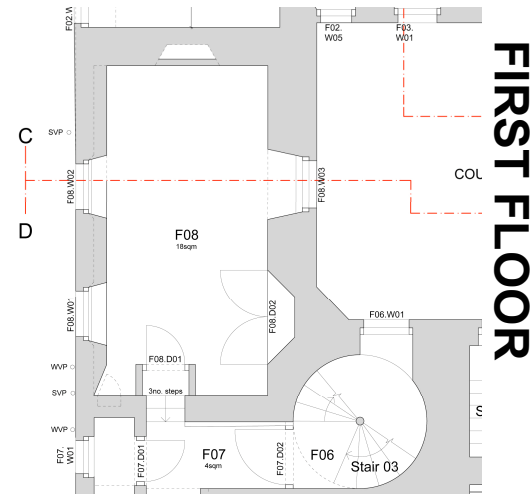


View of F.07 from of F.06, with door (iii) straight ahead.

Room	F.08	
Historic Use	Drawing room/bedroom perhaps?	
Summary Description	Currently used as a meeting room for SHBT staff and trustees.	
D e s c r i p t i o n	Ceiling	- Plaster.
	Cornices/Light fittings	- Painted timber cornice (simple: no detailing). - 1x low hanging five armed metal (gold painted) chandelier.
	Walls	Timber panelling (18 th cent.) set on stone walls (original to build).
	Light fittings	
	Windows	3x (c. late 19 th cent: 1890s>) timber sash windows with (later installed) hinged fixtures on surrounding timber frames, for securing and adjusting height when opened.
	Doors	1x timber panelled door [same as F.07 door (ii)].
	Floors	(industrial) hard wearing carpet. (red) over timber floorboards.
	Fixtures/Fittings	- C.18 th cent (possibly older) fireplace with cast iron grate (18 th /19 th cent); 1x portable electric radiator (small); 1x fitted electric radiator; 3x curtain rails; 1x storage cupboard inset behind panelling on west wall; 18 th century panelling.
	Alterations	- Part of skirting board on south wall is newer (to accommodate fitted electric radiator?); sealed panel closet on south west wall; sealed timber panelled shutters for windows; windows likely pertain to conservation/developments at end of 19 th /beginning of 20 th cent.
Significance	Contains original panelling and fireplace.	
Issues	- Minor cracks round panelling and edges of cornice; perhaps in need of re-painting; possible evidence of slight subsidence in the corners of the cornice .	
Gaps in knowledge	- Possibility that panelling could be part of late 19 th cent. reconstruction work?; exact historic use.	
Sources	LDN Architects (2008); <i>MacGibbon and Ross</i> sketches (1887); (<i>Anon</i>) 1951 plans.	



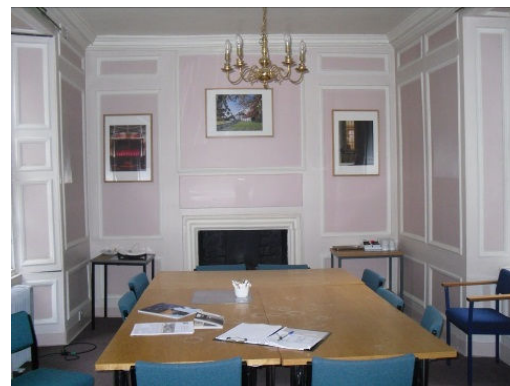
FIRST FLOOR PLAN



FIRST FLOOR



Fireplace with roll moulded surround and later grate.

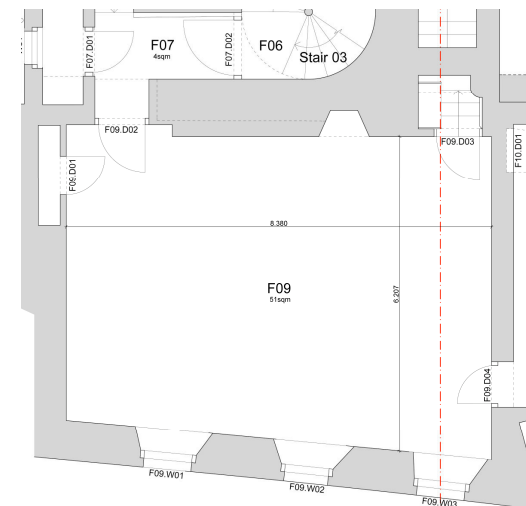


View of F.08 from entrance, facing north.



View of F.08, facing south.

Room	F.09	
Historic Use	Dining room during uni. halls era and before, possibly even at the time of famous royal banquet in 1598.	
Summary Description	Currently used as one of the main rooms on display for SHBT's open day tours of Riddle's Court and as event space (e.g. presentations, book launches etc.). Currently referred to as the "Geddes Room".	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Thomas Bonnar painted ceiling (1897). - 4x six armed metal (gold coloured) chandeliers. - timber cornice (originally 18 th cent.?) split between painted ceiling and wall.
	Walls Light fittings	Green painted timber panelling (18 th cent.) set on stone walls with some plaster replacements (e.g. west wall).
	Windows	X3 timber sash windows along the south wall with excellent views of Victoria Street and Terrace below as well as the south side of the city. Likely to be original to the new Vict. Ter. Facade of c.1820s/30s.
	Doors	X4: (i) [same as F.07 door (iv) + painted green and with original brass lock]; (ii) timber panelled with storage cupboard and stone arch (inside) at same height of F.09 ceiling inside; (iii) storage cupboard with shelving; (iv) to F.10 with architrave and timber panel above.
	Floors	Yellow carpet (c. 1960s/70s) over original (sloping) timber floorboards.
	Fixtures/Fittings	- 2x electric radiators; 4x double socket power points (brass coloured); 1x fire extinguisher; 6x (c.1970s) floor length curtains; 1x c.17 th cent. fire-place with original roll moulded (marble?) surround.
	Alterations	- Panelling is a later 18 th cent. development; painted ceiling is an 1890s addition; door (iii) probably acted as a service door to the dining room before Geddes' intervention: suggestion strengthened by the blocked stair (for servants?). Acted as a press from Geddes' time; wall inside door (ii) is perhaps original to the room before the 18 th cent. panelling was installed; 20 th cent. developments including restoration of the painted ceiling (c.1996), radiators, curtains, lights etc.



Significance	- Historical importance of the royal banquet likely to have been held here for King James VI and his Queen in 1598; restored Thomas Bonnar painted ceiling (artist fairly famous for time).
Issues	- Maintenance of painted ceiling: risk of fading from south sunlight, plus ceiling movement- cracks developing; in need of re-painting and carpeting (not urgent).
Gaps in knowledge	Exact dates of alterations.
Sources	LDN Architects (2008); <i>MacGibbon and Ross</i> (1887); (Anon) 1951 plans; <i>Paterson</i> (1961); <i>A. Ramsay Traquair</i> (1897).



East wall ahead with 18th century panelling and entrance to F.10. Windows on right facing Victoria Street and Terrace (south side of building).



Central section of Thomas Bonnar's painted ceiling.

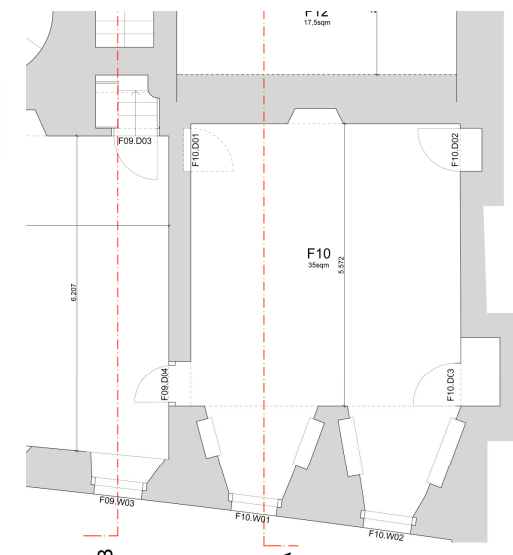


The Geddes Room in 1963 prior to restoration work (including the painting of the panelled walls).



North wall with c.17th century fireplace. Mirror on table (in foreground) for viewing ceiling during tours.

Room	F.10	
Historic Use	Drawing room of the university halls era and before.	
Summary Description	Currently used as tour guiding space and occasionally included with F.09 as function/event space ('refreshments room').	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Early to mid. 17 th cent. plasterwork ceiling with (later?) interlinking cornice. - 1x twelve armed brass/gold chandelier; 2x (gas) lantern lights in bays of windows (original to late 19 th cent intervention).
	Walls Light fittings	- Timber panelling (painted a lighter green to F.09) on stone.
	Windows	X2 [same as F.09 windows but frames painted white not green].
	Doors	X4: (i) [same as F.09 dr. (iv), but with original 18 th cent. brass lock (and drop handle?)]; (ii) timber panelled blind door; (iii) timber panelled storage cupboard with shelves; (iv) [same as dr. (iii)].
	Floors	[same as F.09].
	Fixtures/Fittings	1x electric radiator; 2x double socket power points (brass coloured); fireplace with original late 18 th cent. decorative cast iron grate and later marble surround (19 th cent. ?); 4x niches with bench seats; 4x (c.1970s) floor length curtains.
Alterations	Niches are a late 19 th century addition (perhaps even in response to Victoria Terrace facade development) and the thistle wallpaper above the bench seats is original to the 1890s; changed to a meeting room like F.09 c.1960s.	
Significance	Very well preserved 17 th century Scottish plasterwork ceiling with original mouldings. Possibly the most original surviving room of the south block.	
Issues	- Minor damage to timber panelling; maintenance and care of plaster ceiling with natural movement of the building (long term).	
Gaps in knowledge	Exact date of plaster ceiling and fireplace (including apparently later surround).	
Sources	LDN Architects (2008); Historic Scotland, <i>Technical Advice Note 26: Care and Conservation of 17th Century Plasterwork in Scotland</i> (2004, Edinburgh); <i>Patterson</i> (1961); <i>A. Ramsay Traquair</i> (1897).	



FIRST FLOOR



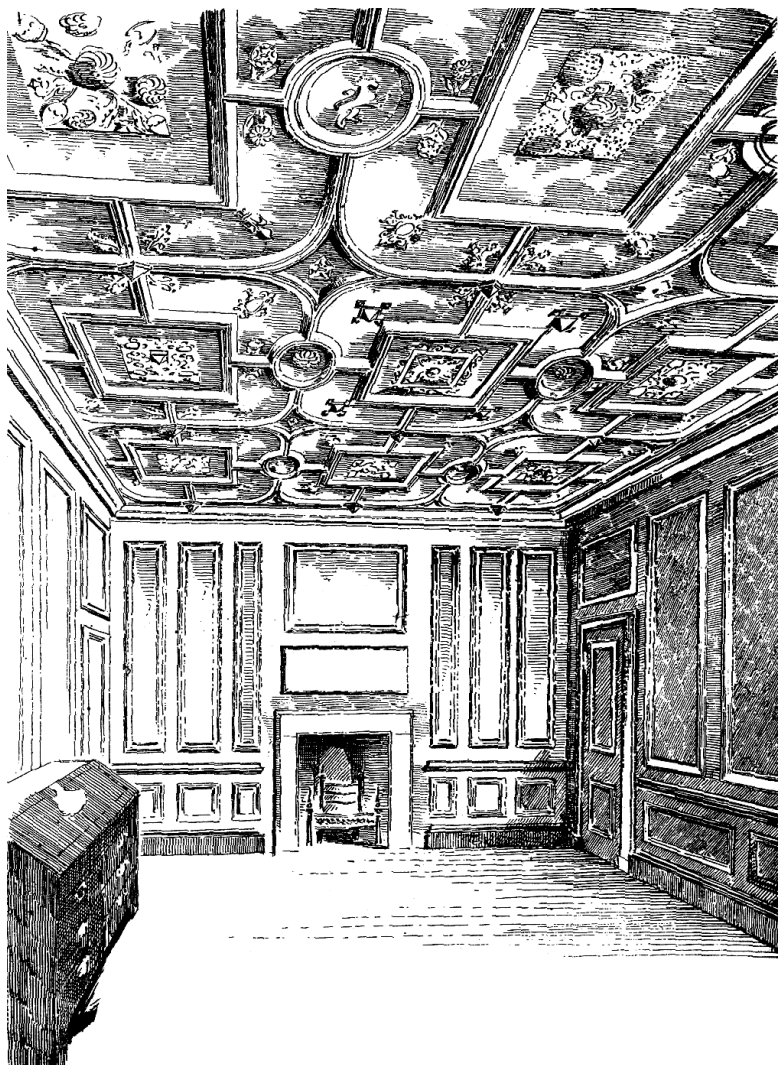
View of 17th century plaster moulded ceiling.



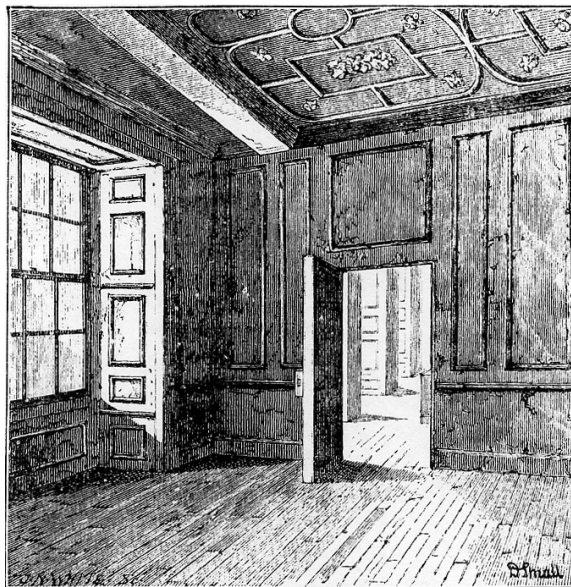
F.10 facing north, featuring 18th century panelling on walls.



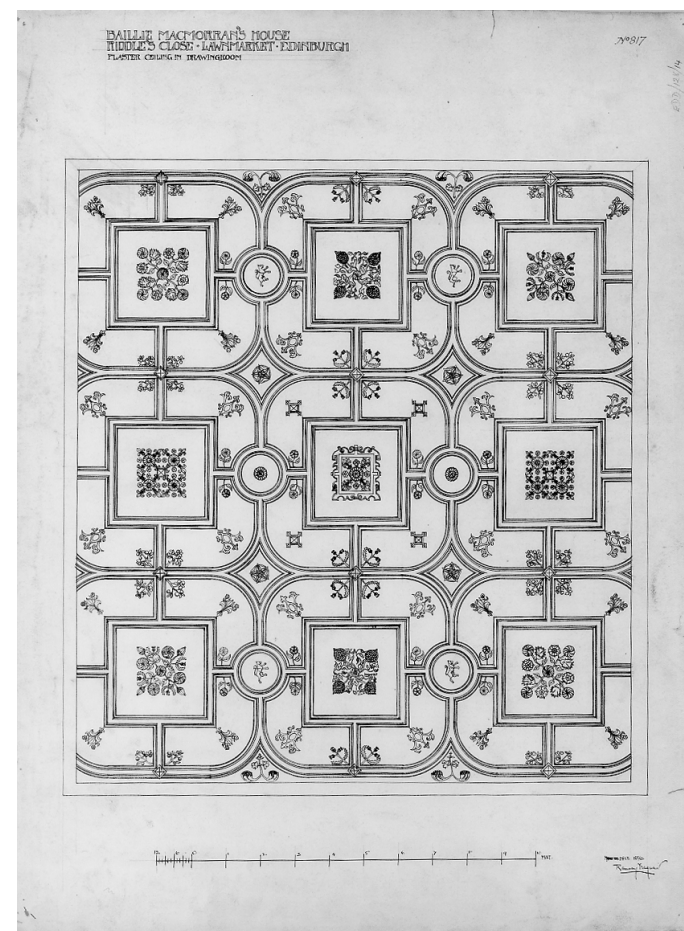
View of 19th century niches.



Sketch by MacGibbon and Ross of F.10 in 1887.

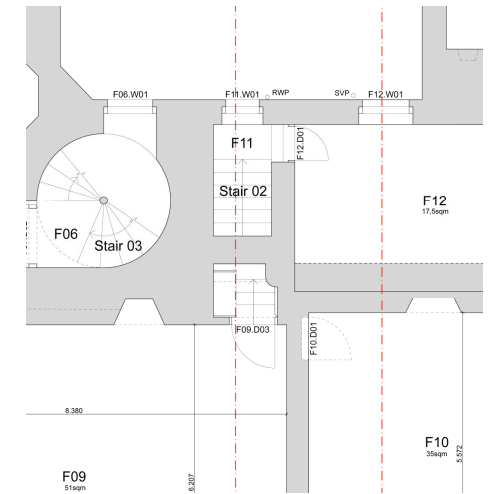
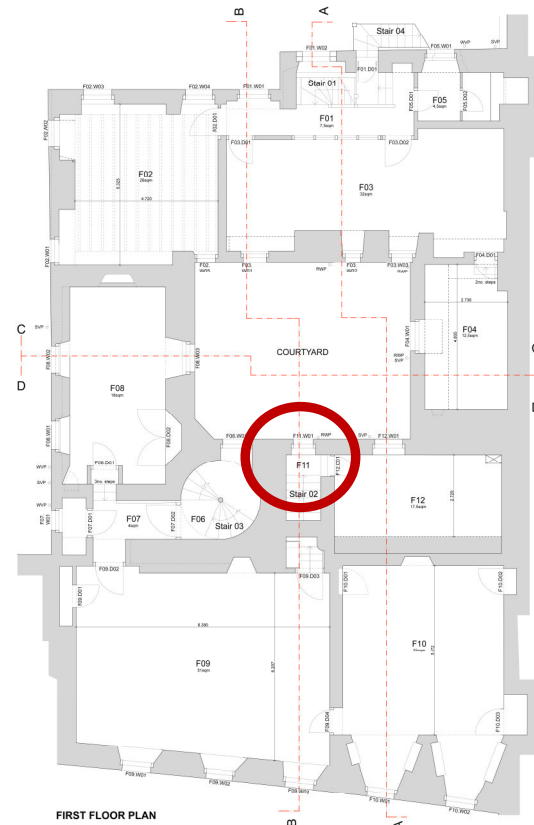


Sketch by Grant (1895) of F.11 before the niches are created, although after the re-fronting of the Victoria Terrace façade (evidenced by the beam on the ceiling, showing the boundary of the original external wall).



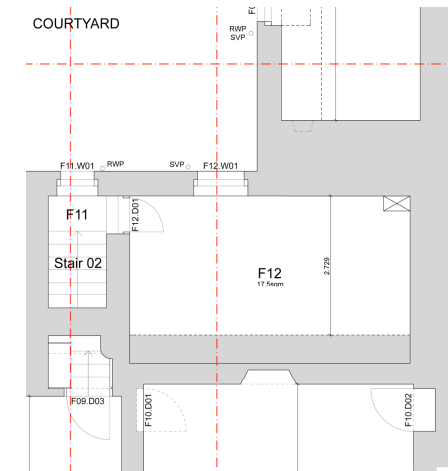
Sketch by A. Ramsay Traquair of the 17th century plaster ceiling in 1897.

Room	F.11	
Historic Use	Landing or hall to F.12. Possibly acting as a service corridor for the tower house.	
Summary Description	Landing from stair 02 to F.12.	
D e s c r i p t i o n	Ceiling	- More recent suspended ceiling (plasterboard?).
	Cornices/Light fittings	[lights on stair 02: 1x fluorescent tube box].
	Walls	Stone with plaster.
	Light fittings	
	Windows	1x timber sash window (c. late 19 th cent.?).
	Doors	1x (c. late 19 th cent.) timber panelled door of 4 vertical fielded panels. Timber panelling (hollow) around door inset with stone doorway.
	Floors	Stone (painted red).
Fixtures/Fittings	X2 steps leading to F.12.	
Alterations	F.11 once continued left and linked with turnpike stair and service stair found blocked in F.09 dr. (iii); suggestion strengthened by hollow part of west wall; formerly a handrail from stair 02 on west wall; certainly an alteration to the ceiling's height (i.e. lowered and most likely to the walls too); passage to turnpike stair blocked by 1951 and to service stair to F.09 by 1961.	
Significance	The only currently available access to F.12.	
Issues	- Suggest re-installing handrail for Health and Safety purposes; clear suggestion of subsidence in sloped and filled cracks stretching much of west wall from stair 02.	
Gaps in knowledge	-	
Sources	LDN Architects (2008); (Anon) 1951 plans; Paterson (1961); MacGibbon and Ross (1887).	



View of F.11 from stair 02, facing courtyard.

Room	F.12	
Historic Use	Recorded as having been both a “private room” and a “store” room.	
Summary Description	Currently used as a storage room full of clutter including old files (an archive?) mainly related to WEA, plastic stackable chairs and a couple of sound systems.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Plaster (set on stone). - Late 18 th cent. cornice of very simple detailing. - 2x fluorescent tube box lights (long).
	Walls Light fittings	Plaster (set on stone) except for the south wall which is plaster(board?) possibly on brick.
	Windows	1x timber sash window (c. late 19 th cent.).
	Doors	[same as F.11 door].
	Floors	Timber floorboards: possibly original, although with certainly a few modern replacements including a laminate surface.
	Fixtures/Fittings	- 1x electric radiator (in centre of chimneypiece); 1x electrical power supply (immediately above G.07 distribution boards); chimneypiece (probably 18 th cent. – matching one in G.08, where it use to be over the sealed flue behind timber panelling on the east wall); a boxed area of the wall in the north east corner (perhaps boiler/hot water tank for old flats before).
	Alterations	- Chimneypiece moved from G.08 to here; switch from “private room” (1887) to “store” (1961); changes to floor area are most likely due to installation of modern power services; definite alterations to the walls suggested by ‘cut-off’ appearance of north facing side of door frame and the approx. ¾ length of south wall from ceiling: the void from floor level shows signs of further storage behind this artificial wall; window possibly longer pre- Geddes.
Significance	Forms part of the original west and south building of Bailie MacMorran.	
Issues	Requires cleaning and re-painting.	
Gaps in knowledge	If fire surround/chimneypiece was moved from G.08 at time of Geddes’ intervention; If the north wall has been brought a little bit further into the room than originally was.	



Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>MacGibbon and Ross</i> (1887); <i>A. Ramsay Traquair</i> (1897); <i>MacGibbon and Ross</i> sketches(1887).
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Image of courtyard identifying possibility of formerly longer window in F.12 (seen in the corner where the south and east wings meet). From *MacGibbon and Ross sketches*(1887).

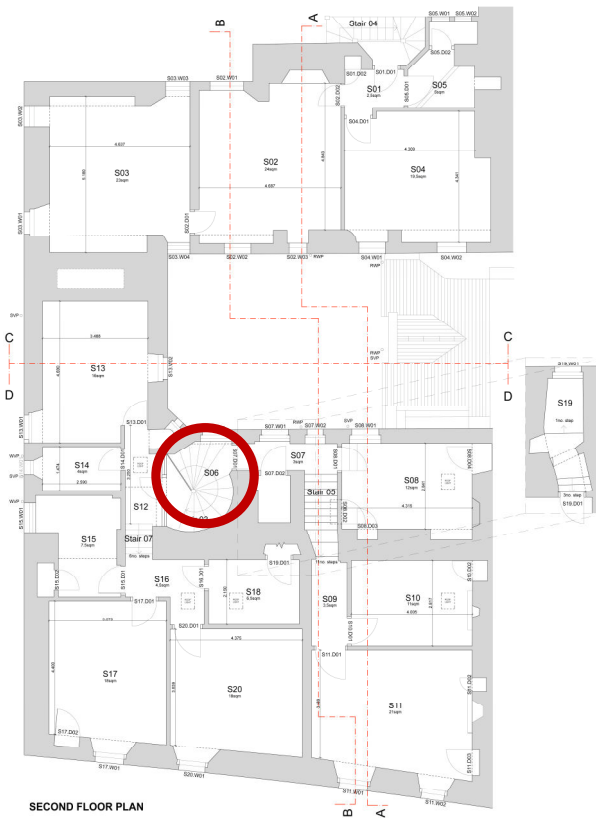


View of F.12 from F.11, facing east.

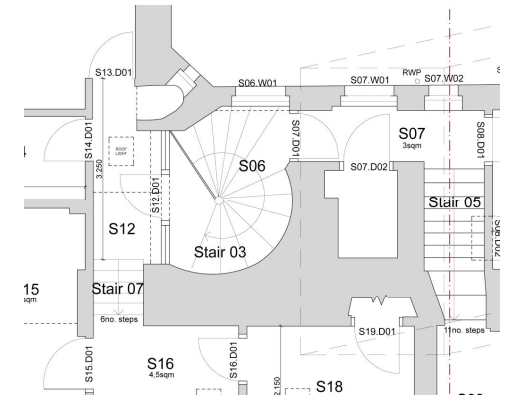


View of 18th century chimneypiece/fire surround, formerly on east wall of G.08.

Room	S.06	
Historic Use	Most likely stair 03's landing to the 'lower' 2 nd floor.	
Summary Description	Currently the landing to the 'lower' 2 nd floor of the south block of Riddle's Court.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Plaster (set on stone) with lining paper. - Hatch (presumably to attic).
	Walls Light fittings	- Plaster (set on stone). - 1x fluorescent tube box light.
	Windows	2x timber c. late 19 th cent windows with timber sills: (i) sash with hinged fixtures for height adjustment, facing courtyard; (ii) casement, immediately below ceiling and above window (i).
	Doors	X2: (i) timber panelled with modern aluminium fingerplate and Perspex room plate, to S.07; (ii) modern dark-wood with single panel below and opaque glass panes above and around door surround. Also has a Perspex room plate, leading to SHBT offices.
	Floors	- Stone (painted red gloss).
	Fixtures/Fittings	- 1x metal railing from stair 03; 1x smoke detector; 1x fire alarm; 1x fire alarm sounder; arch above window (i) sloping down with stair 03; metal railing outside door (ii) with timber banister top
Alterations	- Possibility of there formerly being another window alongside window (ii); doors (i) and (ii) are a later addition (after 1961 plan).	
Significance	Entrance to SHBT staff area, i.e. offices and rentable meeting rooms.	
Issues	Minor peeling of lining paper next to door (ii).	
Gaps in knowledge	Date of doors (i) and (ii)'s installation.	
Sources	LDN Architects (2008); <i>Grant</i> sketch (1895); <i>MacGibbon and Ross</i> sketches (1887); <i>Paterson</i> (1961).	



SECOND FLOOR PLAN



SECOND FLOOR



View of 'top half' of S.06, facing door to SHBT offices.

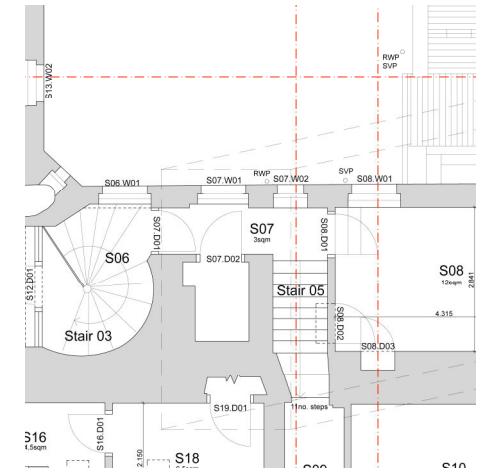


View of 'bottom half' of S.06 with door (i) and window (i).

Room	S.07	
Historic Use	Labelled as a “passage” in <i>Capper</i> (1892).	
Summary Description	Currently a narrow hall leading to SHBT storage rooms and stair 05.	
Description	Ceiling	- Plaster (set on stone).
	Cornices/Light fittings	- 1x fluorescent tube box light.
	Walls	Plaster (set on stone and possibly brick: east wall bordering with S.08)
	Light fittings	
	Windows	X2 timber framed with timber sills (c. late 19 th cent.): (i) sash with low sill on north wall (ii) case-ment with high sill, north facing.
	Doors	X3 timber doors: (i) [same as S.06 dr. (i) +metal door handle and closer assist]; (ii) storage cupboard with step down, opposite window (i); (iii) pine (newer) and panelled, with yale lock.
Floors	Stone (with cement above?) and timber floorboards outside S.08.	
Fixtures/Fittings	- 1x fire exit light; 1x smoke detector; 1x fire alarm; 1x fixture for fire extinguisher with sign.	
Alterations	- Metal threshold bar possibly marks older boundary of entrance to S.08; dr. (ii) was formerly the “Fuel Store” (1961).	
Significance	- Forms part of the original west and south building of Bailie MacMorran; serves as only access to rentable rooms and stair 05; good view of courtyard from window (i).	
Issues	- Broken rope/cord pulley for window (i); very narrow path as enter from S.06 (difficult entrance); stair 05 is very uneven, probably due to subsidence. Perhaps requires levelling.	
Gaps in knowledge	If this was ever a service passage like the one seen blocked in F.11.	
Sources	LDN Architects (2008); <i>Capper</i> (1892); <i>MacGibbon and Ross</i> (1887); <i>Paterson</i> (1961).	



SECOND FLOOR PLAN



SECOND FLOOR

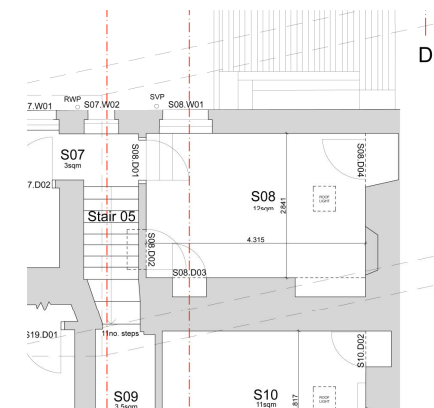


View of S.07 from entrance at door (i).



View of S.07, facing door (i).

Room	S.08	
Historic Use	Private meeting room in 1961.	
Summary Description	Largely empty and abandoned room from previous occupiers (Diverse Attractions). Currently used for storage.	
Description	Ceiling Cornices/Light fittings	- Wall-papered (wood chip). - 1x skylight. - 2x double fluorescent tube lights (within metal casement).
	Walls Light fittings	Wall-papered (wood chip) with stone beneath (and possibly brick on west wall: thinner).
	Windows	1x timber sash window with wooden sill, facing the courtyard (possibly late 19 th cent.?)
	Doors	X4: (i) [same as S.07 dr. (iii) + closer assist and possibly original late 19 th cent. dr. knob; (ii) high sitting, timber in-built closet on east wall with 2 separate doors (one above the other); (iii) timber panelled press/storage cupboard; (iv) storage cupboard (under stair 05).
	Floors	(industrial) hard wearing carpet. (red) over timber floorboards.
	Fixtures/Fittings	- 1x (small) electric radiator; 1x smoke detector; 1x old electronic lock (evidence of old buzzer entry system); 1x old doorbell sounder; 3x steps up to dr. (i) with anti-slip nosing; arch recess with bench seat fixed to south wall.
	Alterations	- Evidence of previous office from electronic fittings on dr. (i) and desks; sealed fireplace behind electronic radiator on east wall; protruding corbel/section of wall in west corner (part of an older wall before?); doors (ii) & (iii) appear only in 1961 plan and dr. (iv) only in 2008; room may have been blocked/ sealed off altogether according to the 1887 plan.
Significance	Forms part of the original west and south building of Bailie MacMorran.	
Issues	Wearing seal around skylight; possible subsidence: room on slope from west to east.	
Gaps in knowledge	- If the west wall has ever been re-erected/ positioned (slightly); exact dates of any other alterations.	



Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>Grant</i> sketch (1895); <i>MacGibbon and Ross</i> sketches (1887); <i>Capper</i> (1892); <i>MacGibbon and Ross</i> (1887).
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View of S.08 facing east wall, featuring arch recess with bench on right and aperture for skylight on ceiling.

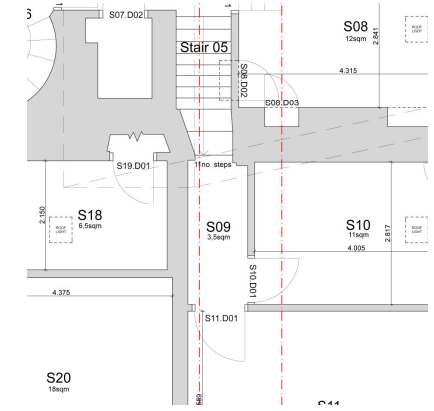


Protruding section of wall in top left corner and desks and filing cabinets from previous occupiers.

Room	S.09	
Historic Use	Hall/Passage to S.10 and S.11.	
Summary Description	Hall/Passage to S.10 and S.11 (rentable meeting rooms from SHBT) approached by stair 05.	
D e s c r i p t i o n	Ceiling	- Plaster.
	Cornices/Light fittings	- 1x fluorescent tube box light (long).
	Walls	Plaster set on stone, except for south and east wall: thinner (likely brick).
	Light fittings	
	Windows	N/A
	Doors	X2 timber panelled (4 vertical panels) with yale lock and possibly original 19 th cent. door knobs: (i) to S.10; (ii) to S.11, with Perspex room plate and 2 glass panes above the door frame.
Floors	Laminate non-slip surface (red) continued from stair 05.	
Fixtures/Fittings	- 1x smoke detector; 1x fire alarm bell/sounder; 1x fire exit (and fire action) sign; 1x timber rail fixed to upper half of east wall only.	
Alterations	Suggestion of former door to stair 05: hinge on west wall (painted over).	
Significance	Access to rentable rooms: a funding source for SHBT's ongoing project.	
Issues	Perhaps install a 'mind your head' sign above stair 05.	
Gaps in knowledge	- Exact date of possible alteration suggested and whatever other alterations there may have been.	
Sources	LDN Architects (2008).	



SECOND FLOOR PLAN

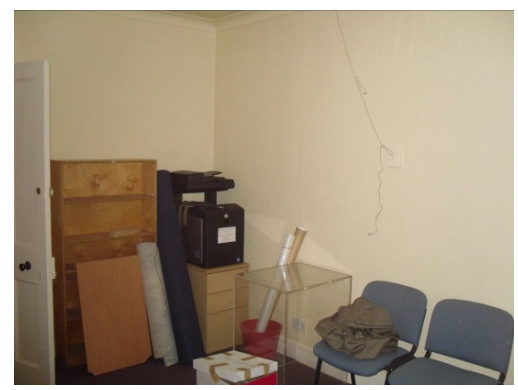
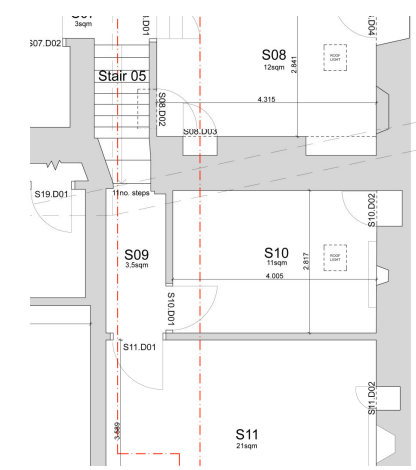
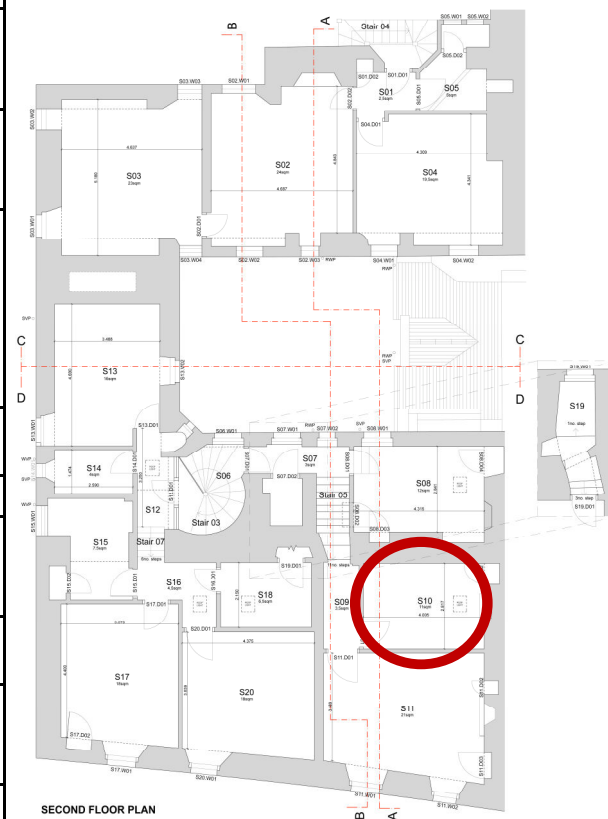


SECOND FLOOR



View of S.09 (top left) from stair 05.

Room	S.10	
Historic Use	Private meeting room in 1961 and possibly a bedroom when the building was restored as flats in the 1950s or even at the time of the uni. halls (?).	
Summary Description	A rentable room from SHBT, though currently with office related material left behind from previous occupiers.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Wall-papered (wood chip). - Newer more recently installed timber cornice (plain). - 1x skylight. - 1x double fluorescent tube lights (within metal casement).
	Walls Light fittings	Wall-papered (wood chip) with stone beneath (except for north wall: possibly brick).
	Windows	[skylight].
	Doors	X2: (i) [same as S.09 dr. (i) + door closer assist]; (ii) small timber panelled press with shelf above door frame.
	Floors	industrial) hard wearing carpet. (red) over timber floorboards.
	Fixtures/Fittings	- 1x smoke detector; 1x electric radiator; 1x c. 17th cent. (?) roll moulded fireplace, fitted with vent at base.
	Alterations	- Vent at bottom of sealed fireplace likely to be added in the 1960s; possibility that south wall was added later (thinner): this would also explain why there are no windows if the room was originally part of adjoining S.12; suggestion of former wall or recess on west side of north wall from outline in wallpaper.
Significance	Possibility of an original 17 th cent. fireplace.	
Issues	-	
Gaps in knowledge	When exactly the fireplace was installed and then sealed as does not appear in 1887 but from 1892 (or perhaps it was discovered and re-opened then).	
Sources	LDN Architects (2008); Bryan, E. and Bruce, A., <i>Vivendo Discimus: by living we learn The Life and Times of Riddle's Court 1590-2007</i> (Edinburgh, 2007); <i>Capper</i> (1892); <i>MacGibbon and Ross</i> (1887); <i>Paterson</i> (1961).	



View of S.10 with office related material from Diverse Attractions.

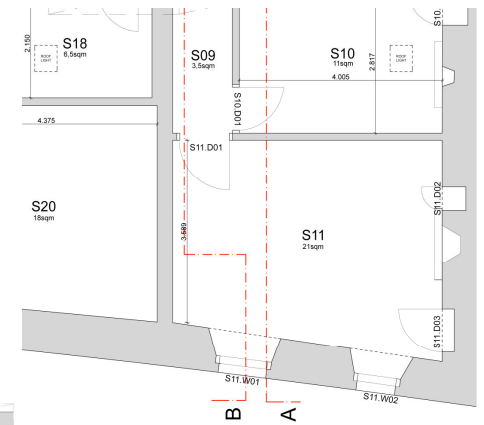


View of blocked c. 17th century fireplace and small press.

Room	S.11	
Historic Use	Private meeting room in 1961.	
Summary Description	Currently used as a meeting room available to rent (long and short term) from SHBT.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Wall-papered (wood chip). - Newer more recently installed timber cornice (plain). - 2x double fluorescent tube lights (within metal casement).
	Walls Light fittings	- Wall-papered (wood chip). - Stone on west, east and south walls. - Likely brick on partition wall with S.10 (i.e. north wall).
	Windows	X2 timber sash windows (c. late 19 th cent) with high timber sills. Also with timber panelled bays and recent fixings for blinds.
	Doors	X3: (i) [same as S.09 dr.2 + door closer assist]; (ii) timber panelled cupboard door with timber shelving inside; (iii) Edinburgh press (cupboard), timber panelled with shelving inside.
	Floors	(industrial) hard wearing carpet. (red) over timber floorboards.
	Fixtures/Fittings	- 1x smoke detector; 1x electric radiator; c. 19 th cent. skirting board (fully intact).
	Alterations	- Original fireplace with later timber surround sealed and installed with vent; timber panelling on bays appear to have formerly been shutters for the windows.
Significance	- Room operates as a source of revenue for SHBT and Riddle's Court's conservation; forms part of 1820s/30s Victoria Terrace facade; fantastic views of south Edinburgh (including Heriot's and the Pentland hills).	
Issues	- Slight slope of west wall by dr. (i), suggesting continuation of subsidence possibly in S.08 and stair 05; slight damage to shutter of the window in the west corner.	
Gaps in knowledge	- Exact date(s) of alterations.	
Sources	LDN Architects (2008); <i>Paterson</i> (1961).	



SECOND FLOOR PLAN



SECOND FLOOR

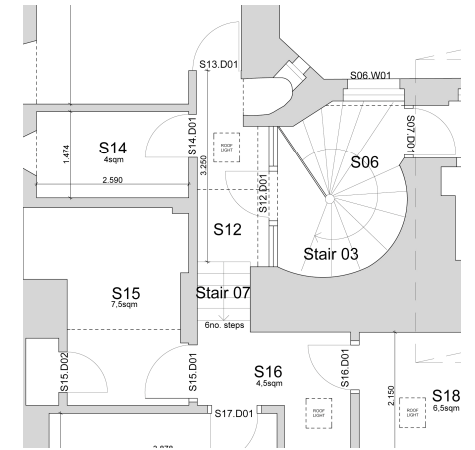


View of bays facing Victoria Street and Terrace on south wall.

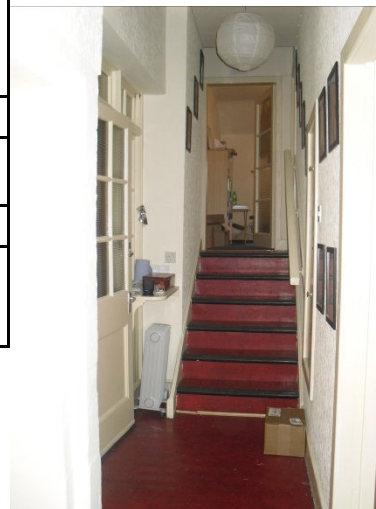


View of S.11 facing east wall, with high cupboard door on left, blocked fireplace in centre and press on right.

Room	S.12	
Historic Use	Entrance to Caretaker's flat in 1961.	
Summary Description	Currently in use as the entrance to SHBT offices.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Wall-papered (textured wallpaper). - Suspended ceiling at the north half of the room. - 1x paper ball lampshade light. - 1x skylight.
	Walls Light fittings	Brick (with wallpaper) except for the wall protruding from the alcove at the north which is stone.
	Windows	[skylight + door frame of entrance door (i.e. S.06 dr.2)].
	Doors	X3: (i) [same as S.06 dr. (ii) + with aluminium lever handle]; (ii) plain, painted timber door with modern brass lever handle, to S.13; (iii) timber with four large panes of opaque glass and aluminium lever handle, to S.14 (bathroom).
	Floors	Laminate non-slip surface (red).
	Fixtures/Fittings	- 1x smoke detector (on ceiling of adjoining stair 07); 1x aluminium threshold bar; 1x hot water tank cupboard (on west wall opp. dr. (i)).
Alterations	- Stair 07(hardwood) was formerly a stone wall (1887, 92 & 97 plans); suspended ceiling is the remaining section of an earlier wall here (1892 & 97 plan); formerly another stair leading straight from S.06 up to the kitchen (S.15) in 1887 plan; separate entrance from S.06 that curved round into S.13 past the alcove (1887 plan); formerly a door to enter alcove (1892 & 97 plan); alcove formerly a complete circular form (1887 plan).	
Significance	Access point to hot water tank.	
Issues	Peeling laminate floor outside S.13, where floor also feels quite weak/unstable.	
Gaps in knowledge	Exact dates of alterations.	
Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>MacGibbon and Ross</i> (1887); <i>A. Ramsay Traquair</i> (1897); <i>Capper</i> (1892).	



SECOND FLOOR

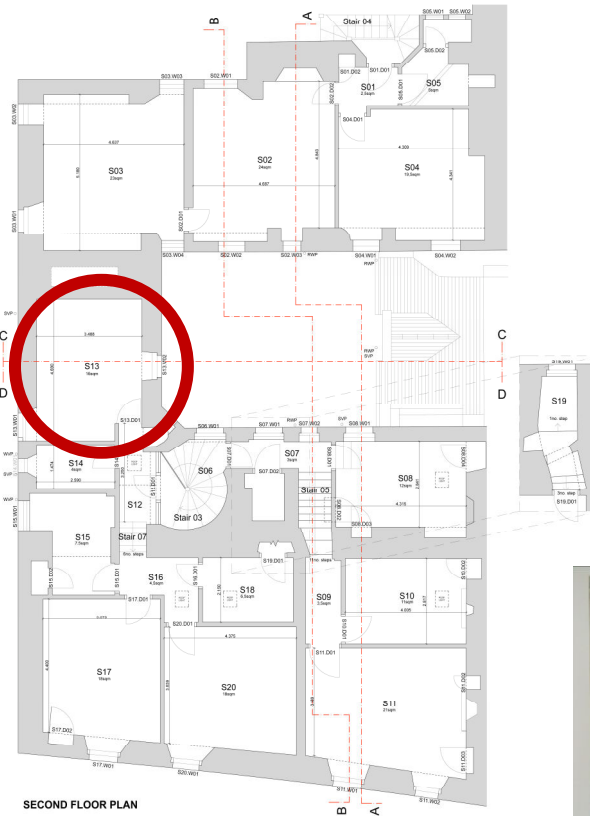


View of S.12 facing stair 07.

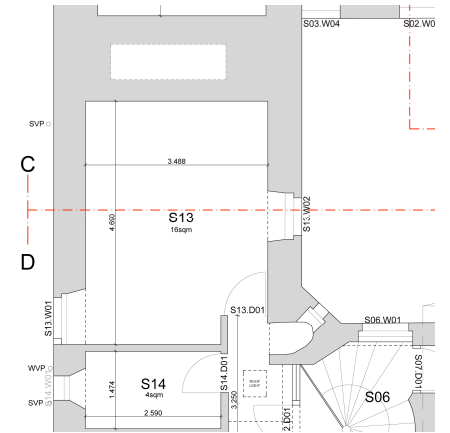


View of S.12 from top of stair 07, featuring remaining section of earlier wall on ceiling (immediately behind the light in above photo).

Room	S.13	
Historic Use	Recorded as “Bedroom 2” in 1961 plan (when the second floor was operating as the caretaker’s flat).	
Summary Description	Currently used as an office for the MD of SHBT.	
D e s c r i p t i o n	Ceiling	- Plaster (with lining paper).
	Cornices/Light fittings	- No existing cornice. - 1x paper ball lampshade light.
	Walls	- Lining paper.
	Light fittings	- South wall: brick. - Other walls: stone.
	Windows	X2 timber sashes (with hinges for height adjustment and to allow lower frames to swing open), possibly more modern replacements of the original sashes.
	Doors	X1 timber door [same as S.12 dr. (ii) + fitted with coat hook rail].
Floors	Soft cream carpet over timber floorboards.	
Fixtures/Fittings	- 1x electric radiator; 1x smoke alarm; 1 x fire surround/chimneypiece.	
Alterations	- Hearth of fireplace closed (seemingly as part of the 1961 alterations); standard 4” deep stud partition replaced by brick for south wall (1961 alterations); room formerly extended into what is now S.14 (1887); window on west wall a Geddes addition (c.1892).	
Significance	- Forms part of the original west and south building of Bailie MacMorran, with original chimney flue behind the fireplace; Outside, above the window on the east wall is the date “1587” in gold etching (original to the build or at least soon after).	
Issues	- Minor issue of a cracked glass pane on east window; walls are slightly sloped/uneven (subsidence?) esp. the north wall.	
Gaps in knowledge	- Exact date of alterations; the type of cornice may have existed here before; the function(s) of the room prior to the caretaker’s flat.	
Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>MacGibbon and Ross</i> (1887); <i>A. Ramsay Traquair</i> (1897); <i>Capper</i> (1892).	



SECOND FLOOR PLAN



SECOND FLOOR



Entrance door to S.13 and window facing courtyard with gold etched “1587” above on outside.

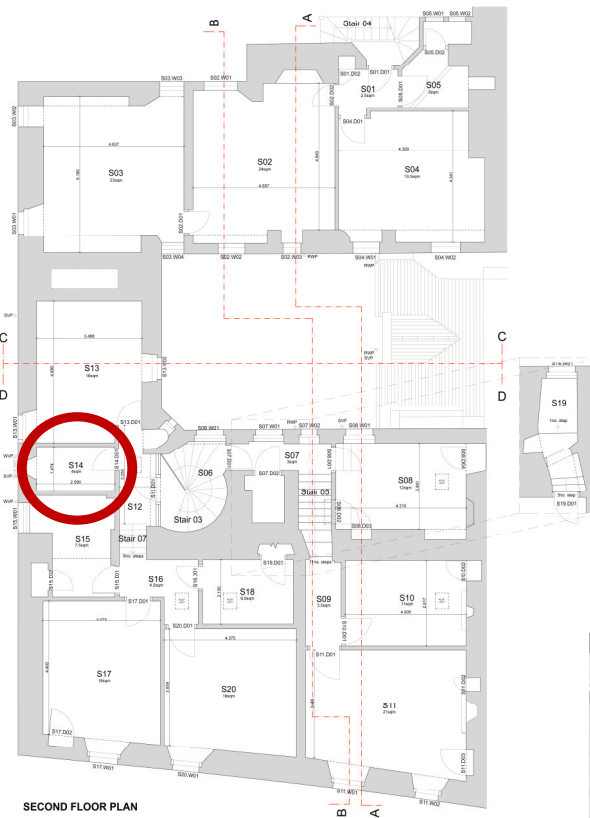


View of S.13 facing north, with fire surround noticeable ahead.

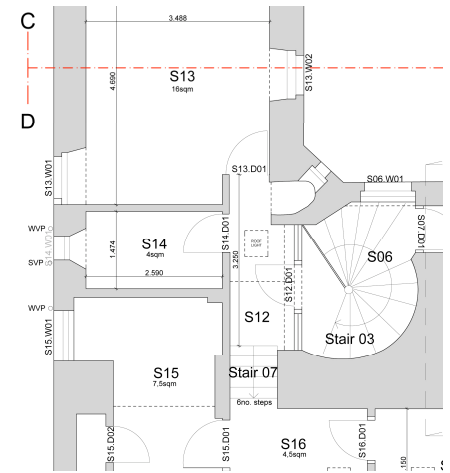


View of window facing west, with replaced south wall on left.

Room	S.14	
Historic Use	Bathroom of the caretaker's flat.	
Summary Description	Remains as the bathroom from the time of the caretaker's flat and is currently used as the staff toilet.	
D e s c r i p t i o n	Ceiling	- Plaster.
	Cornices/Light fittings	- 1x paper ball lampshade light.
	Walls	- Wall-papered (textured wallpaper).
	Light fittings	- West wall: stone. - Other walls: brick.
	Windows	X1 timber casement with opaque glass (c. late 19 th cent., although glass panes have probably been replaced at a later date). With hill timber sill.
	Doors	X1 [same as S.12 dr. (iii)].
Floors	Orange laminate floor tiles over timber floorboards.	
Fixtures/Fittings	- 1x Dimplex electronic fan; 1x white armitage shanks porcelain sink attached to white timber panellled cabinet box (fixed to west wall); 1x white porcelain toilet; 1x bath (fixed to west wall).	
Alterations	- Room only appears in 1890s (most likely as a result of Geddes' interventions); north wall retreated and replaced with brick from stud partition (1960s); left side of bay opened up (probably 1960s alteration); right side of bay opened later (by 2008); door moved further north between 1897 & 1961 (most likely to allow installation of bath).	
Significance	Low.	
Issues	- Worn laminate floor tiles; the bath could perhaps be removed for extra space given its apparent redundancy now and its lack of significance to the building fabric.	
Gaps in knowledge	The original function given to this room when created in the 1890s.	
Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>MacGibbon and Ross</i> (1887); <i>A. Ramsay Traquair</i> (1897); <i>Capper</i> (1892).	



SECOND FLOOR PLAN



SECOND FLOOR

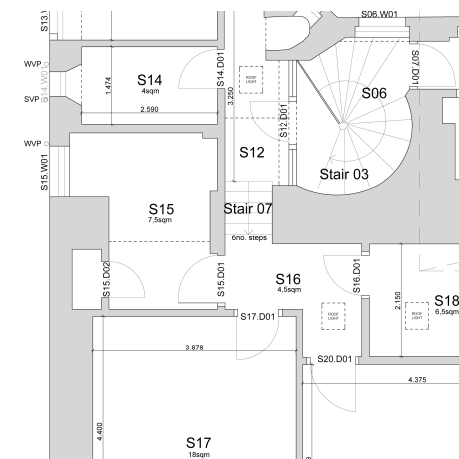


View of bath pertaining to time of former flat.



Entering into S.14 from S.12 (hallway), facing west.

Room	S.15	
Historic Use	Caretaker's kitchen .	
Summary Description	Still used as a kitchen for the staff of SHBT .	
D e s c r i p t i o n	Ceiling	- Plaster. - Suspended at north half of room. - 2x square paper lampshade lights.
	Walls	- West wall: stone. - Other walls: brick (?).
	Light fittings	
	Windows	1x timber sash (c.1950s/60s).
	Doors	X2 [same as S.14 dr. except there is one clear glass pane (replacement) + brass lever handle].
	Floors	Red patterned laminate floor over timber floor-boards.
	Fixtures/Fittings	- 5 double socket & 1x single socket power points; 1x small fridge (next to window); 1x metal kitchen sink; 1x hot water tank control system; cupboard & drawer units along north wall and (part of) east wall.
	Alterations	- Addition of sash window some point after Geddes' time (only appears in 1961 plan): formerly storage cupboard mirroring current one; existing cupboard door installed some point between 1961 and 2008 plans: formerly there at Geddes' time (1892 & 97 plans) and then opened in 1961 plan for 'L' shaped fixed feature (possibly table or cupboard units); sealed doorway to S.17 on south wall; hollow wall behind cupboard unit on east side of room (marking where the stair/passage was in the 1887/97 plans); suspended ceiling suggests a former wall here perhaps.
Significance	Forms part of the original west and south building of Bailie MacMorran.	
Issues	Damage to rope/cord pulley for window.	
Gaps in knowledge	- If the room just simply operated as a passage/hallway before it was the caretaker's kitchen; exact date of alterations; if and when there was a wall suggested by the suspended ceiling.	
Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>MacGibbon and Ross</i> (1887); <i>A. Ramsay Traquair</i> (1897); <i>Capper</i> (1892).	

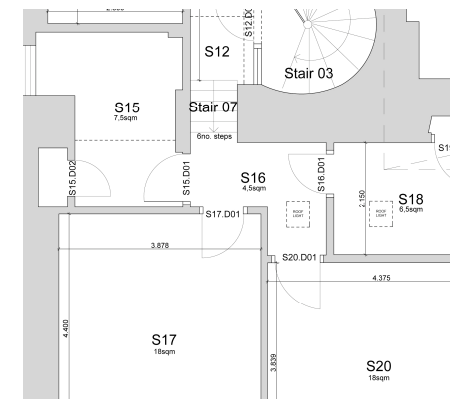


SECOND FLOOR



View of SHBT staff kitchen, with suggestion of former wall on ceiling (i.e. the beam).

Room	S.16	
Historic Use	Seemingly part of a passage/hall that included S.12 and S.15 at least certainly up till the 1961 plan, where it changed to its current form.	
Summary Description	Currently an elevated continuation of S.12 leading to SHBT offices and print/stationary room.	
D e s c r i p t i o n	Ceiling	- Plaster.
	Cornices/Light fittings	- 1x paper ball lampshade light.
	Walls	- Wall-papered (textured wallpaper).
	Light fittings	- North wall: stone (backs onto turnpike stair). - Other walls: likely to be brick.
	Windows	[skylight].
	Doors	X4: [doors (i) & (ii) are the same as S.15 dr. (i)] (iii) timber with four vertical fielded panels and brass lever handle; (iv) [same as dr. (iii)].
Floors	Laminate non-slip surface (red).	
Fixtures/Fittings	- 1x skylight; 1x fire extinguisher; 1x electric radiator; 2x fuse boxes; 1x hatch to attic; 1x old doorbell system for former flat.	
Alterations	- Skylight is after 1961 (does not appear until 2008 plan); Space to stair 07 formerly continuation of north stone wall; door (i) formerly not here (1880 & 90s plans).	
Significance	Forms part of the original west and south building of Bailie MacMorran.	
Issues	- Peeling laminate floor (health & safety concern: trip hazard?); peeling paper around skylight: weathering (risk of leak possibly).	
Gaps in knowledge	Installation of skylight.	
Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>MacGibbon and Ross</i> (1887); <i>A. Ramsay Traquair</i> (1897); <i>Capper</i> (1892).	

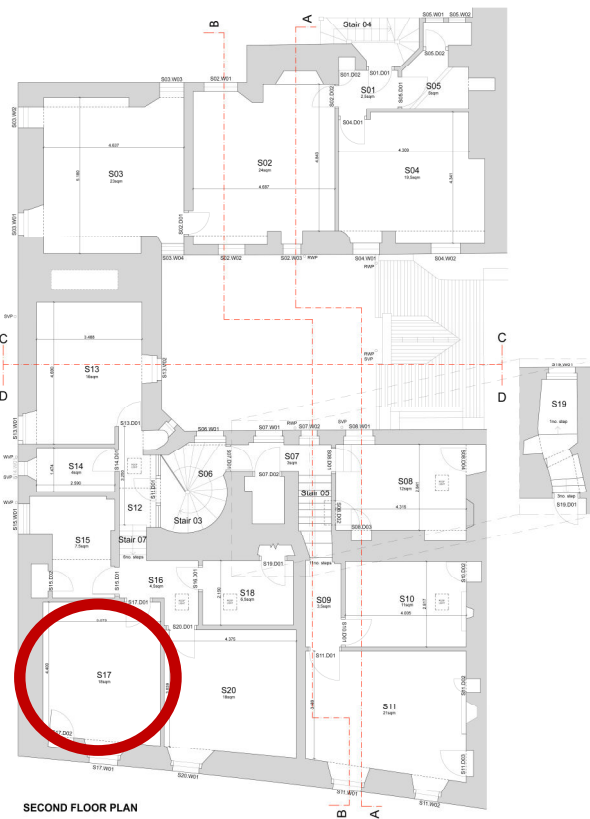


SECOND FLOOR



View of S.16, with first left leading to S.20 and kitchen straight ahead. Evidence of worn laminate floor in front of kitchen entrance.

Room	S.17	
Historic Use	Living room for caretaker's flat.	
Summary Description	Currently occupied by SHBT as administration and finance office.	
D e s c r i p t i o n	Ceiling	- Plaster with wallpaper (possibly lining paper). - No existing cornice. - 1x paper ball lampshade light.
	Walls	- Wall-papered (textured wallpaper). - West and south walls: stone. - East and north walls: presumably brick.
	Windows	1x timber sash window in bay (c. late 19 th cent. ?).
	Doors	X2: (i) [same as S.16 dr. (ii)]; (ii) timber press with vertical fielded panels and shelving inside. Aluminium lever handle.
	Floors	(industrial) hard wearing carpet. (blue) over timber floorboards.
	Fixtures/Fittings	- 1x smoke detector; 1x electric radiator; shelving on north wall; 3x computers with monitors and desks.
	Alterations	- Press sealed at time of Geddes' intervention and only appears re-opened in the 1961 plan; fireplace sealed at some point between the 1961 and 2008 plans; north wall formerly had a doorway to S.15.
Significance	- Forms part of 1820s/30s Victoria Terrace facade.	
Issues	- Minor slope towards the south of the room; - cracked glass panel on door.	
Gaps in knowledge	Exact dates of alterations.	
Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>MacGibbon and Ross</i> (1887); <i>A. Ramsay Traquair</i> (1897); <i>Capper</i> (1892).	



SECOND FLOOR PLAN



SECOND FLOOR

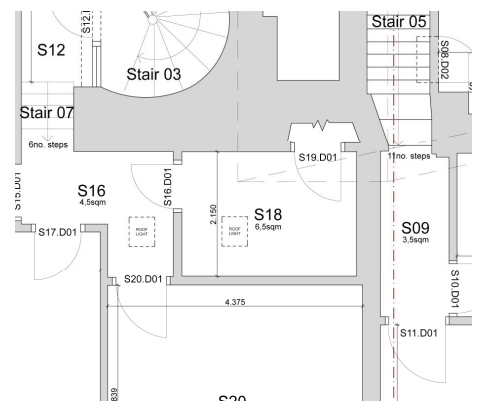
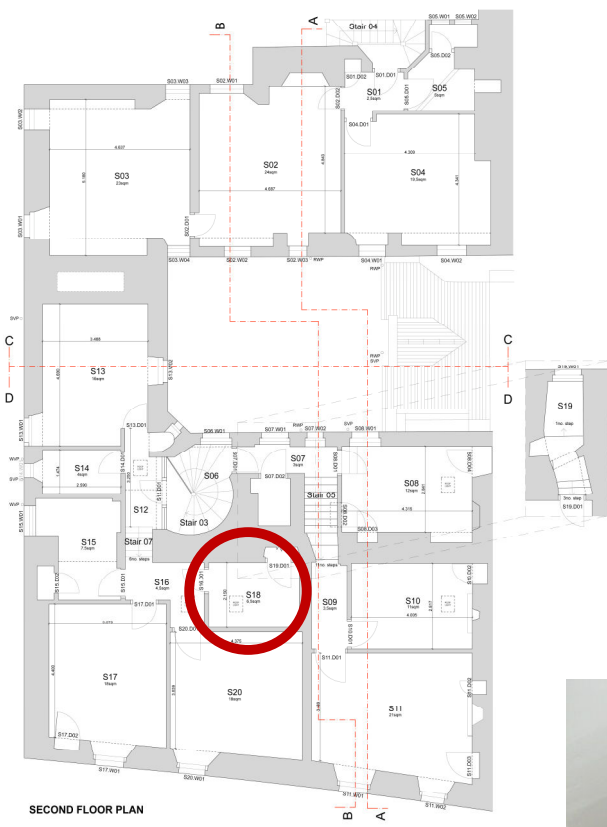
View of S.17 from south wall (backing onto Victoria Terrace).



View of S.17 from entrance doorway.



Room	S.18	
Historic Use	Bedroom for caretaker's flat.	
Summary Description	Currently used as a print, stationary and filing room for SHBT.	
D e s c r i p t i o n	Ceiling	- Plaster. - Slopes down on north side. - 1x paper ball lampshade light.
	Walls	- Wall-papered (textured wallpaper). - North and east walls: stone. - South and west walls: presumably brick.
	Light fittings	
	Windows	[skylight].
	Doors	X2: (i) [same as S.16 dr. (iii)]; (ii) timber with four vertical fielded panels, leading to S.19. Timber door handle.
	Floors	Laminate non-slip surface (red) over timber floorboards.
Fixtures/Fittings	- 1x skylight; 1x smoke detector; shelving on south wall; electrical equipment including the Trust's computer server, printer/scanner and shredder	
Alterations	Skylight is a later addition (appearing only in the 1961 plan).	
Significance	Forms part of the original west and south building of Bailie MacMorran.	
Issues	- Peeling laminate floor; electrical cables poorly secured (Health and safety hazard?).	
Gaps in knowledge	Exact date of alteration.	
Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>MacGibbon and Ross</i> (1887); <i>A. Ramsay Traquair</i> (1897); <i>Capper</i> (1892).	

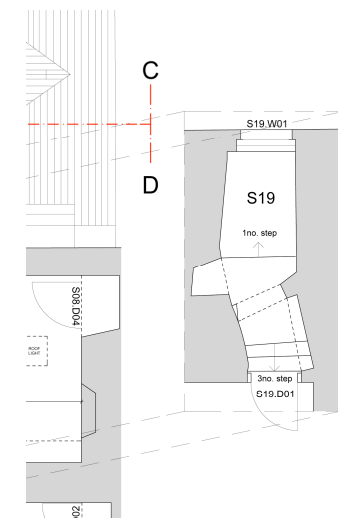


SECOND FLOOR



View of S.18 from entrance door, with sloping ceiling on left, and aperture for skylight on right.

Room	S.19	
Historic Use	Possibly part of a former service stair from S.07 dr. (ii).	
Summary Description	Currently used by SHBT as extension of S.18 for storage of stationary material.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Stone before the former wall, and thereafter seems more hollow (perhaps plaster(board) or timber?). - 1x standard single light bulb.
	Walls Light fittings	Stone (with plaster).
	Windows	X1 timber casement window (original c. late 19 th cent. with original casement stay), with view to the courtyard.
	Doors	X1 [same as S.18 dr. (ii)].
	Floors	Laminate non-slip surface (red) over timber floorboards.
	Fixtures/Fittings	- 3x steps down on entry (with anti-slip tape/nosing); 1x steep step; a section of a former wall appears as a suspended part of the ceiling on entrance.
Alterations	- Possibility of being former service stair (strengthened by drop suggested by steep step); formerly a door where apparent old door frame/architrave stands (just before the steep step) in 1887; likelihood of a former wall apparent in lowered section of the ceiling on entrance.	
Significance	- Could be part of an old service stair that is likely to have been original at least to the 18 th cent.; part of the stone wall forming the back of the turnpike stair (original stonework?).	
Issues	- Crumbling plaster work around the window; no anti-slip tape/nosing on steep step (potential safety as is quite slippery); low hanging ceiling and very narrow space.	
Gaps in knowledge	When and if this ever really was a service stair before 1887.	
Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>MacGibbon and Ross</i> (1887); <i>A. Ramsay Traquair</i> (1897); <i>Capper</i> (1892); <i>MacGibbon and Ross</i> sketches(1887); <i>Grant, courtyard sketch</i> (1895).	



View of crumbling plasterwork around window.



View looking down into S.19 from S.18, with section of former wall highlighted in white paint at top of photo.

Room	S.20	
Historic Use	Recorded as a bedroom in the 1961 plan (caretaker's flat) and may have been this before during the time of the uni. halls.	
Summary Description	Currently occupied by the project officers of SHBT.	
Description	Ceiling Cornices/Light fittings	- Plaster (with lining paper?). - Slants on south side towards the wall. - 1x paper ball lampshade light. - Newer more recently installed (wooden?) cornice (plain).
	Walls Light fittings	- Wall-papered (textured wallpaper). - South and east wall: stone. - North and west wall: presumably brick (or stud partitions?).
	Windows	1x timber sash window (c. late 19 th cent.).
	Doors	1x timber door with four vertical fielded panels and brass lever handle and key lock. Also fitted with coat hook rail.
	Floors	(industrial) hard wearing carpet. (blue) over timber floorboards.
	Fixtures/Fittings	- 1x electric radiator; 1x smoke detector; c.19 th cent skirting board (still intact).
	Alterations	- Fireplace sealed on south wall in east corner by 1961.
Significance	Forms part of 1820s/30s Victoria Terrace facade.	
Issues	Difficulty in adjusting opening of window (minor).	
Gaps in knowledge	- Exact function of room before being part of the caretaker's flat; date fireplace was sealed.	
Sources	LDN Architects (2008); <i>Paterson</i> (1961); <i>MacGibbon and Ross</i> (1887); <i>A. Ramsay Traquair</i> (1897); <i>Capper</i> (1892).	



SECOND FLOOR PLAN



SECOND FLOOR



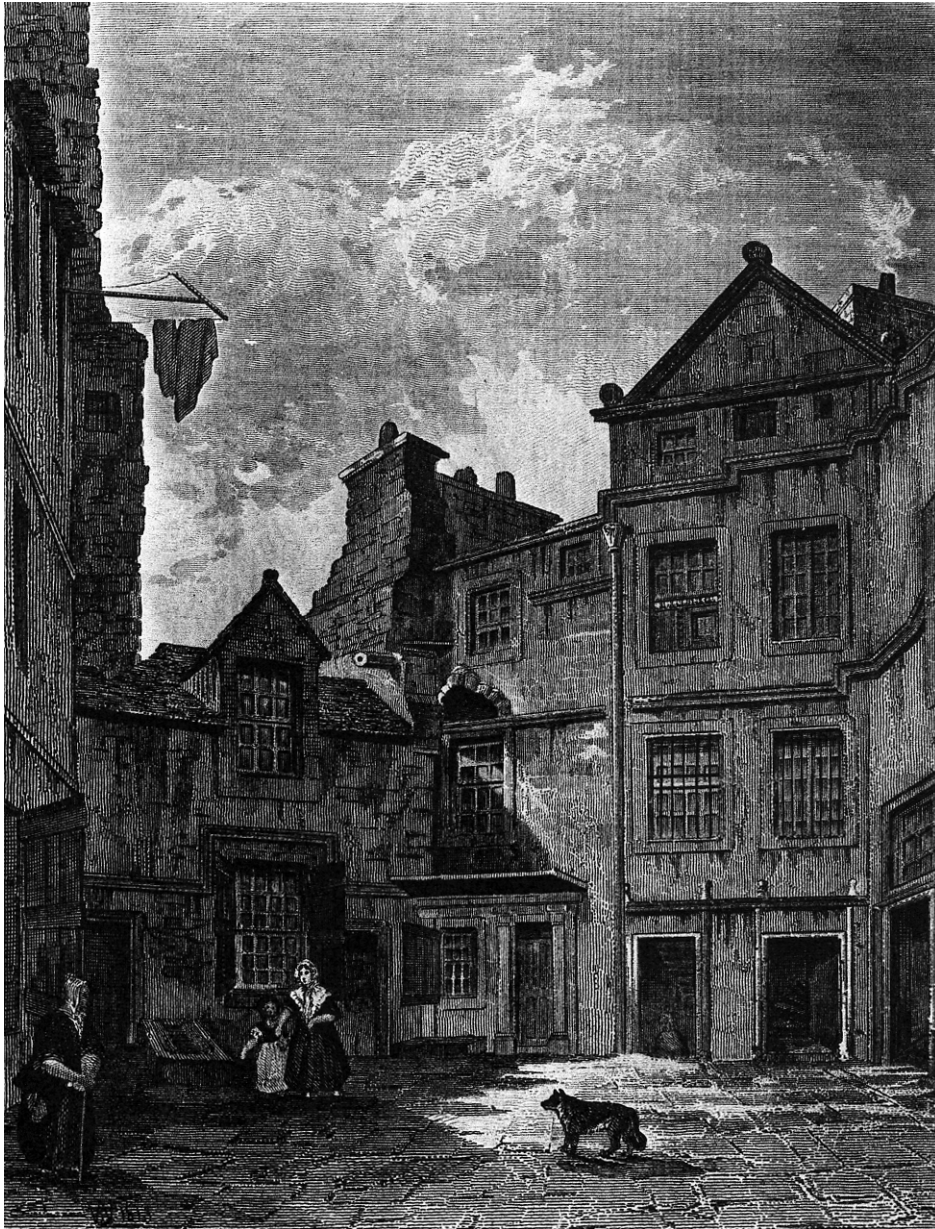
View of S.20 from where fireplace use to be on south wall.



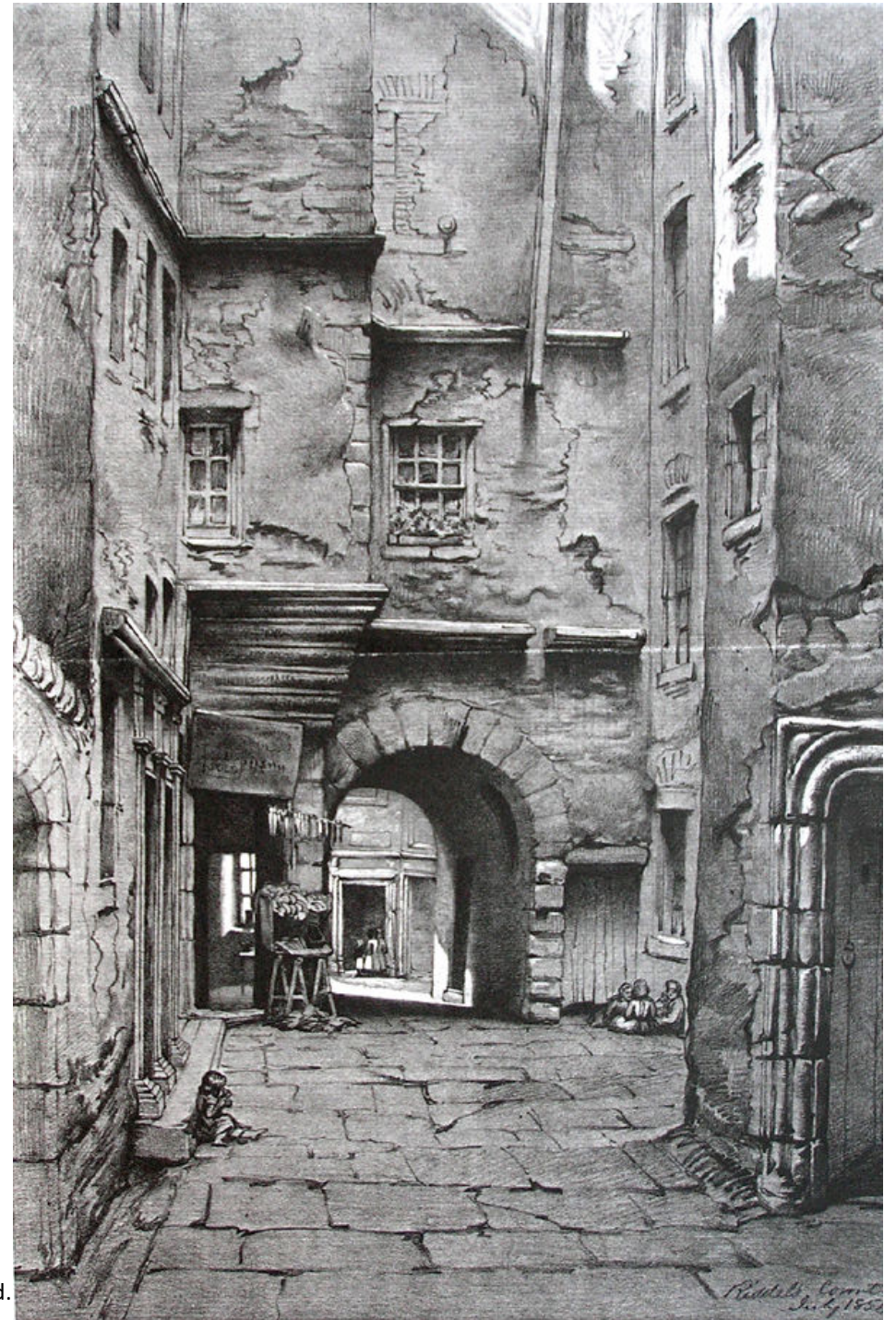
Looking into S.20 from hallway (S.16), with sloping ceiling ahead.

Appendix:

Historic Plans and Sketches of Riddle's Court



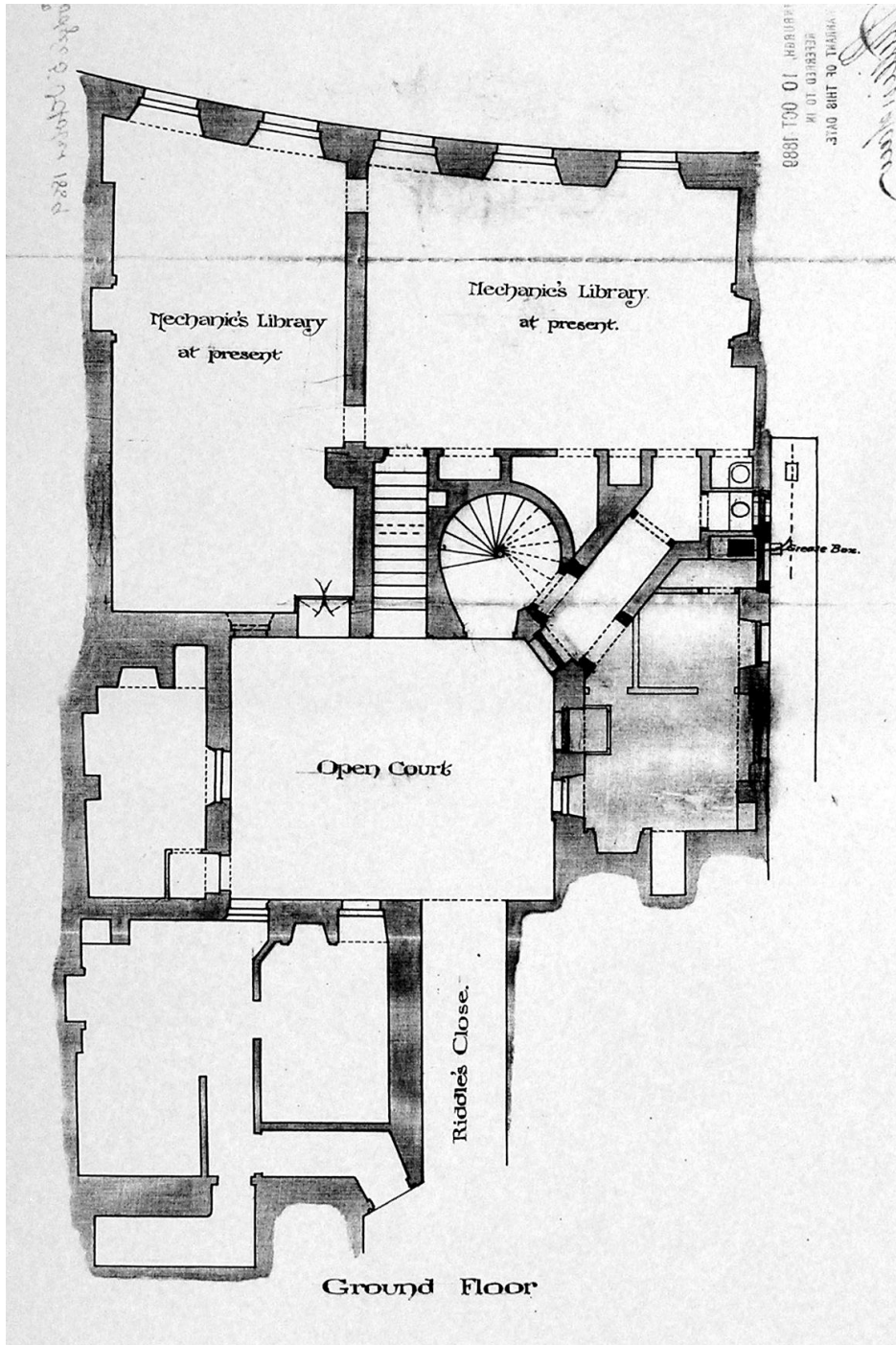
Grant (1895) sketch of inner courtyard.



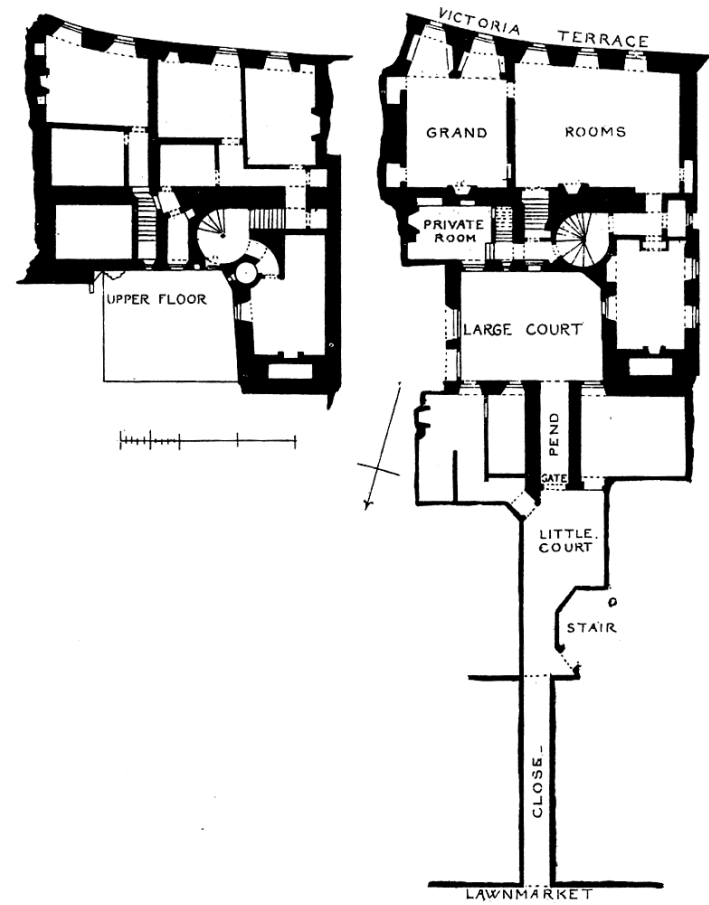
James Drummond sketch of Riddle's Court from outer courtyard.



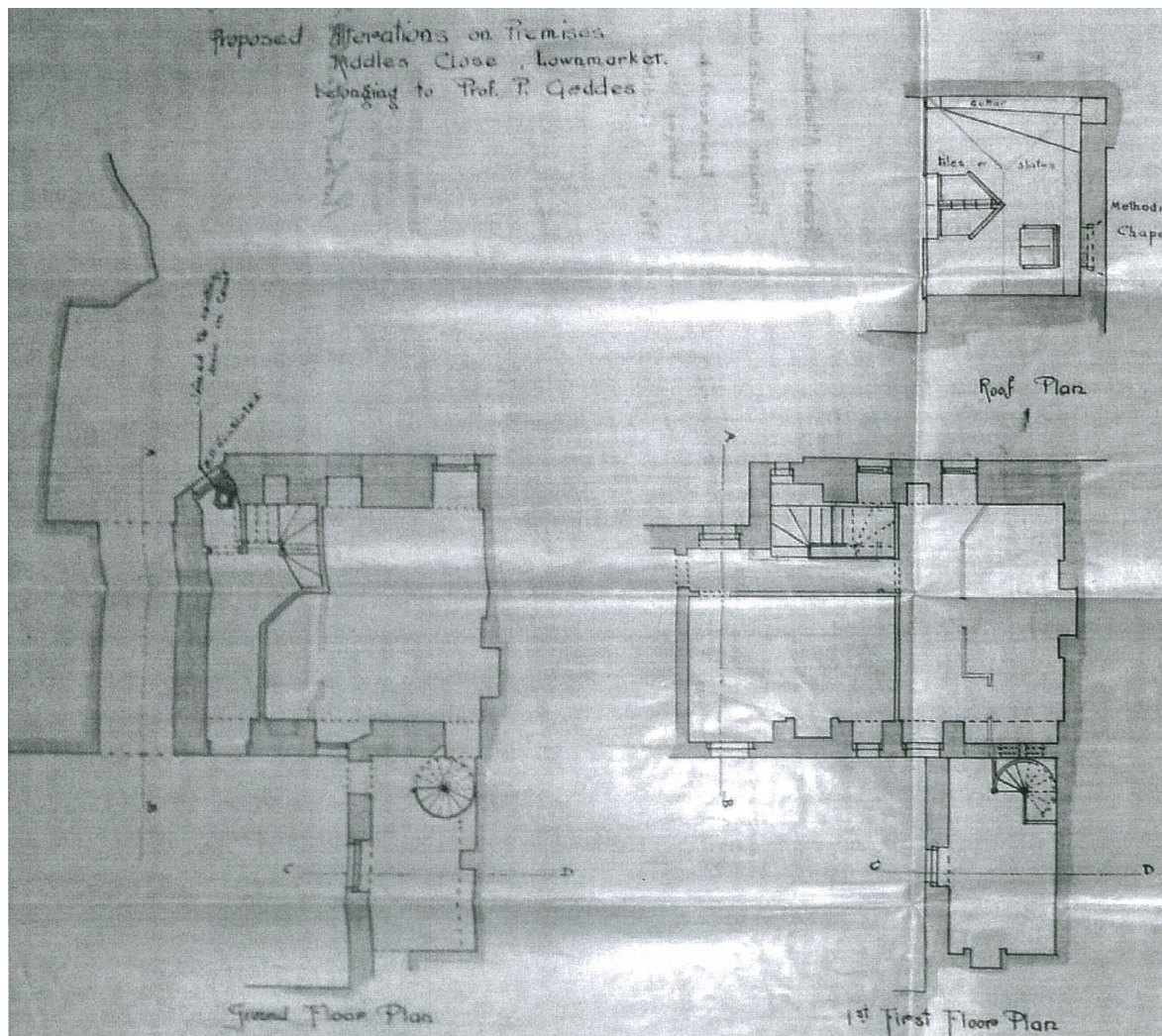
MacGibbon and Ross (1887) sketches of inner courtyard.



Mitchell (1889) plan.



MacGibbon and Ross (1887) plan.

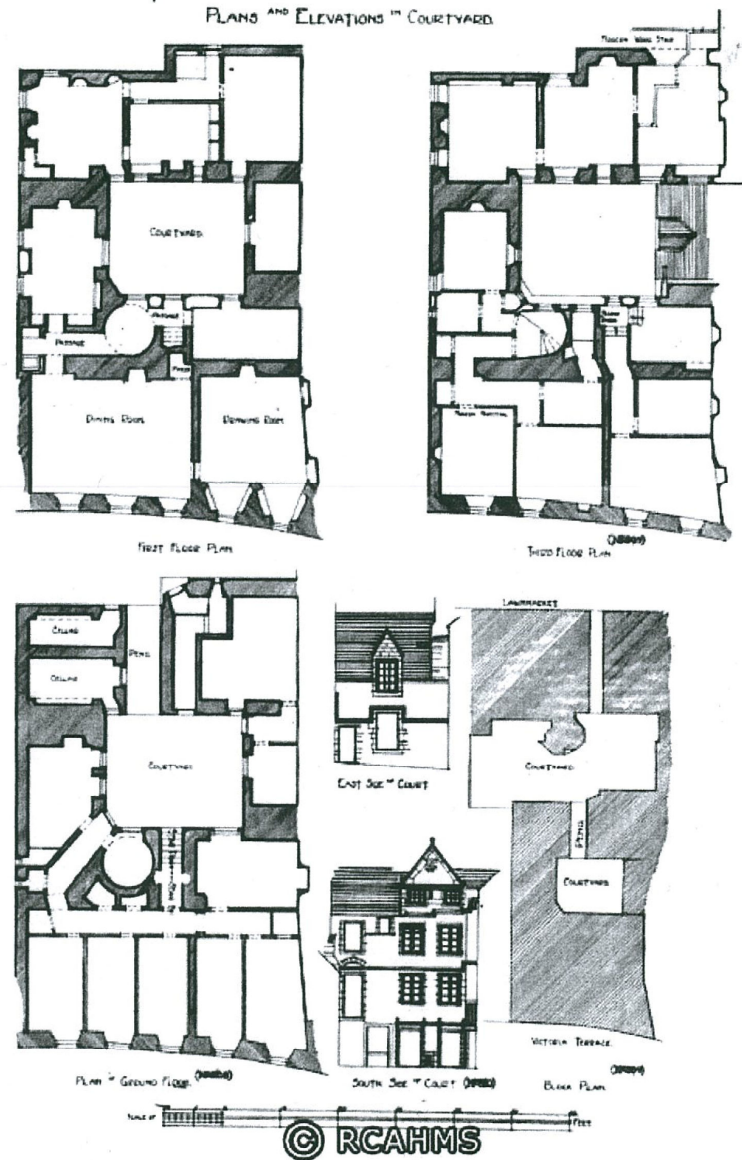


Capper (1892) plans.

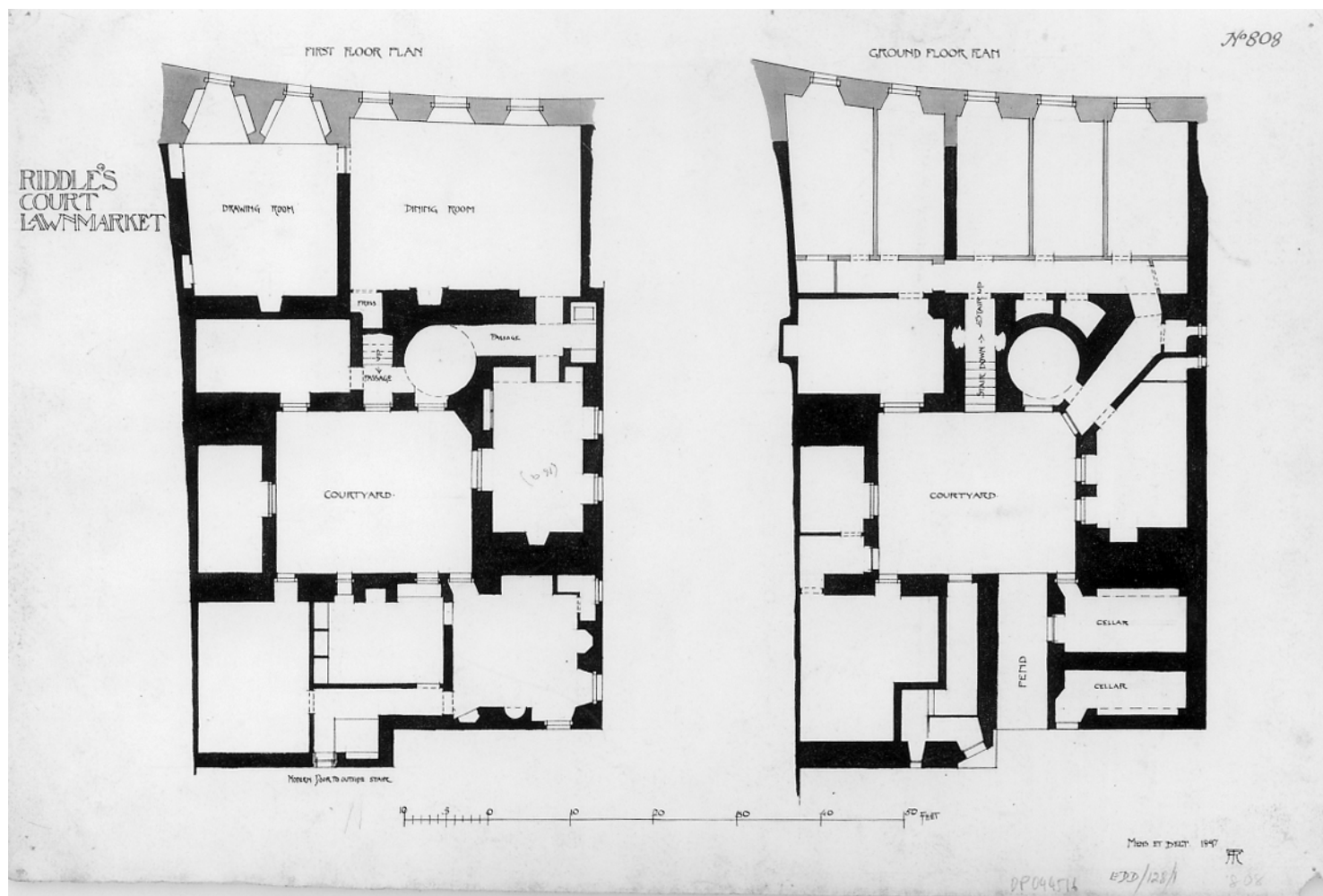
RIDDLE'S CLOSE, LAWMARKET, EDINBURGH. N°808,809 & 810

①

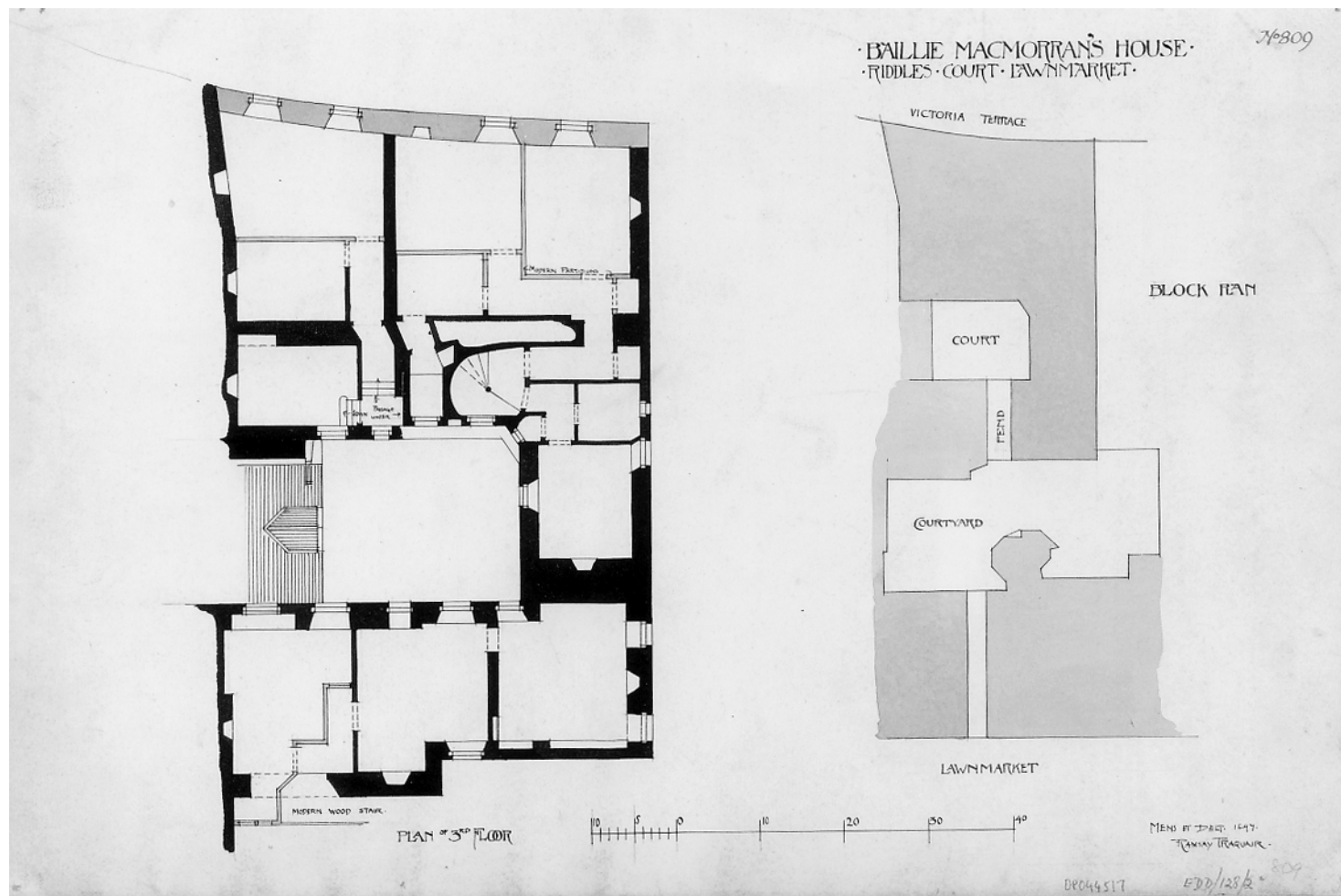
PLANS AND ELEVATIONS IN COURTYARD



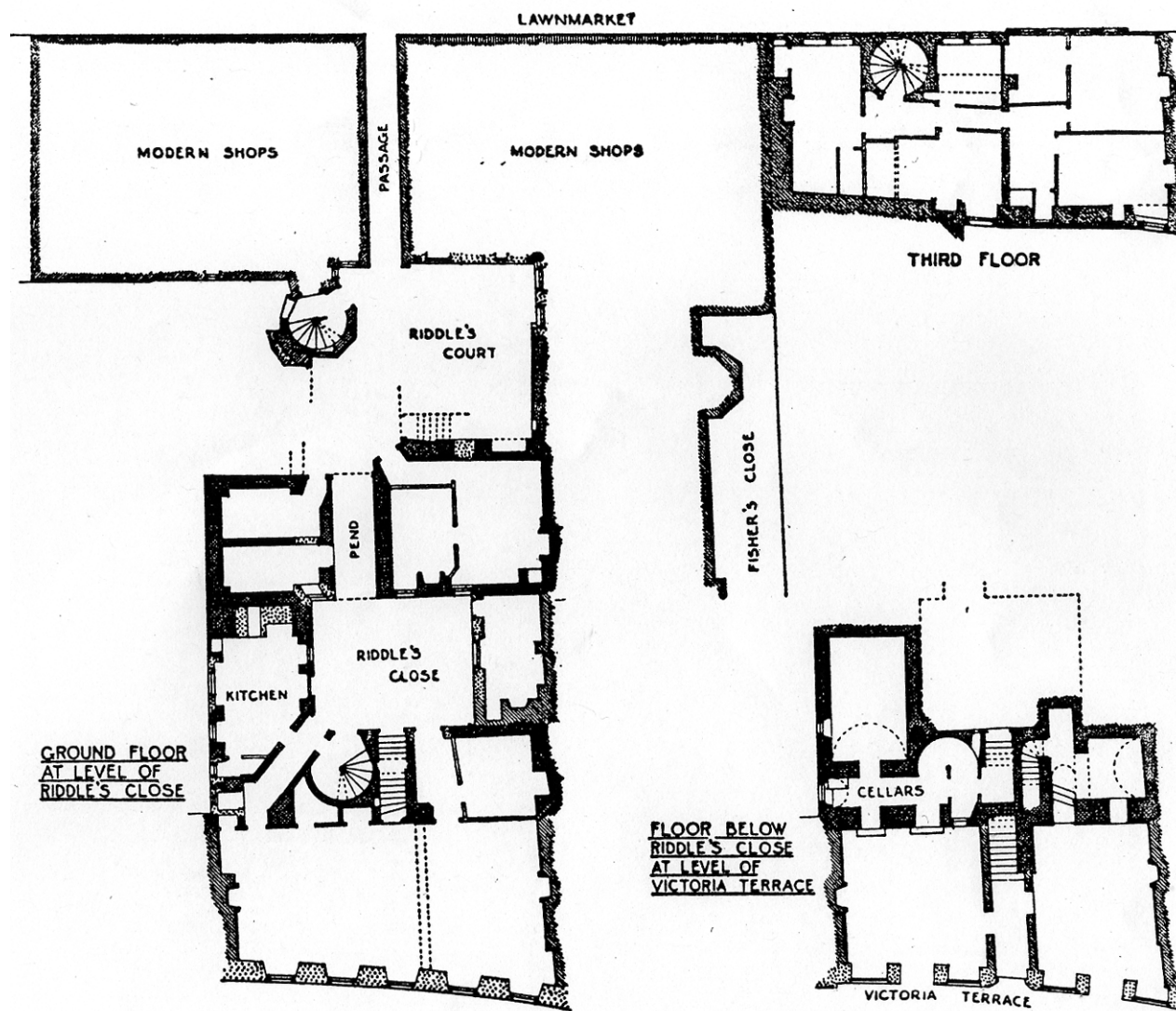
1892.



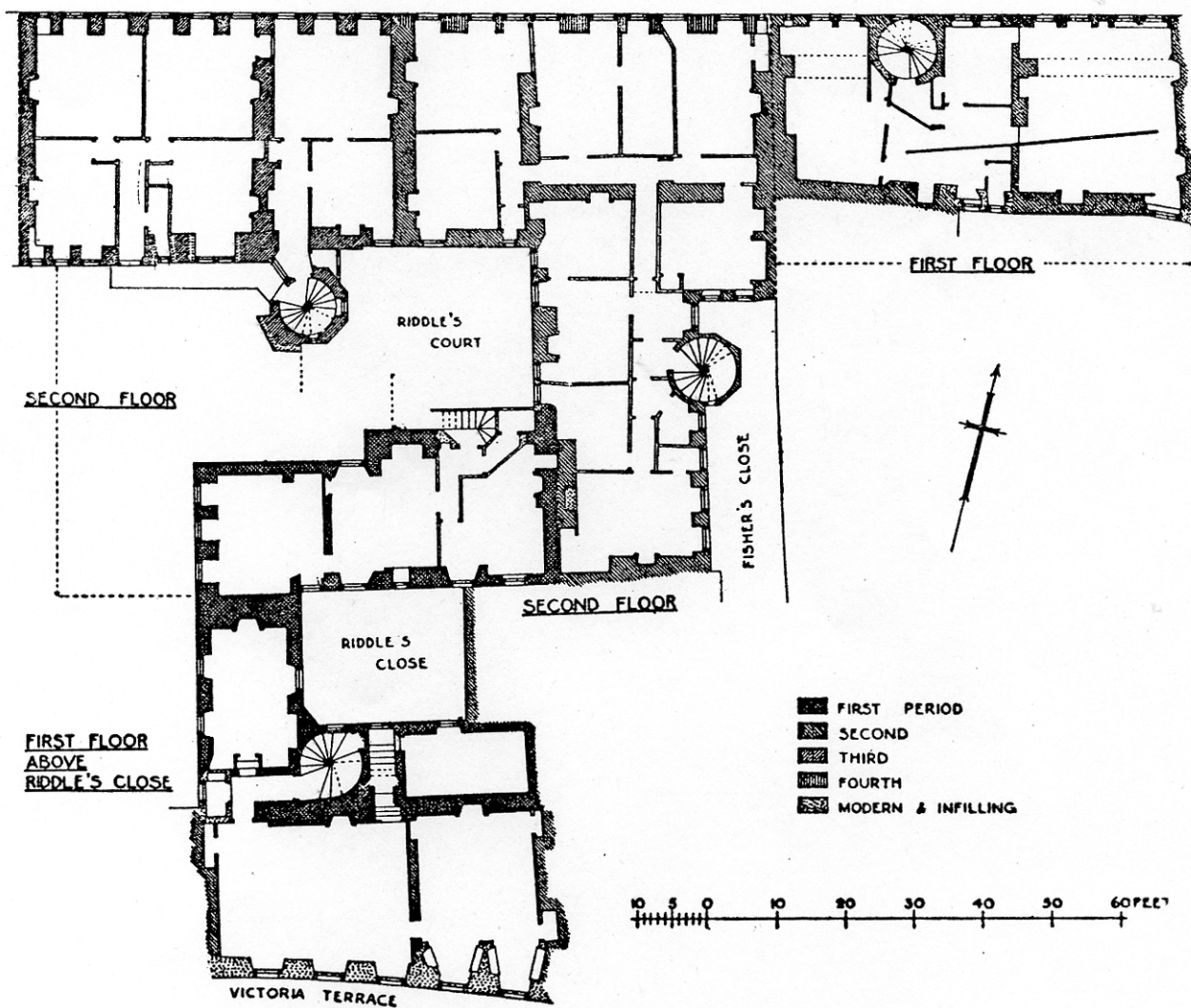
A. Ramsay Traquair (1897) plans.



A. Ramsay Traquair (1897) plans.

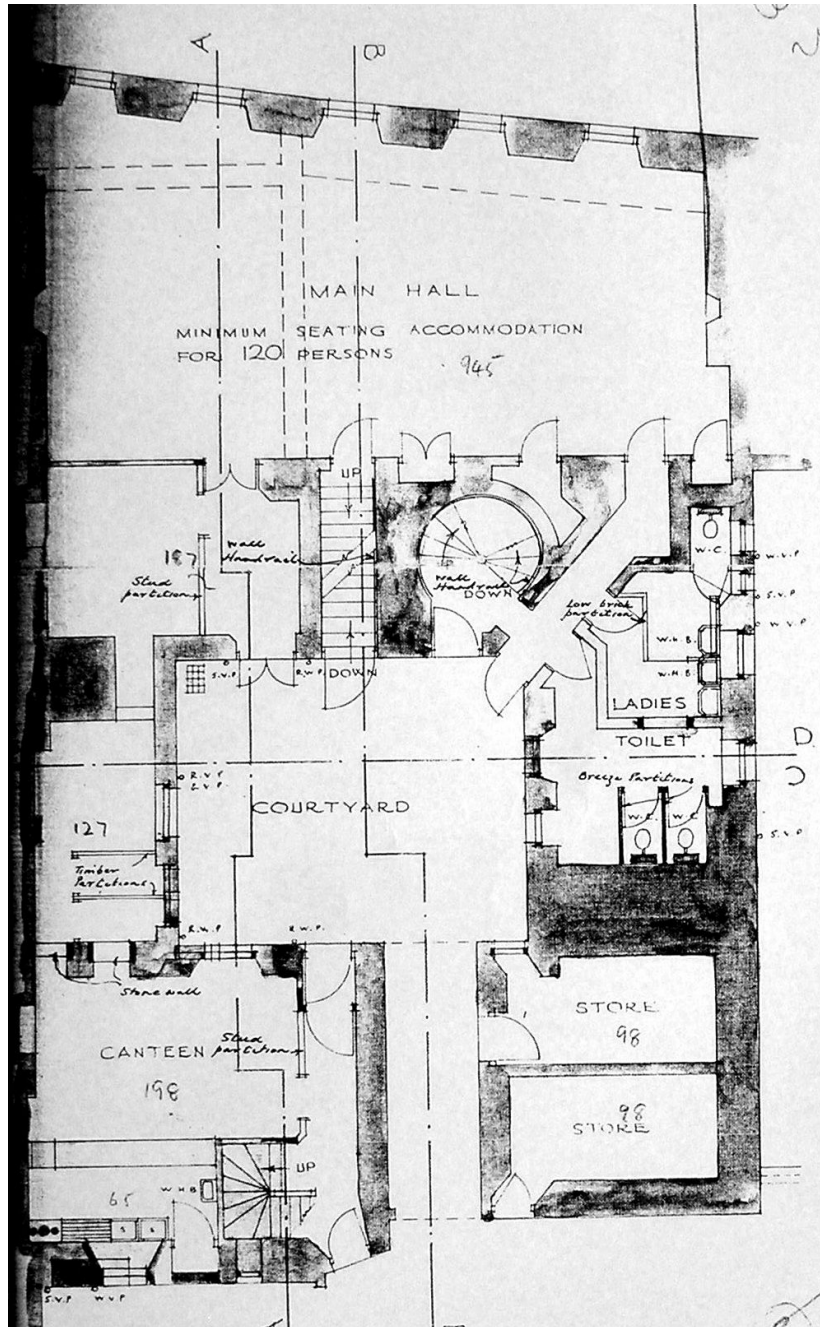


(Anon.) 1951 plans

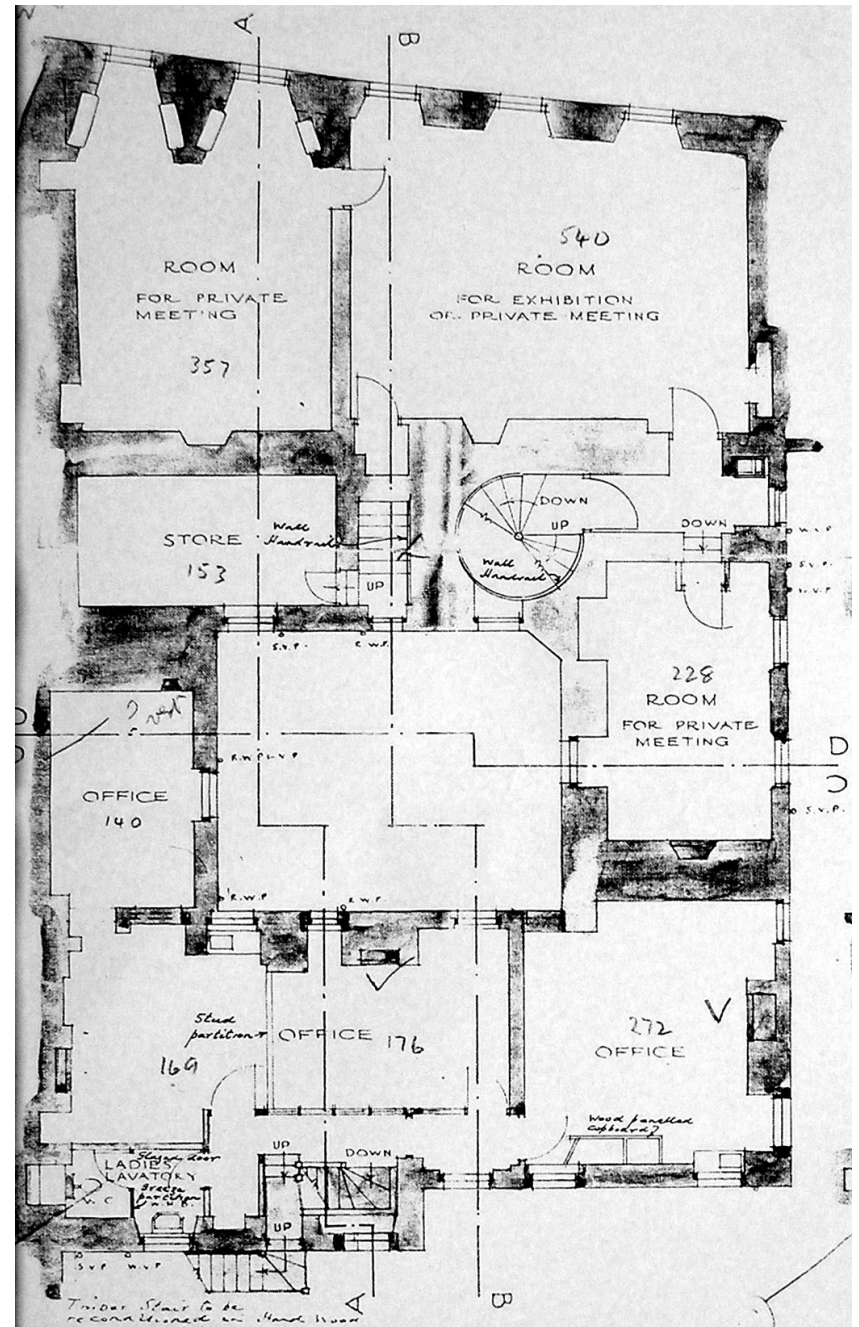


(Anon.) 1951 plans

Ground Floor Plan

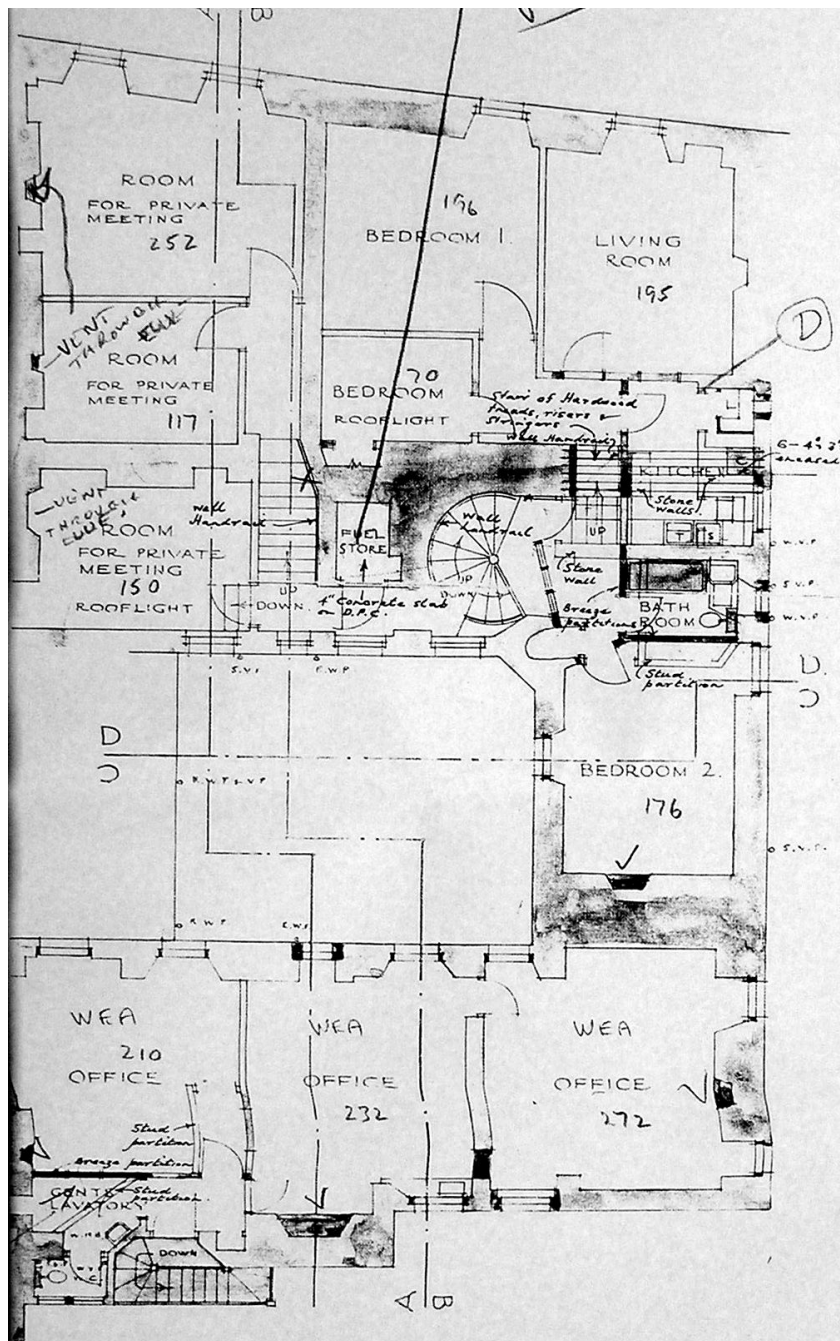


First Floor Plan



Paterson (1961) plans.

Second Floor Plan



Paterson (1961) plans.



Scottish Historic Buildings Trust

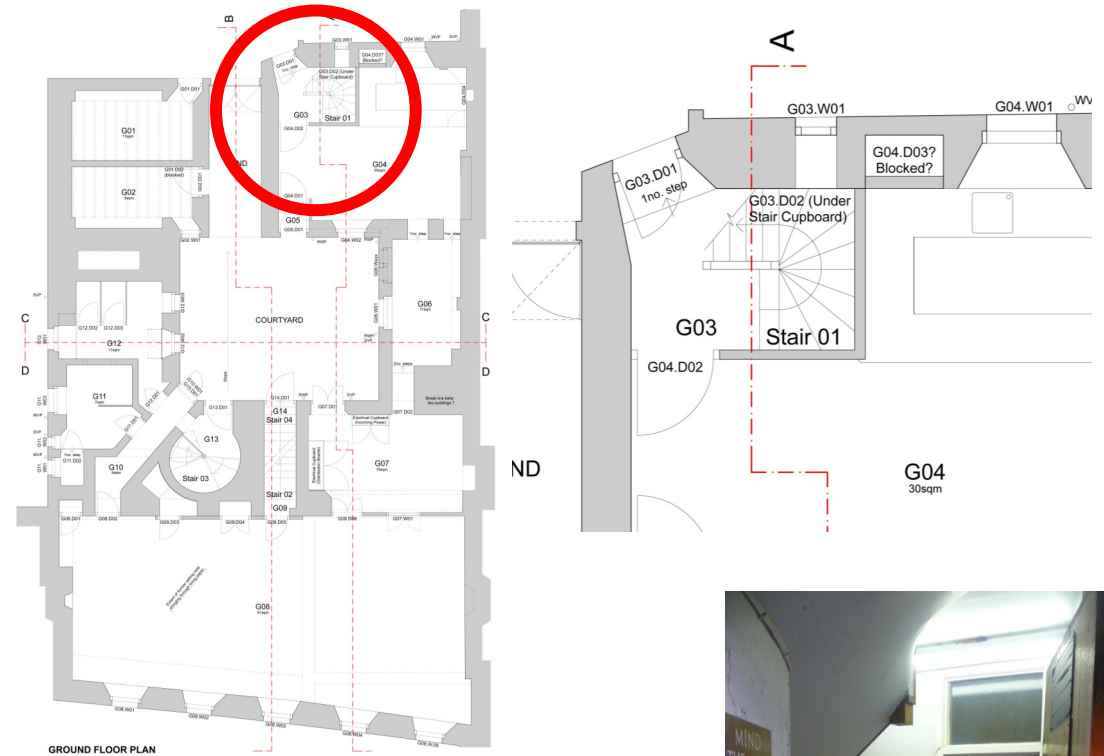
Riddle's Court

Room Gazetteer North-East Block

Anne Schmidt
November 2012



Room	G.03	
Historic Use	<ul style="list-style-type: none"> - Heavy stone moulding and corbelling suggests early or original entrance¹ - Workshop activity around 1854² - Entrance to G.04 (separated by a door)³ - Part of G.05⁴ - From 1961 entrance lobby of Stair 01 to WEA offices⁵ 	
Summary Description	Currently the Stair 01 lobby and entrance to the WEA offices	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	<ul style="list-style-type: none"> - Partly sloped ceiling due to underside of stairs - No existing cornice - Modern florescent light fittings
	Walls	<ul style="list-style-type: none"> - Plaster over stone - Cupboard below stairs, with two doors
	Windows	<ul style="list-style-type: none"> - 1x glass pane above door (ii) [small 4 panel window in bay on the stairs, cannot be opened]
	Doors	<ul style="list-style-type: none"> x2 (i) hardwood door (installed c1960s) with a metal handle, a sign with Workers Educational Association on the outside and a letter box (ii) grey painted, 1960s softwood, leading to G.04
	Floors	<ul style="list-style-type: none"> - Vinyl over stone/hard surface - Raised step to entrance - Simple painted skirting [wooden staircase going up to the first floor, 1960s]
	Fixtures/Fittings	
Alterations	<ul style="list-style-type: none"> - Staircase put in during the 1961 refurbishment - Partitioned from G.04 in 1960s to create stair lobby⁶ 	
Significance	<ul style="list-style-type: none"> - Stone corbelling outside above entrance⁷ - Only access to the North Block upper levels 	
Issues		
Gaps in Knowledge	<ul style="list-style-type: none"> - Original use of the space/division of the space with G.04 and G.05 	



GROUND FLOOR



Door (i) leading to the courtyard



Cupboard under the stairs



View from Door (i), with Door (ii)

Sources:

¹ A. Wright, *Conservation Statement*, (Edinburgh: 2008, rev. 2009), p. 74.

² Drummond Illustration ©OECL.

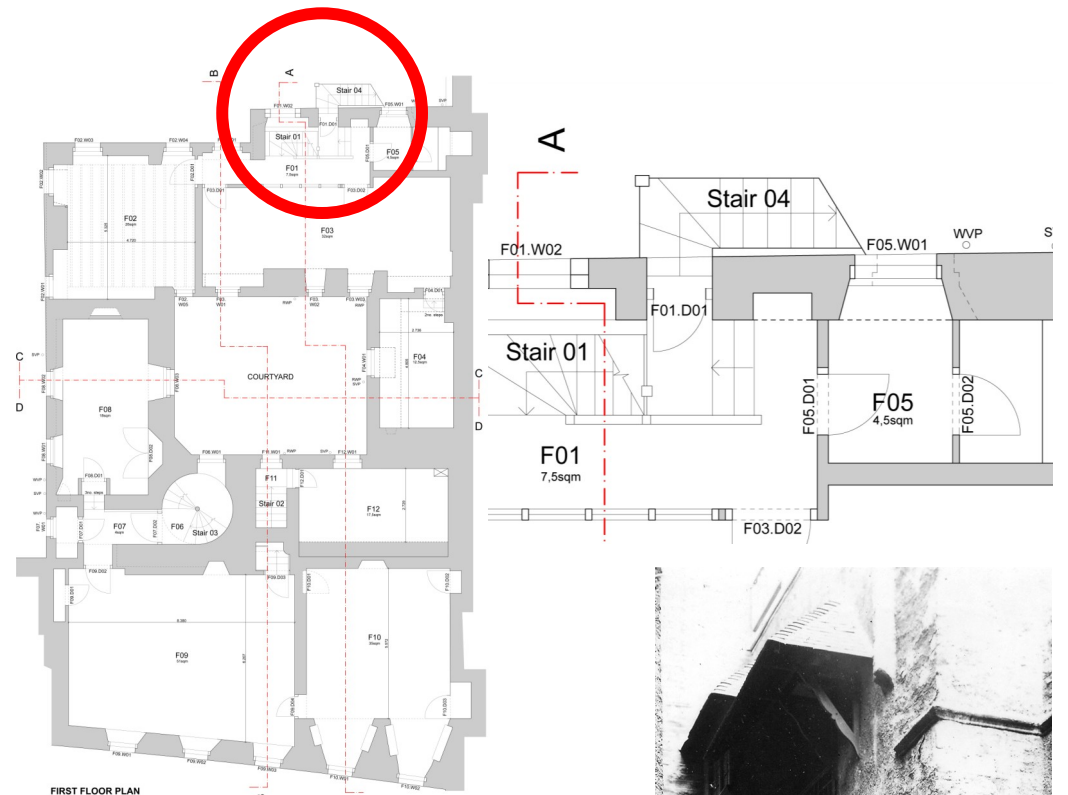
³ Mitchell Plan 1889.

⁴ A. Ramsay Traquair Plan 1897.

⁵ Paterson Plan 1961.

⁶ Traquair Plan 1897.

Room	Stair 04	
Historic Use	External stair replacing internal staircase in neighbouring tenement house which was demolished. Stair built c1893 after design by Architect Stewart Henbest Capper, rebuilt 1964 after original design. ¹	
Summary Description	Staircase leading up from the first to the second floor of the north-east block	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Timber pentice roof sloping down towards the courtyard, painted light grey - Modern florescent light
	Walls	N/A
	Windows	N/A
	Doors	x2 (i) hardwood door leading to S.01, (ii) Narrow hardwood door leading to F.01, both installed 1960s
	Floors	- Varnished wood stairs and railings
	Fixtures/Fittings	- Fabric net around railing for bird prevention
	Alterations	- Rebuilt to Cappers original design in 1964
Significance	- Part of the Geddes alterations - Provides only access to second floor of the north-east block	
Issues		
Gaps in Knowledge		
Sources	Historic Plans, Conservation Statement.	



FIRST FLOOR



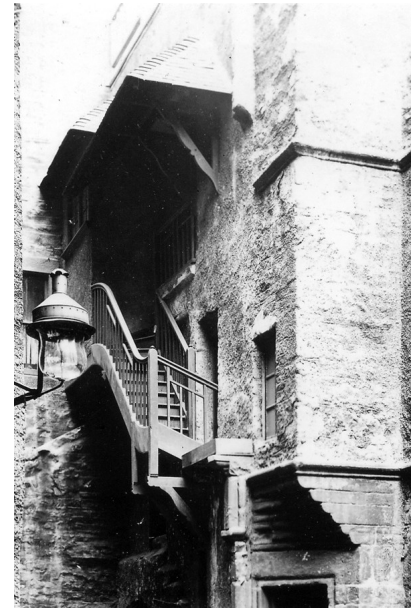
View of the underside of the pentice roof.



View of Stair O4 from the second floor.



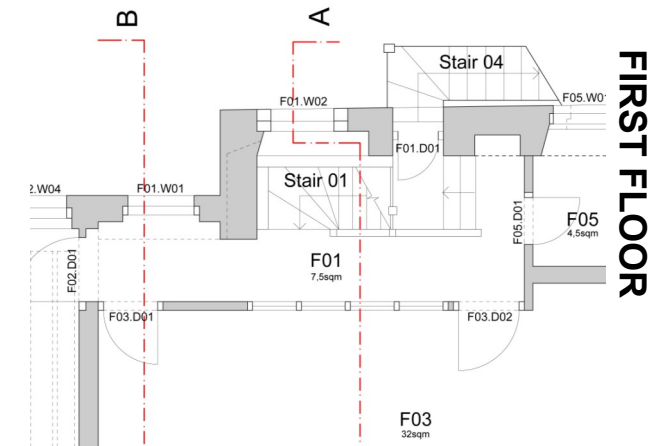
Pentice Stair from the courtyard as it appears today



Photograph taken 1904 showing the original staircase.

¹Wright, *Conservation Statement*, pp. 45-46.

Room	F.01	
Historic Use	Probably part of larger room with F.03. Partitioned and separated from F.03 by 1897 to create hall landing following insertion of Stairs 01 and Stair 04 (Pentice Stair). ¹	
Summary Description	Currently used as first floor hallway and landing of Stair 04 and Stair 01	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- No cornice - Modern florescent light
	Walls	- Arched recesses above windows and door (i) - Square recess next to door (i), (former entrance from the stairs, 1897 plan) - 1/3 height wooden division under window - Glass and timber partition inserted 1960s
	Windows	x2 (i)12 paned sash windows
	Doors	x5 (i) door to Stair 04, hardwood (installed 1960s), remaining 1960s doors to connecting rooms
	Floors	- Vinyl on timber floorboards - Timber landing of Stair 04 with 4 steps leading onto vinyl floor
	Fixtures/Fittings	Modern fire safety equipment and
	Alterations	- Installation of staircase under Geddes, 1893 ² - Installation of windows in partition wall to F.03 1960s ³
Significance	- Part of original building - Only entrance into rooms on the second floor, former entrance now square recess	
Issues		
Gaps in Knowledge	- Date of instalment of windows	



FIRST FLOOR



View of F.01, facing east, with glass pane wall to F.02.

Landing of Stair 01 and Stair 04 in the middle of F.01.



Recess in wall, was former door giving access to this part of the building.



Riddle's Court - Room Gazetteer

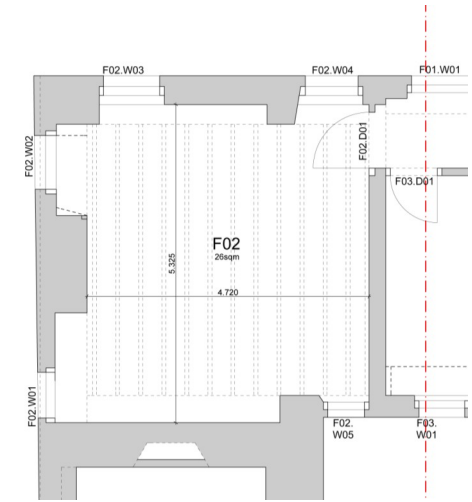
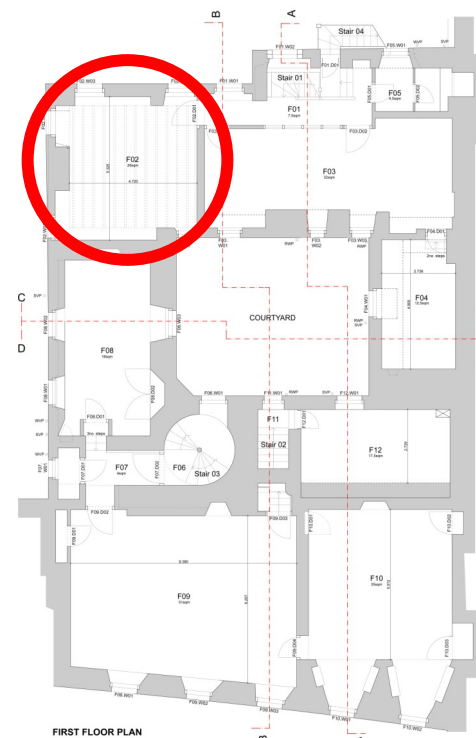
Sources:

¹ Traquair Plan 1897.

² Wright, *Conservation Statement*, pp. 45-46.

³ Paterson Plan 1961.

Room	F.02	
Historic Use	Principle room of original building. Later rented out as tenement. ¹	
Summary Description	Currently used as an office.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- 16 th C painted timber ceiling - x4 modern chandeliers with light bulbs - No cornice
	Walls	- Mostly painted plaster, around the fireplace painted stone - Simple stone fireplace, likely to date from late 16 th century ² - Mostly rounded corners - Deep arched recesses symmetrically on two walls and above windows
	Windows	x5 (i) 6 pane timber casement window (ii), (iii) 12 pane timber sash window (iv) narrow 12 pane timber sash window (v) small 12 pane timber sash window
	Doors	x1 1960s softwood door leading to F.01
	Floors	- Carpet over timber floorboards
	Fixtures/Fittings	
	Alterations	- Ceiling boarded up, rediscovered 1963.
	Significance	- Formed original part of building ³ - Surviving 16 th C ceiling (painted c.1598 to commemorate banquet hosted by King James VI to his wife and the Duke of Holstein) ³ - 16 th century fireplace - Internal arched recesses around window
Issues		
Gaps in Knowledge	- When this ceiling was boarded up - Historic use of this room - Extent of timber ceiling beyond this room	
Sources	Historic Plans, Conservation Statement, Wilson's <i>Memorials</i>	



FIRST FLOOR



View of F.02, above: facing north-west; left: facing south.

Sources:

¹D. Wilson, *Memorials of Edinburgh in the Olden Times*, (London:1872), p. 169.

²Wright, *Conservation Statement*, p. 73.

³Ibid, pp. 21-22.; C. Engel Plan Overlay.

⁴Wright, *Conservation Statement*, pp. 21-22, 77.



General view of the beam ceiling of F.02.



FIRST FLOOR

Contemporary painted timber beam ceiling in Gladstone's Land.²



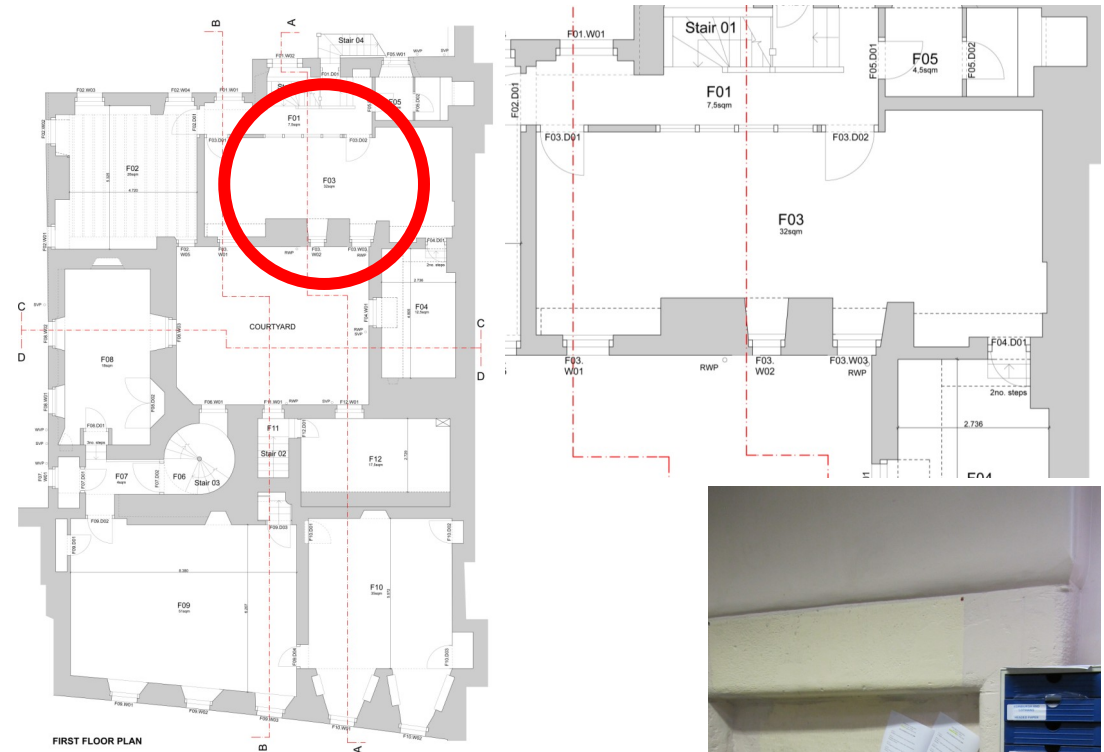
Detail of the ceiling, showing the cherub's face, the crowned double-headed eagle, thistles and heraldic decoration.¹

Sources:

¹M. Pearce, *Riddle's Court: the Banquet, the Renaissance Painted Ceiling and diplomacy in 1598*, (2011), p. 9.

²Wright, *Conservation Statement*, p. 21-22.

Room	F.03	
Historic Use	Historically split into two rooms, together with F.05. Probably formed original part of the building. ¹	
Summary Description	Currently used as an office.	
Description	Ceiling	- No cornice
	Cornices/Light fittings	- Modern florescent lights
	Walls	- Painted plaster, painted stone around fireplace - Stone fireplace on the west wall, likely to date from late 16 th century ² - Simple painted timber skirting - Arched recesses around windows - Glazed partition wall to hall F.01
	Windows	4x (i) 12 pane sash window (ii) 8 pane sash window (possibly opened during the 1960s changes) ³ (iii) 6 pane casement window (iv) 3 panel casement window (possibly infilling)
	Doors	3x modern doors, two leading to F.01, remaining leading to F.04
	Floors	- Carpet on timber floorboards
	Fixtures/Fittings	
Alterations	- Possible infilling of window (iv) - Installing window (ii) 1960s - Building of partition wall with glass panels during 1960s - Removal of wall to create larger office space 1960s (plan 1961)	
Significance	- 16 th century fireplace - Internal arched recesses around window ⁴	
Issues		
Gaps in Knowledge	- Date of infilling of window (iv) - Original and earlier plan form and use	
Sources	Historic Plans, Conservation Statement, Plan Overlay	



Painted stone fireplace on the north-east side of the room.



View of F.03, facing south.

Sources:

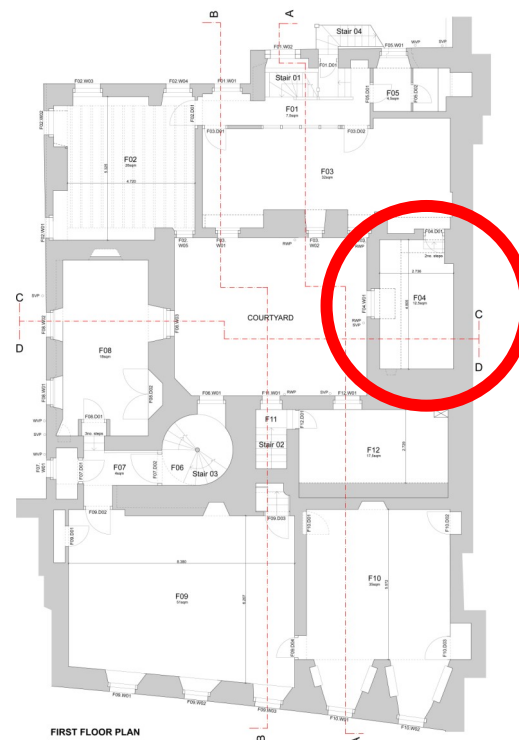
¹Traquair Plan 1897; C. Engel, Plan Overlay .

²Wright, *Conservation Statement*, p. 74.

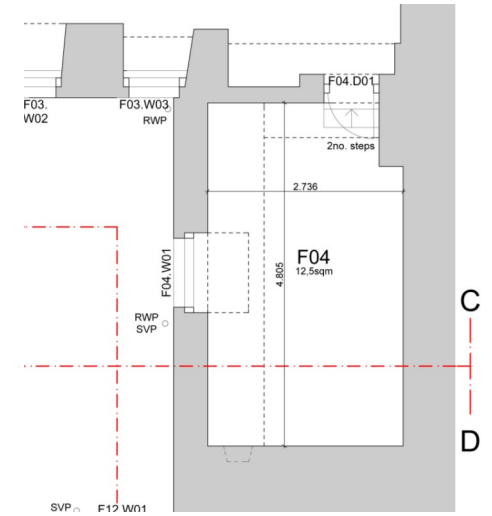
³Traquair Plan 1897.

⁴Wright, *Conservation Statement*, p. 73-74 .

Room	F.04	
Historic Use	Possible later development as independent dwelling or store, possibly residence of porter/warehouseman, or 'women's house'. ¹	
Summary Description	Currently used as an office.	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- Wood panelling - Half combed ceiling towards courtyard - Modern florescent lights - 1x roof hatch probably to neighbouring building - No cornices - Dormer window
	Walls	- Vertical wood panelling
	Windows	- 1x 12 pane sash window in window dormer
	Doors	- 1x modern softwood door, to F.03
	Floors	- Level change from F.03 - Carpet on timber floorboards, same as F.03 - Ledge in one corner (possibly holding pipes) - Modern skirting - Metal skirting installed recently against mice
	Fixtures/Fittings	
	Alterations	- Entrance formed probably 1960s ²
Significance		
Issues		
Gaps in Knowledge	- When this part of the building was built - Historical entrance to this room - Historical use of this room	
Sources	Historic Plans, Conservation Statement, McGibbon & Ross	



FIRST FLOOR PLAN



FIRST FLOOR



Roof hatch leading to neighbouring building

View of F.04 facing south with dormer window, and showing half combed ceiling.



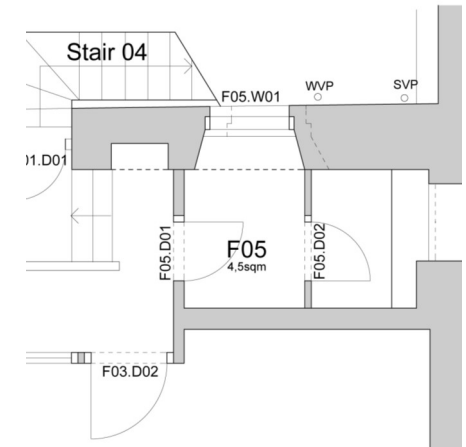
View of F.04 facing south-east

Sources:

¹D. McGibbon & T. Ross, *Castellated and Domestic Architecture of Scotland from the Twelfth to the Eighteenth Century*, Vol. 4, (Edinburgh: 1902), p. 444.

²Traquair Plan 1897, Paterson Plan 1961.

Room	F.05	
Historic Use	Formerly part of a bigger room comprising F.01, F.03 and F.05, probably part of the original building ¹	
Summary Description	Currently used as toilet facilities for the first floor offices.	
D e s c r i p t i o n	Ceiling	- Modern florescent light
	Cornices/Light fittings	- No cornice
	Walls	- Half-wall partition separating toilet from the sink-area - Deep recess above toilet
	Windows	1x 6 pane (textured glass) wooden casement window opening downwards
	Doors	2x modern softwood doors, one leading to F.01
	Floors	- Vinyl, same as F.01
	Fixtures/Fittings	Sanitary fittings
	Alterations	- Changed into toilet facilities during the 1960s, walls put in to separate the toilet area. ²
Significance	- Part of the original building	
Issues		
Gaps in Knowledge	- Original use of the room	
Sources	Historic Plans, Plan Overlay	



FIRST FLOOR



Deep recess behind toilet facility



View from F.01, facing north-east

Sources:

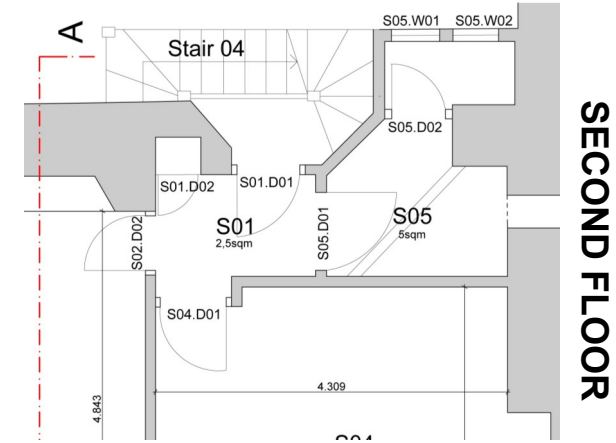
¹Engel, Plan Overlay; Traquair Plan 1897.

²Paterson Plan 1961.

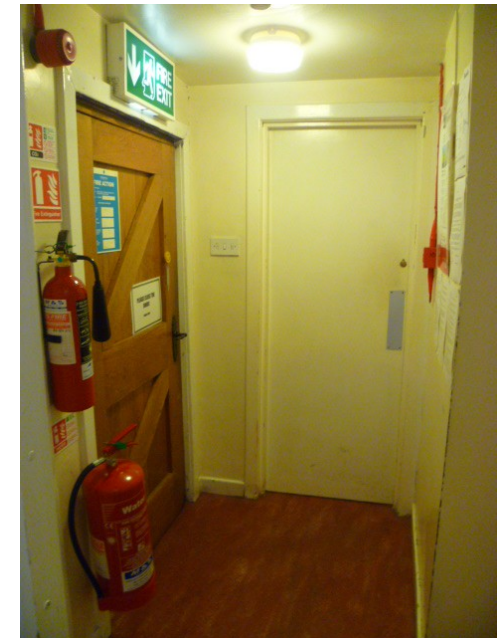
Room	S.01	
Historic Use	Originally part of S.04, separated by a thin wall to form a slightly larger corridor as entrance into S.04 and S.02. ¹	
Summary Description	Currently used as hallway leading to the offices on the second floor	
D e s c r i p t i o n	Ceiling Cornices/Light fittings	- False Ceiling - 1x florescent ring tube light
	Walls	
	Windows	N/A
	Doors	4x modern doors to connecting rooms (S.02, S.03, S.05, Stair 04) (v) narrow door leading to cupboard with shelves
	Floors	- Vinyl over hard surface
	Fixtures/Fittings	
Alterations	- Change of dividing walls so that S.01 included most of S.05 ² - Change of dividing wall to make S.04 slightly bigger probably during the 1960s ³ - Separation of S.05 and installation of toilet facilities	
Significance	- Only access to the second floor of the North Block	
Issues		
Gaps in Knowledge	- The original use of S.01, and whether it might have been a part of S.04 then	
Sources	Historic Plans	



SECOND FLOOR PLAN



SECOND FLOOR

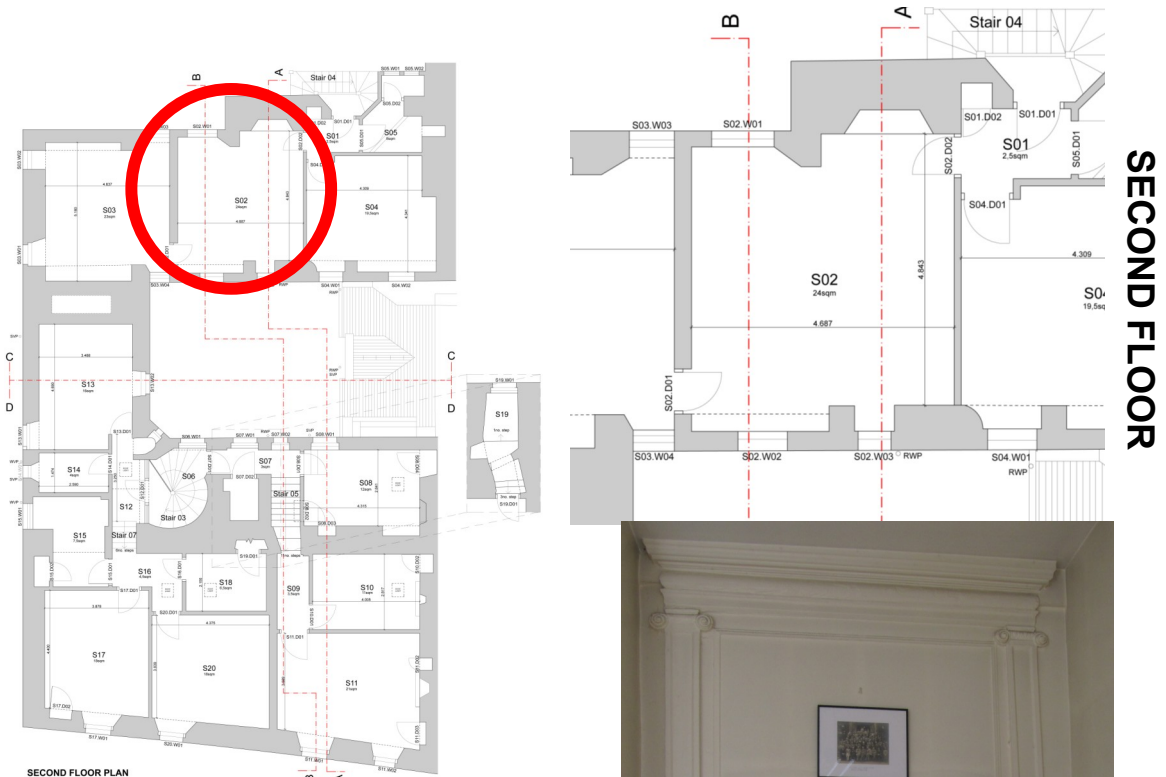


View of S.01 from S.02 facing north east

Sources:

- ¹Traquair Plan 1897.
- ²(Anon.) Plan 1951.
- ³Paterson Plan 1961.

Room	S.02	
Historic Use	Probably formed part of the original building. Rented out to various tenants, from relatively rich before the 18 th century to a fishcaddger. Also used as a public theatre. ¹	
Summary Description	Currently used as an office.	
D e s c r i p t i o n	Ceiling Cornice/light fittings	- Modern florescent lights - No cornice
	Walls	- Recessed fireplace with an empty picture frame above, and classical decorations surrounding both - Skirting
	Windows	x3 (i), (ii) 12 pane sash windows, symmetrical in arched recess with decoration (iii) 8 pane sash window in square recess
	Doors	x2 modern doors leading to S.03 and S.01
	Floors	- Carpet over timber floorboards
	Fixtures/Fittings	
	Alterations	- Door opening (ii) was moved to the wall when the shape of S.01 changed during the 1960s ²
Significance	- Formed part of the original building. - Decorated plasterwork panel and pilasters around fireplace, probably around the same date as 1684 ceiling in S.03 ³ - Internal arched recesses around window ⁴ - Once used as a public theatre	
Issues		
Gaps in Knowledge	- Original use of the room	
Sources	Historic Plans, Conservation Statement	



SECOND FLOOR



The fireplace and the decorated picture frame above.



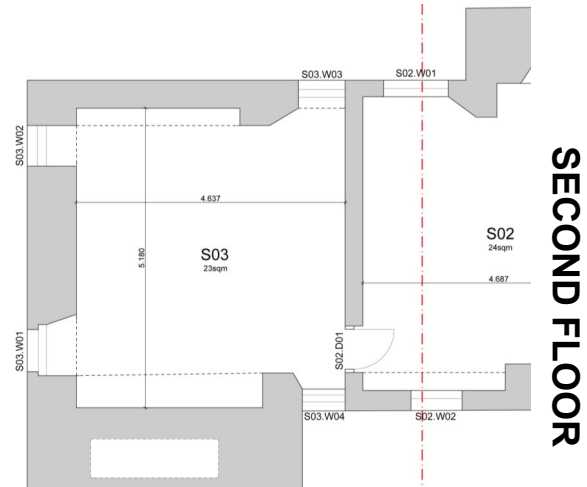
View of S.02, facing south west with window recesses



Detail of the decoration around the picture frame. Note the ionic pilasters on either side.

Sources:
¹Wright, *Conservation Statement*, pp. 35, 77-78.
²Paterson Plan, 1961.
³Wright, *Conservation Statement*, p. 77.
⁴Ibid, p. 74.

Room	S.03	
Historic Use	Probably formed part of the original building. Rented out to various tenants, from quite rich before and during the 18 th century to a fish-cadger. The plaster ceiling and the Norie Panels give evidence of wealth and prestige. Also termed the “Royal Apartments” by Robert Louis Stevenson in 1871 and often referred to as the King’s Room. ¹	
Summary Description	Currently used as head office.	
D e s c r i p t i o n	Ceiling Cornice/light fittings	- 17 th C decorated plaster ceiling with King Charles II motif (dates 1684) - Cornice, added at the same time as ceiling - Modern chandelier
	Walls	- Timber panels, painted white replacing Norie Panels - Empty lugged picture frame above fireplace - 2x arched recesses (symmetrical) - Deep window recesses - Decorated fireplace, 1960s replacement
	Windows	x4 (i) 12 pane sash window (ii), (iii) 12 pane sash window (iv) 12 pane sash window, slightly smaller than the others
	Doors	x1 (i) timber door with 4 wooden panels, leading to S.02
	Floors	- Carpet on timber floorboards, same as S.02
	Fixtures/Fittings	
	Alterations	- Plaster ceiling added 1684 - Norie Panels added first half of 18 th C, painted over and partially removed by 1890. Rediscovered 1963 and removed ²
Significance	- Part of first building phase - 17 th C plaster ceiling - Original location of landscape panels painted by James Norie in the 18 th century - Internal arched recesses around window ³	
Issues	- 1960s loss of moulded fireplace	
Gaps in Knowledge	- Exact date of Norie Panels	
Sources	Historic Plans, Conservation Statement, Wilson’s <i>Memoires</i> , HS Restauration Report 1997	



View of S.03, facing north-west.



Picture frame above fireplace, formerly included a painting.



Plaster ceiling from 1684.

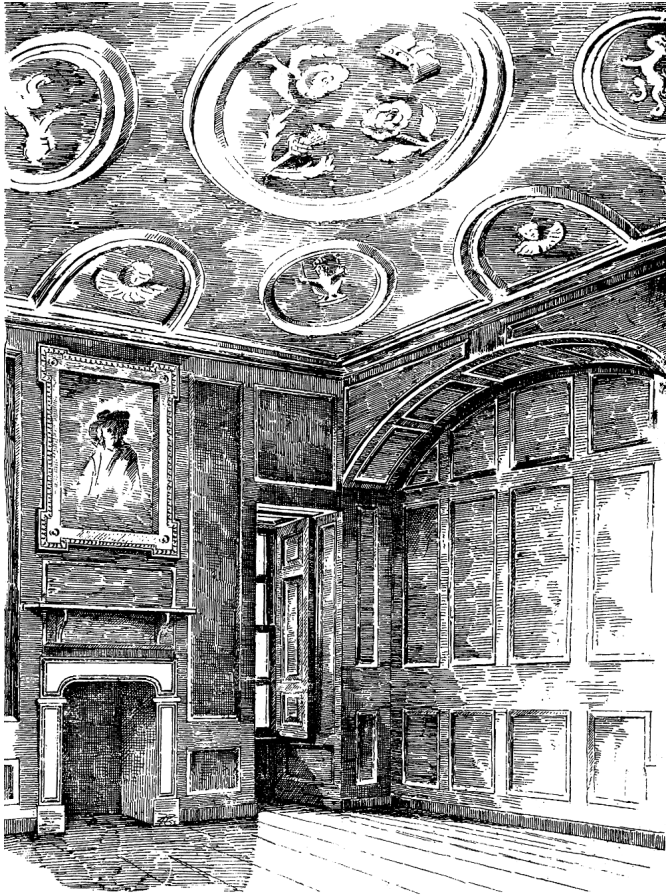
1. Santy, *Restoration Report James Norie*, (1997), p. 3.

Sources:

¹ Santy, *Restoration Report James Norie*, (1997), p. 3.

² *Ibid*, p.3.

³ Wright, *Conservation Statement*, p. 74.
Santy, *ibid*, p.3.

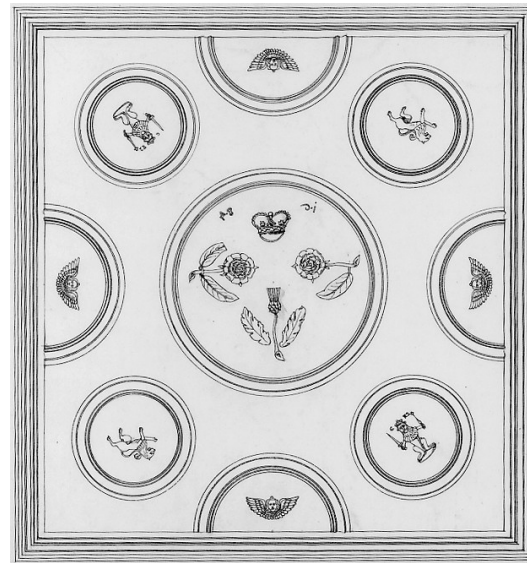


Sketch by MacGibbon & Ross of S.03 in 1887 with a painting above the fireplace. By then, the panels had already been painted over.



Detail of the central panel with King Charles II motif, and the date.

Plaster Ceiling, ©RCAHMS



A Ramsay Traquair sketch of the ceiling, 1897. ©RCAHMS



Riddle's Court - Room Gazetteer



Examples of the Norie Panels after restoration 1997. The two images above show how the panels might have been set up on the wall. © Historic Scotland

Setup of the Norie Panels in the National Museum of Scotland



Riddle's Court - Room Gazetteer

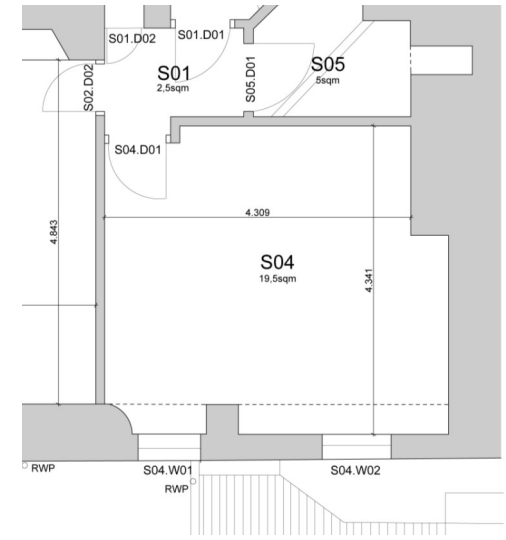


View of S.03, facing north-west, before renovation started 1964. ©RCAHMS

Room	S.04	
Historic Use	Probably part of the original building, rented out to tenants. Formed part of a larger room together with S.01 and S.05. Also used as a public theatre before 1848. ¹	
Summary	Currently used as office space by WEA	
D e s c r i p t i o n	Ceiling Cornice/Light fittings	- Modern florescent lights - No existing cornice
	Walls	- Two arched recesses over window - One rounded corner
	Windows	2x (i) 12 pane sash window with extraction fan, (ii) 12 pane sash window
	Doors	1x modern fire door to S.01
	Floors	- Vinyl over timber floorboards
	Fixtures/Fittings	Fire Safety Equipment
Alterations	- Formerly included S.05, changed into current layout 1960s - Formerly slightly smaller due to the fact that S.01 was larger - Formerly included a fireplace (closed up 1960s) ²	
Significance	- Probably formed part of original structure - Internal arched recesses around window ³	
Issues		
Gaps in Knowledge	- Original use of the room	
Sources	Historic Plans, Conservation Statement	



SECOND FLOOR PLAN



SECOND FLOOR



View of S.04, facing south-west, with arched window recesses.

Sources:

¹Wright, *Conservation Statement*, p. 77-78.

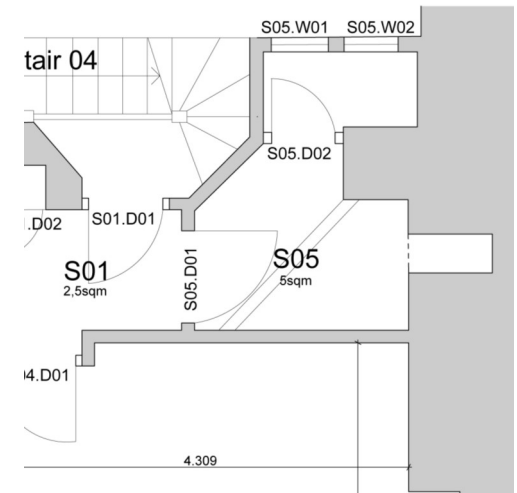
²Traquair Plan 1897; Paterson Plan 1961.

³Wright, *Conservation Statement*, p. 74.

Room	S.05	
Historic Use	Used as part of a hall way before being turned into a service area. Part of outshot constructed at the same time as external stair. ¹	
Summary	Kitchen and Toilet facilities for the WEA offices	
Description	Ceiling Cornice/Light fittings	- False ceiling - Modern florescent lights - No existing cornice - Roof hatch (leading to the roof)
	Walls	
	Windows	1x 18 pane timber case window textured glass
	Doors	2x modern doors, leading to S.01 and into toilet facilities
	Floors	- Vinyl over timber floorboards
	Fixtures/Fittings	Sanitary Fittings
	Alterations	- Formerly part of S.04, changed 1960s ² - Possibly part of a very early extension ³
Significance		
Issues		
Gaps in Knowledge	- When this part of the building was erected	
Sources	Historic Plans	



SECOND FLOOR PLAN



SECOND FLOOR



Roof hatch



View of S.05 from S.01 facing north east



Riddle's Court - Room Gazetteer

Sources:

¹Traquair Plan 1897.

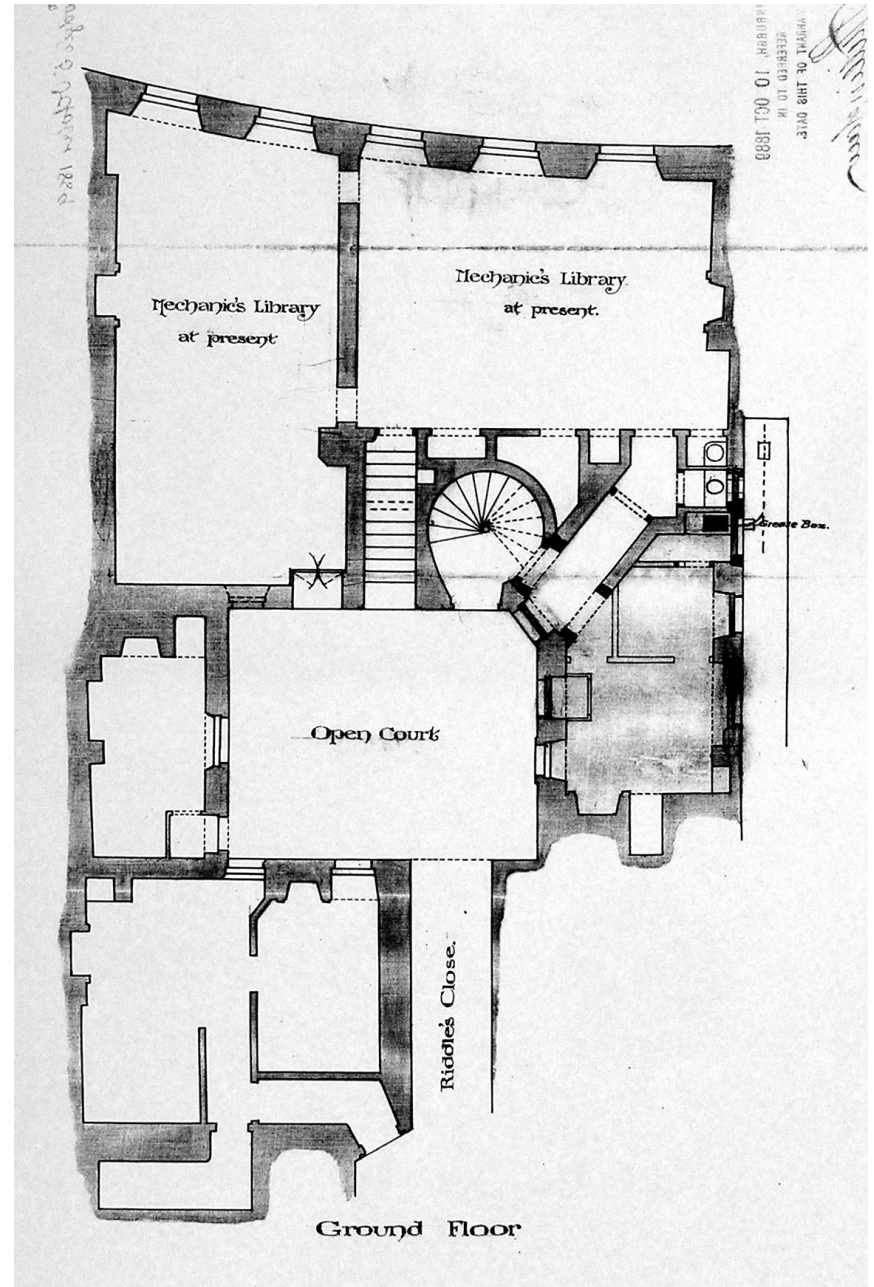
²Paterson Plan 1961.

³Traquair Plan 1897.

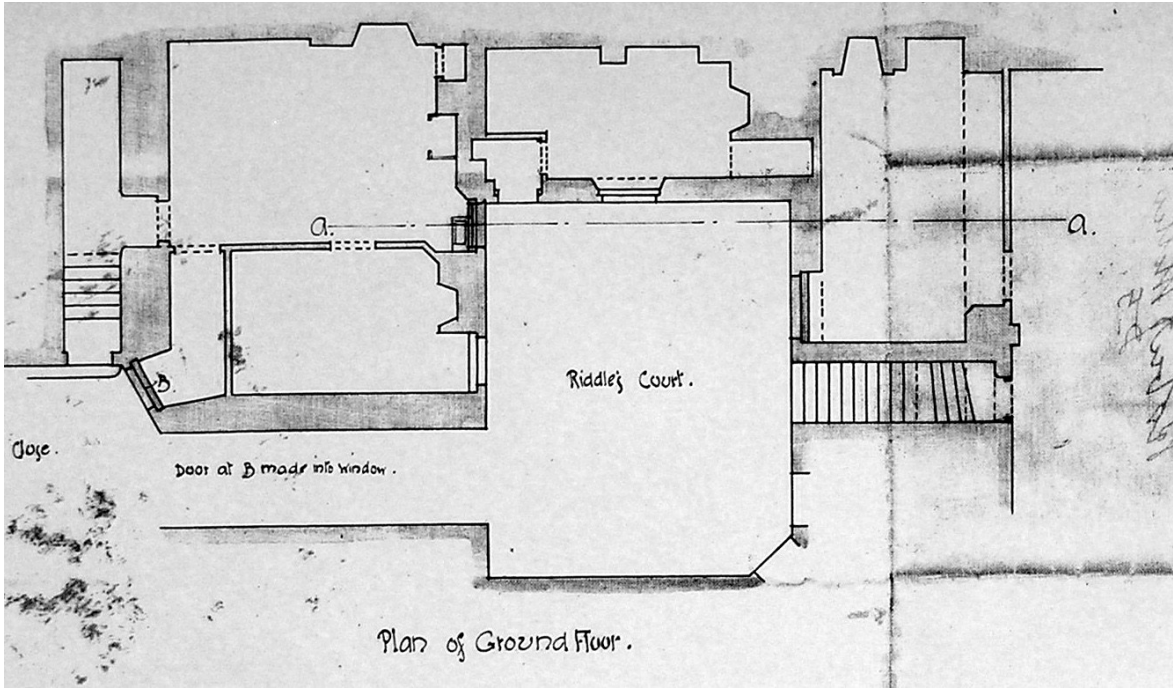
Appendix:
Historic Sketches and Plans of Riddle's Court



Sketch of the outer courtyard by James Drummond (1854) ©OECL.

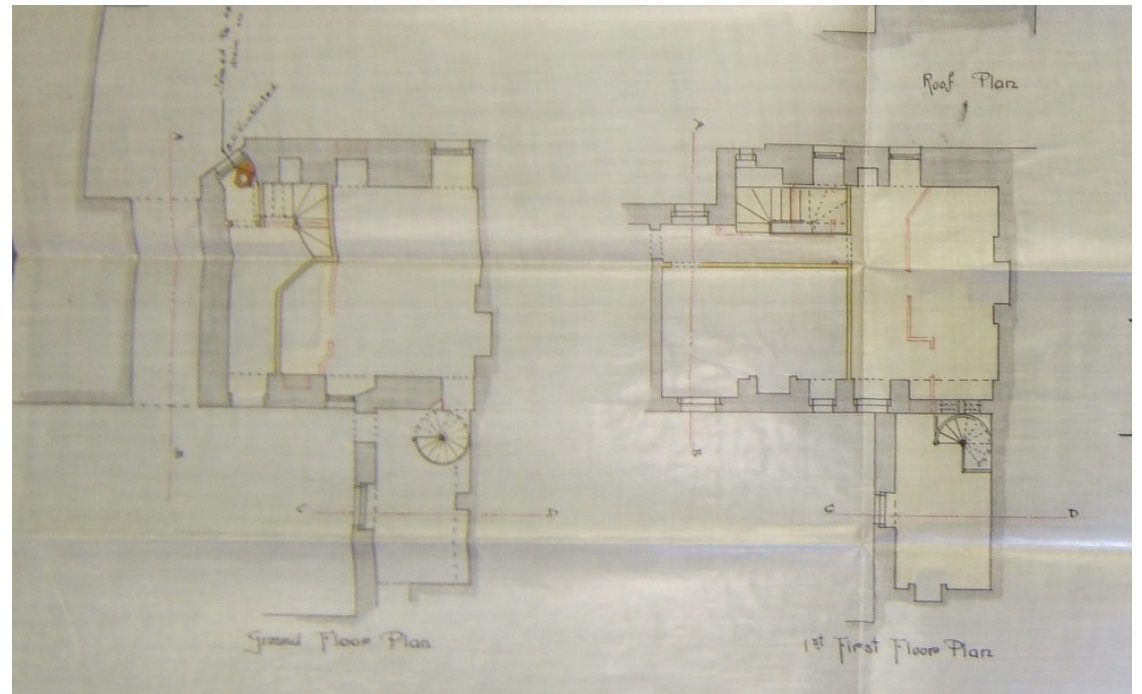


Mitchell Plan (1889)

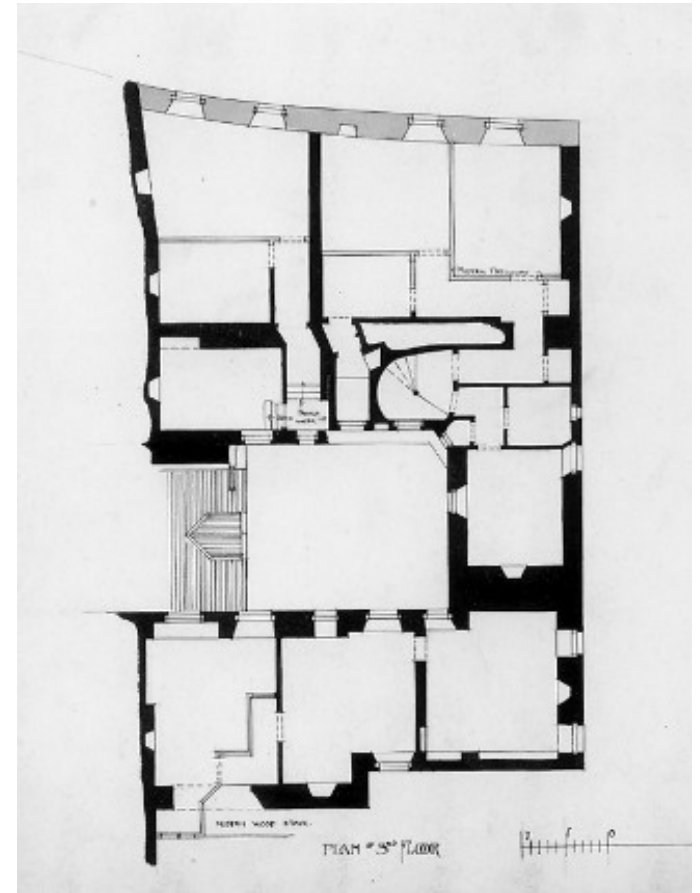
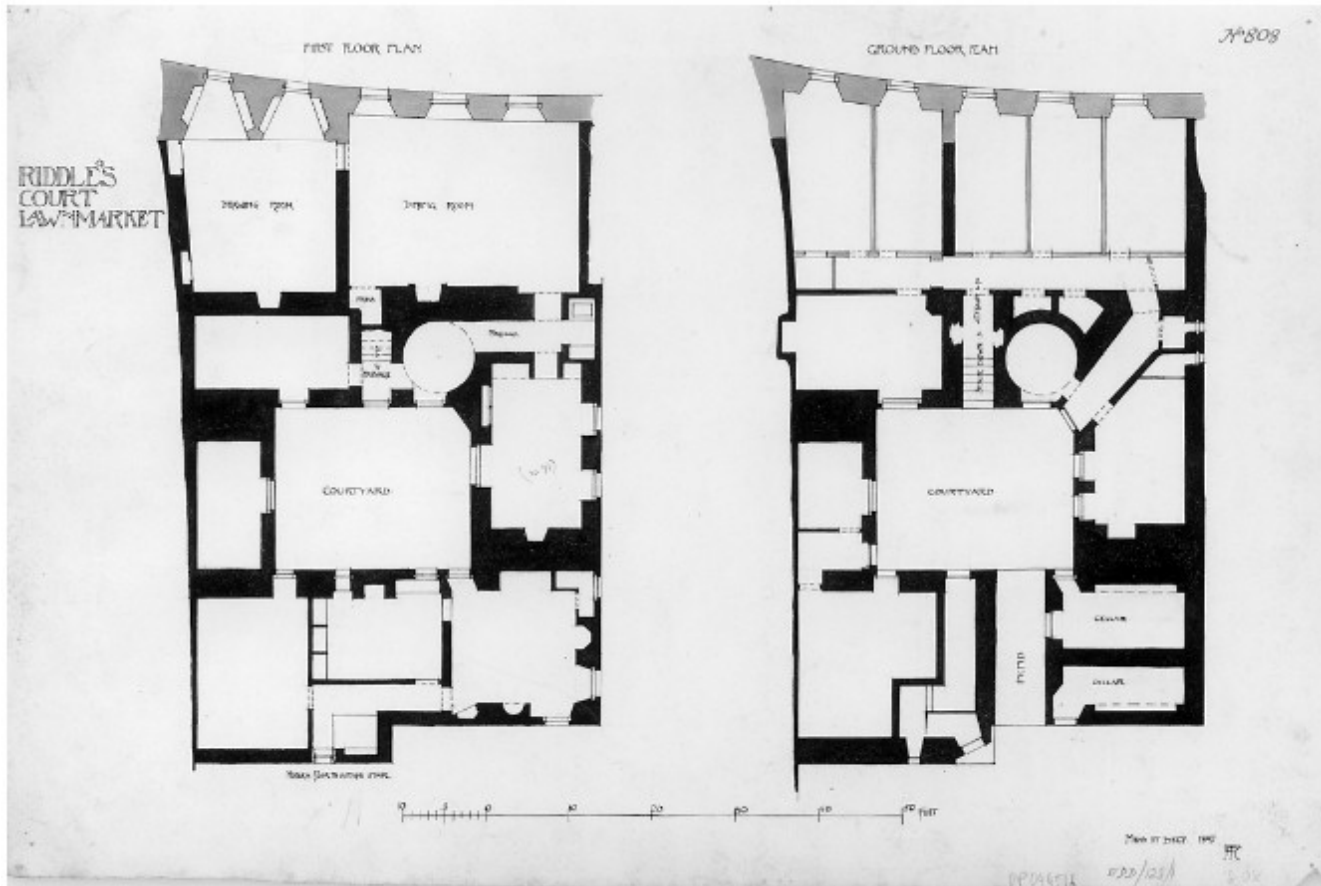


Mitchell Plan (1890)

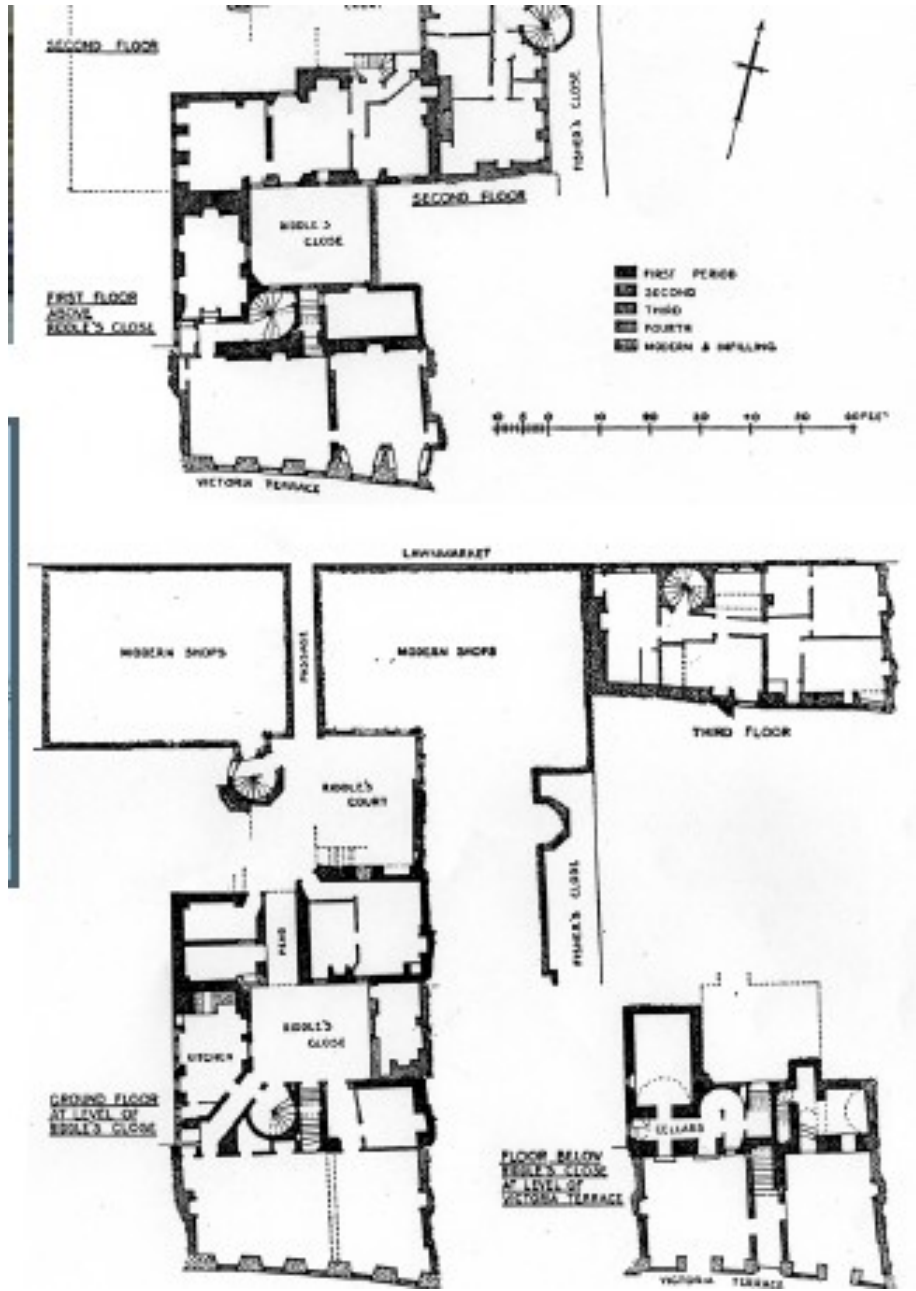
Capper Proposed Plan (1892)



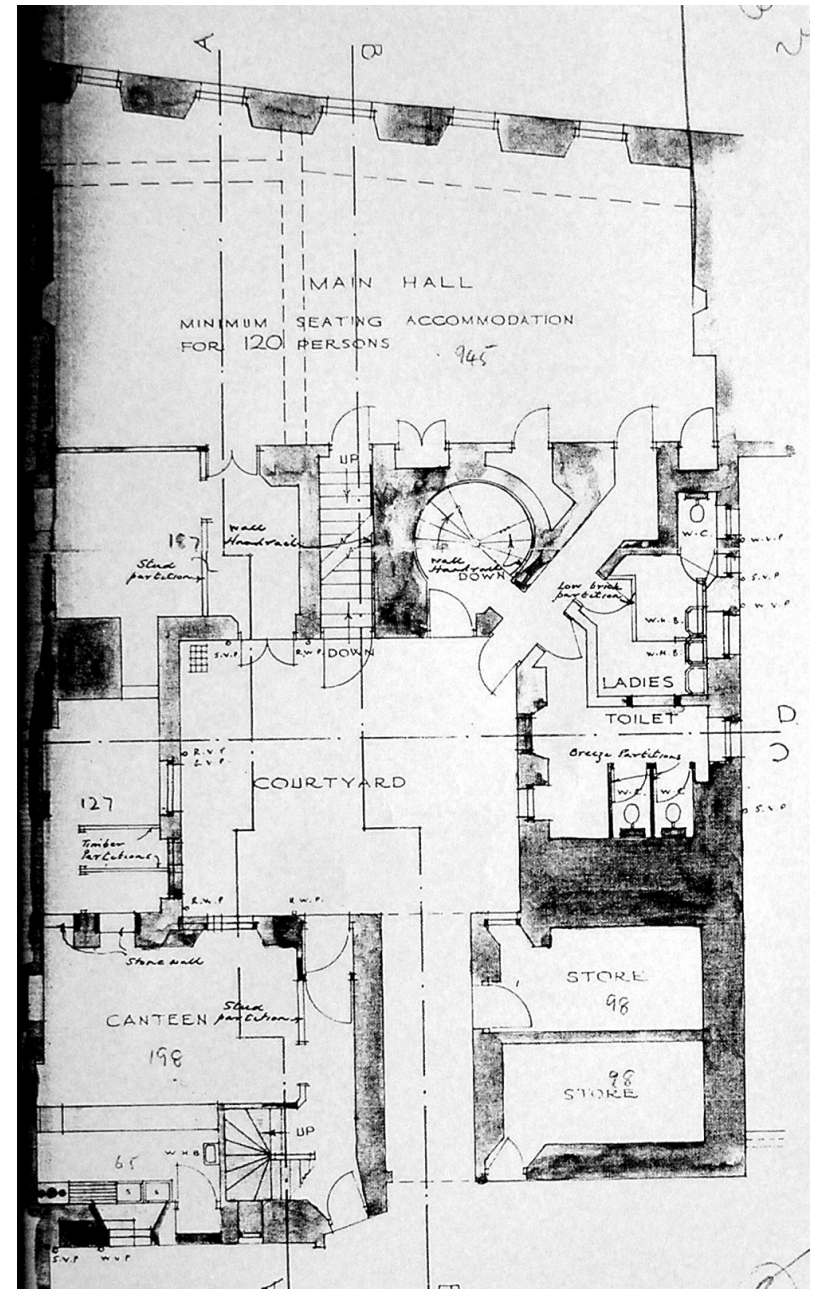
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A. Ramsay Traquair Plan (1897), from the left: First Floor, Ground Floor, Third Floor



(Anon.) Plan (1951), above: Second Floor, below: Ground Floor



Paterson Plan (1961), Ground Floor



C. Engel Plan Overlay (2010)

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