

Site & Landscape Survey

Interpretation, Design & Display

**East Suffolk Road Sports Pavilion Historical Building Survey** 

Report No 3472







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East Suffolk Road Sports Pavilion Historical Building Survey

Report No 3472

# **CONTENTS**

1.	Introduction	3
2.	Working Methods	3
3.	Building Survey Results	4
4.	Discussion	10
5.	Conclusion	11
6.	References	11
Apper	ndices	
1.	Photographic Register	12
Illustr	rations (bound at rear)	
Figs 2 Figs 3: Fig 4 I Fig 5 I Fig 6 I Fig 7 I Fig 8 I Fig 9 I Fig 10 Fig 11 Fig 12 Fig 13 Fig 14 Fig 15 Fig 16 Fig 17 Fig 18 Fig 19 Fig 20	Site Location Map Ground Plan of the Pavilion a-d Elevations Room 1, internal N-facing elevation Room 1, internal E-facing elevation Room 1, internal S-facing elevation Room 1, internal W-facing elevation Room 1, lath and plaster ceiling Room 2, internal N-facing elevation Room 2, internal S-facing elevation Room 3, S-facing elevation Room 3, S-facing elevation Room 4, internal N-facing elevation Room 4, internal N-facing wall (former outside wall of the Pavilion) Room 4, internal south-facing elevation hidden behind storage cages External S-facing elevation External E-facing elevation External W-facing elevation External W-facing elevation External W-facing featureless veranda wall External W-facing featureless veranda wall	

3

Thumbnail Prints Bound at Rear.

#### 1. INTRODUCTION

#### 1.1 General

This report represents the results of an archaeological building survey carried out in August 2016 at Suffolk Road Sports Pavilion, East Suffolk Road, Edinburgh on behalf of LDN Architects acting for Miller Homes. The proposed redevelopment of a former sports field includes the derelict Category C Listed sports Pavilion that forms the focus of this report. Mr John Lawson at the City of Edinburgh Archaeology Service (CECAS) in a planning memorandum (14/03633/LBC) requested that a Level 3 Historic Building Survey (Historic England 2016) be carried out prior to the commencement of conservation repair work and its relocation to a new position within the proposed development site. An archaeological evaluation is also required and the results of this will be reported on under separate cover.

### 1.2 Historical Background

In 1895 the field in which the Pavilion now stands became a nine-hole golf club. In 1906 the club moved to Blackford Hill and the Pavilion was sold to Edinburgh Northern Hockey Club who also leased the land surrounding it and laid out two pitches. The Pavilion was used as changing accommodation by the hockey club and both it and the pitches were also rented to various local rugby clubs. The nearby St Margaret's School was also given access to the Pavilion and playing fields and the Pavilion was used by the school for a variety of purposes for much of the 20th century including a biology classroom. St Margaret's use of the Pavilion lasted even after the site was taken over by Moray House, University of Edinburgh in 1976. In 1982 the Pavilion was altered by RD Cameron & Gibb who enlarged the interior by closing off the south and part of the west veranda. A flat roofed extension was added to the rear of the building and the existing showers and staff changing facilities were upgraded. The Pavilion was used intermittently until 2008. Since then the building has been unused and has been affected by vandalism.

### 1.3 Objectives

The objectives of the archaeological recording works were:

- (i) Carry out a Level 3 historic building survey
- (ii) Produce a historic building survey report on the Pavilion prior to its relocation
- (iii) Carry out an architectural watching brief if required by CECAS.

#### 2. WORKING METHODS

### 2.1 General

CFA Archaeology Ltd followed the Chartered Institute for Archaeologists' Code of Conduct, Standards and Guidance as appropriate. The survey was carried according to recording levels outlined in *Understanding Historic Buildings: A Guide to good recording practice* (2016).

#### 2.2 Desk-based assessment

A desk-based assessment was not required as the *Conservation Statement and Heritage Impact Assessment 2015* prepared by LDN Architects has adequately dealt with the historical background and cartographic record associated with the building. Information pertinent to the survey has been extracted from this document as appropriate.

## 2.3 Photographic recording

The clients laser scanned drawings were considered suitable as a template for the survey and these are produced as Figures 2 and 3a-d.

A Nikon D300 camera was used to take high-resolution digital photographs of the internal and external elevations. All photographs taken were recorded onto photographic record sheets which are appended at the back of this report (Appendix 1). Selective representative images have been included in the report (Figs. 4-21) and all photographs are presented at the end in contact sheet format. Figure 2 shows the orientation at which each photograph was taken.

## 2.4 Building Survey

The clients floor plan and elevations were checked for accuracy and have been annotated as required. Table 1 lists the specific recording requirements set out in the WSI.

Specific area or feature	Drawings	Photographic Survey
Exterior elevations and gables	Architects' elevations with fabric detail annotated as appropriate	General to complement and aid the written descriptions.
Interior elevations and partitions	N/a	General to complement and aid the written descriptions
Floor plan	Architects' ground plan annotated as appropriate.	Internal photographs will be taken when the building is made safe

Table 1 - List of specific recording requirements for the East Suffolk Road Pavilion

A written descriptive record of the Pavilion was made on pro-forma building recording forms to record all significant building fabric and blocking work and any other features of historical and architectural significance.

#### 3. BUILDING SURVEY RESULTS

The results of the building survey are now described. For descriptive purposes the internal and external elevations have been re-aligned to their cardinal compass points.

### 3.1 Ground Floor Layout (Fig 2)

The architectural floor plan is shown on Fig 2. The function of each room is summarised in Table 2. There were four individual rooms on the ground floor.

Room No	Function	Dimensions (m)
1	Central Meeting Room	9.1 x 4.7 (extension 7.1 x 2.5)
2	Girls Shower Room &	3.5 x 3.1
	Toilet	
3	Staff Changing Room	3.4 x 3
	& Toilet	
4	Stores/locker room	8.4 x 3

Table 2 - Room number, function and dimensions

## 3.2 Room 1: General Meeting Room

Room 1 occupied an L-shaped plan and measured 9.1m long x 4.7m wide (aligned east to west). At the east end the extension built in 1982 measured 7.1m long x 2.5m wide (aligned north to south)

*Internal north-facing elevation (Fig 4)* 

The north-facing elevation within the extension contained a plain grey-painted panelled wall with a treble casement window each with 18 panes. The flanking walls were featureless. The north-facing elevation within the main room was lined with panelling to dado height with two boarded-up double casement windows with three panes. The windows flanked a double-leaved panelled doorway.

*Internal east-facing elevation (Fig 5)* 

The east-facing elevation was panelled to dado height and the wall above was whitewashed. It contained doorways into Rooms 2-3. The door frames were grey painted.

*Internal south-facing elevation (Fig 6)* 

The internal south-facing elevation contained a brick-built off-centre blocked fireplace with a brick-built hood that extended up to the combed ceiling.

The walls flanking the fireplace comprised grey-painted panelling to dado height. The walls above the panelling were cream-painted and contained coat hook rails. A bench was present on both sides of the fireplace. The south-facing elevation on the east side of Room 1 was hidden behind a pile of mattresses but the same grey-painted panelled walls were present. At the west end of the elevation was a doorway that led into Room 4.

*Internal west-facing elevation (Fig 7)* 

The internal west-facing elevation was within the later extension (see below) and it had pale-grey painted panelled walls with a centrally placed side hung treble casement windows each with 18 square panes. A bench ran the full length of the wall.

Ceiling (Fig 8) and floor

The ceiling was combed within the main room and within the later extension. Lath and plaster was exposed at the west end (Fig 8) and above the fireplace due to water damage. The floor comprised varnished tongue-and-grooved planks.

### 3.3 Room 2: Girls shower room and toilet

The girls shower room measured  $3.5m \times 3.1m$  and the toilet within measured  $1.5m \log x \ 0.95m$  wide.

North-facing elevation (Fig 9)

The north-facing elevation contained the shower area that was lined with cream tiles with a sunken shower floor. Three small windows with frosted glass were situated above the tiled wall.

East-facing elevation

The east-facing elevation was clad with grey-painted panels and surmounted by cream -painted walls. The wall was partly tiled. The elevation also contained a small boarded toilet window on its right-hand side (facing).

South-facing elevation (Fig 10)

The south-facing elevation contained the cream-painted wall of the toilet that had a grey-painted panelled wall to dado height. The wall outside the toilet was also panelled to dado height with a plain cream-painted wall above.

West-facing elevation

The west-facing elevation contained a green-painted four panelled door that led into Room 1. The rest of the wall was panelled to dado height and partly tiled at the south end. A small bench was also present between the door and the tiled area.

Ceiling and floor

The ceiling was combed and the floors were covered with red ceramic tiles.

## 3.4 Room 3: Staff changing room and toilet

The staff changing room measured 3.4m x 3m and the toilet measured 1.5m x 0.95m.

North-facing elevation (Fig 12)

The north-facing elevation had a plain panelled wall to dado height which continued round the wall and into the toilet cubicle. The wall above the panelling was featureless.

East-facing elevation

The east-facing elevation was panelled to dado height with white-painted artexed walls above. On the right-hand side facing was a green-painted panelled door leading into Room 1.

South-facing elevation (Fig 11)

The south-facing elevation was panelled to dado height with a cream-painted wall above that was partly tiled within a shower cubicle. A large rectangular boarded window was also present just above the dado rail.

West-facing elevation

The west-facing elevation was clad with panelling to dado height and partly tiled within and above the shower cubicle. The toilet cubicle was lit by a small boarded rectangular window.

Ceiling and floor

The ceiling was combed and whitewashed. The floor was varnished tongue-and-grooved planking.

#### 3.5 Room 4: Stores and locker room

Room 4 measured 8.4m long x 3m wide.

North-facing elevation (Fig 13)

A door into Room 1 was situated at the west end of the north-facing elevation. The elevation was timber-framed with large plastered panels. Towards the centre of the elevation was a brick-built chimney. This wall was the original rear north-facing elevation prior to the construction of the later extension. The aforementioned door was a contemporary insertion.

East-facing elevation (Fig 14)

The east-facing elevation was featureless with the exception of a red-painted fire door with a push-bar. The door was set within a plain white-painted wooden door surround.

South-facing elevation (Fig 15)

The south-facing elevation was constructed of concrete mono-blocks and was masked behind a series of cage lockers.

West-facing elevation

The south-facing elevation was constructed of concrete mono-blocks and was featureless.

## Ceiling and floor

The flat ceiling contained two rectangular roof lights covered with opaque plastic sheeting. The rest of the ceiling was lined with plaster board. The floor was tongue-and-grooved planking and was in a very rotten state due to rain water ingress.

## 3.6 External Elevations (Figs 3a-d)

The principal architectural features recorded on each elevation are afforded a unique identifying number and are shown in parenthesis in the flowing text. They are also summarised in Table 3.

Table 3 - List of architectural features and summary description.

Feature No.	Element	Description	
		South-facing elevation (Fig 3a)	
S1	Foundations	Brick-built foundation wall laid in stretcher bond.	
S2	Main build	Timber frame with lath and plaster and pebble-dash rendered panels	
S3	Casement	Side-hung casement windows at each end of the main elevation	
	windows		
S4	Steps	Brick steps leading up to the veranda	
S5	Posts	Timber upright veranda posts	
S6	Wooden	Curved wooden brace – the only one of four surviving	
	brace	-	
S7	Panelled wall	Timber-framed panelled wall at the west end of the veranda	
S8	Plan wall	Plain wall at the east end of the veranda	
S9	Roof	Hipped slate covered roof	
S10	Ridge tiles	Terracotta ridge tiles	
S11	Finial base	The terracotta base of a missing finial	
S12	Rafters	Timber rafters exposed within the eaves.	
		East-Facing elevation (Fig 3b)	
E1	Foundations	Brick-built foundations laid in stretcher bond	
E2	Rendered	Plain pebble-dash rendered wall	
	wall		
E3	Timber frame	Timber frame work below a boarded-up window	
E4	Window	Boarded-up casement window	
E5	Wall	Main wall of the 1982 extension	
E6	Facia board	White-painted facia board on the 1982 extension	
E7	Roof	Hipped slate roof	
E8	Vent	Louver vent below the ridge	
E9	Ridge	Terracotta ridge tiles	
		North-facing elevation (Fig 3c)	
N1	Return wall	Return wall (c.1m wide) of the main block resting on brick	
		foundation wall	
N2	Foundations	Red-painted brick-built foundations laid in stretcher bond	
N3	Main build	Main build of the 1982 extension (mono-blocks with render)	
N4	Facia board	White-painted facia board below the flat roof of the 1982 extension	
N5	Steps	Concrete steps leading to the fire door on the west-facing elevation	
		of the 1982 extension	
N6	Hand rail	Black-painted steel hand rail	
N7	Wall	Timber-framed wall with lath pebble-dash rendered panels	
N8	Window	Boarded up casement window	
N9	Rain water	Broken cast-iron rain pipes at each end of the main block	
	pipe		
N10	Roof	Hipped slate covered roof as S9	
N11	Ridge	Terracotta ridge tiles	

		West-facing elevation (Fig 3d)	
W1	Foundations	Red-painted brick-built foundations laid in stretcher bond	
W2	Main build	Timber frame with lath and plaster and pebble-dash rendered panels	
W3	Window	Boarded-up central window	
W4	Roof	Hipped slate roof	
W5	Pipe vent	Pipe vent protruding from the roof	
W6	Ridge	Terracotta ridge tiles	
W7	Vent	Triangular wooden louver vent	
W8	Fire exit	Red-painted fire door	
W9	Wall	Featureless rendered wall of the 1982 extension	
W10	Facia	Wooden facia board below the flat roof of the 1982 extension	
W11	Steps	Same as N5	

## South-facing elevation (front) Fig 16

The south-facing elevation measured 12.7m long x 3.4m from ground to eaves level. The main features include a brick-built foundation plinth (S1) laid in stretcher-bonded brick. The walls were timber-framed with lath-and-plaster lining (S2). Two casement windows (S3) were present, with one at end of the elevation. The veranda was accessed by brick steps (S4). Two timber upright posts flanked the steps (S5). The post on the east side of the steps had a curved bracing timber (S6) in-situ. Originally there were two braces on either side of the upright posts and one at either end of the veranda. Both posts contained sockets for a missing hand rail. The interior of the veranda contained a timber-framed and panelled wall at its west end (S7). The opposing wall was featureless (S8).

The hipped roof was covered with grey slate (S9) and capped with terra-cotta ridge tiles (S10). A terra-cotta finial base (S11) survived on the west side of the roof. The pitch of the roof was 45 degrees and was supported on A-framed timber rafters (S12) which were carried down to form wide eaves.

## East-facing elevation (side) Fig 17

The east-facing elevation measured 10.5m x 3.4m to eaves level. The elevation had a red-painted brick foundation layer laid in stretcher bond (E1). The cream painted walls were plain pebble-dash render (E2). Timber framing (E3) was exposed below a central boarded-up casement window (E4). The north-side of the wall had a return angle measuring 1m where it met the mono-block built wall (E5) of the later extension. This extension had a plain wooden facia board (E6) below its flat roof. The hipped roof of the main block was covered with slate (E7). A small triangular wooden louver vent (E8) was present near the base of the ridge (E9).

### North-facing elevation (rear) Fig 18

The north-facing elevation measured 12.7m x 3.4m to eaves level and comprised the return wall of the main block (N1) that had a brick-built foundation wall. The rest of the elevation comprised the featureless pebble-dash covered wall of the 1980s extension (N3) which had a timber facia board (N4) below its flat roof. Set back at a distance of 3.3m was a set of concrete steps (N5) with a metal hand rail (N6) leading up to the fire door in Room 4. The elevation flanking the steps was timber-framed (N7) with lath and plaster panelling covered with pebble-dash cement render. A boarded up window (N8) was also present on the same wall. At each end of the

elevation there was a broken cast-iron rain water pipe (N9). The hipped slate roof (N10) had terracotta ridge tiles (N11).

West-facing elevation (side) Fig 19

The west-facing elevation measured 10.5m x 3.4m to eaves level and rested on a redpainted brick foundation wall (W1) laid in stretcher bond. The wall itself was timberframed with panels infilled with laths covered with cream-painted pebble-dash cement render (W2). A central window (W3) had been boarded-up. The hipped roof was covered with slate (W4). A pipe vent (W5) was present at its centre. Below the terracotta ridge (W6) was a triangular shaped louver vent (W7). A terra-cotta base for a finial was present on the end of the ridge.

On the north side of the elevation were the aforementioned concrete steps and hand rail leading to the fire door (W8) in Room 4. The wall of the extension (W9) on the north side of the fire door was featureless and surmounted by a timber facia board (W10).

#### 4. **DISCUSSION**

Plan form

Two main phases are colour coded on Figure 2. The walls shaded in blue represents the original 1895 core block and yellow represents the 1982 east and rear extensions.

As mentioned earlier the Pavilion was substantially altered in 1982 by RD Cameron & Gibb Architects who carried out the following:

- Enlargement of the interior of Room 1 by closing off the south and part of the west veranda's and removing an original shallow bay window to create the existing L-shaped plan of Room 1
- Removal of the original chimney stack associated with the fireplace in Room 1.
- Added the flat roofed extension (Room 4) to the rear of the Pavilion to provide new changing facilities and storage space
- Added new showers to the changing rooms (Rooms 2 and 3)

The evidence of these changes is clearly visible in the buildings footprint and the external fabric of the building. The eastern extension has thinner walls than the main core block. The 1982 rear extension is constructed of mono-blocks resulting in the thickest walls within the building footprint. The original timber framing and infilled panels of the west-facing elevation (W2) contrasts sharply with the plain featureless wall (E2) on the east-facing elevation. Probably due to the cost implications, no attempt was made made to replicate the former timber-frame detail. The interior elevations at each end of the veranda (Figs 20 and 21) also reflect the same disparity in fabric detail.

#### 5. CONCLUSION

The results of the survey has confirmed that the original 19<sup>th</sup> century core block of the Pavilion was timber-framed and that Room 1 was substantially enlarged in 1982 with the addition of an eastern extension. The shower rooms (Rooms 2 and 3) were modernised with the introduction of tiled shower cubicles. A large flat-roofed extension (Room 4) was also added to the rear of the building to further increase the Pavilion's storage capacity.

The Pavilion has been recorded to Level 3 specification and a detailed photographic survey has recorded the building as it currently stands. CFA recommends that no further recording work is required, however, it is recognised that the final decision lies with CECAS.

The project archive, comprising all CFA record sheets, maps and reports, will be deposited with the HES and copies of reports will be lodged with the City of Edinburgh Council Sites and Monument Record.

A summary statement on the archaeological recording of the Pavilion will be submitted for publication in *Discovery and Excavation in Scotland* on completion of the full programme of work required to discharge the condition. The work will also be reported on through *OASIS Scotland*.

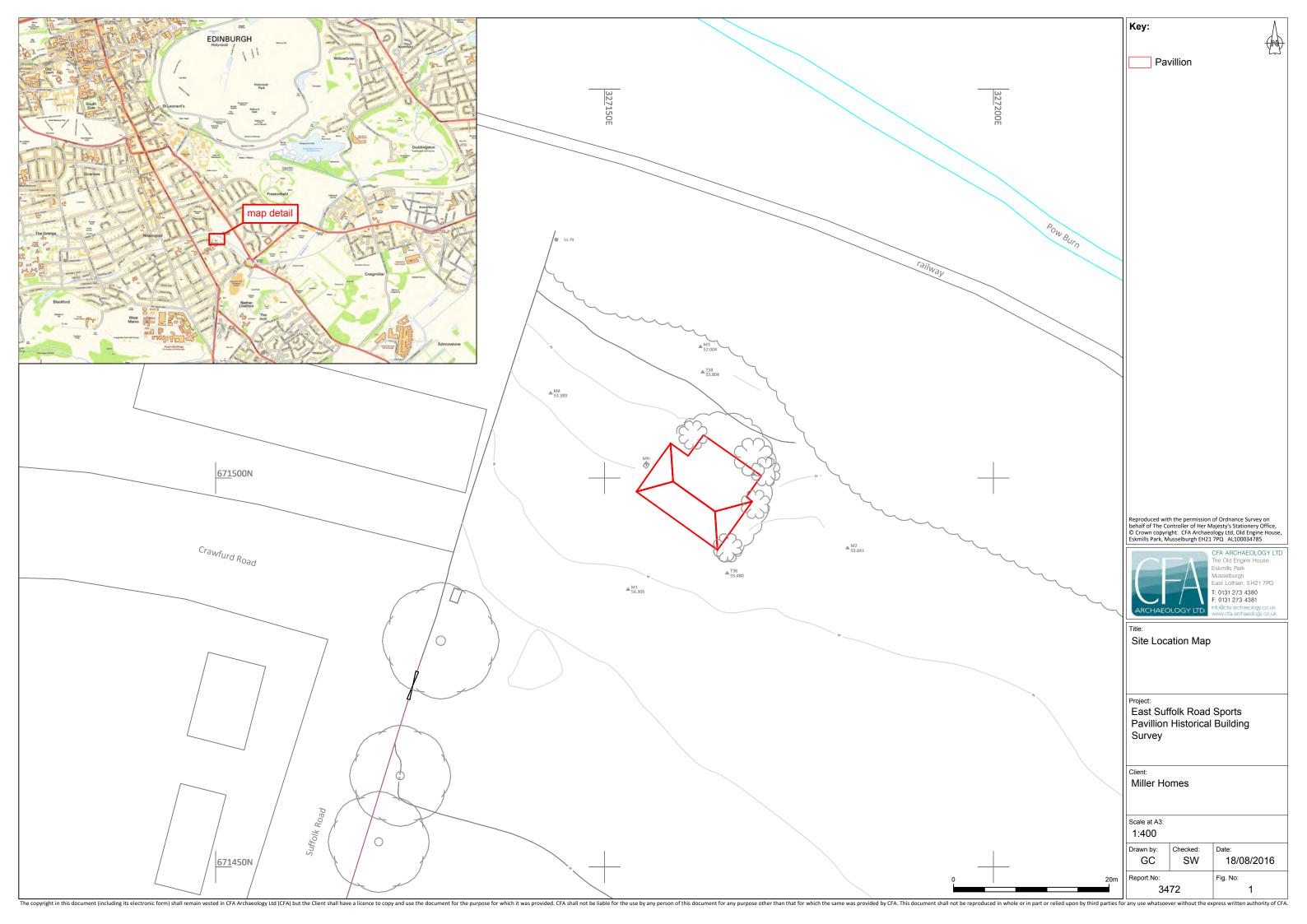
#### 6. REFERENCES

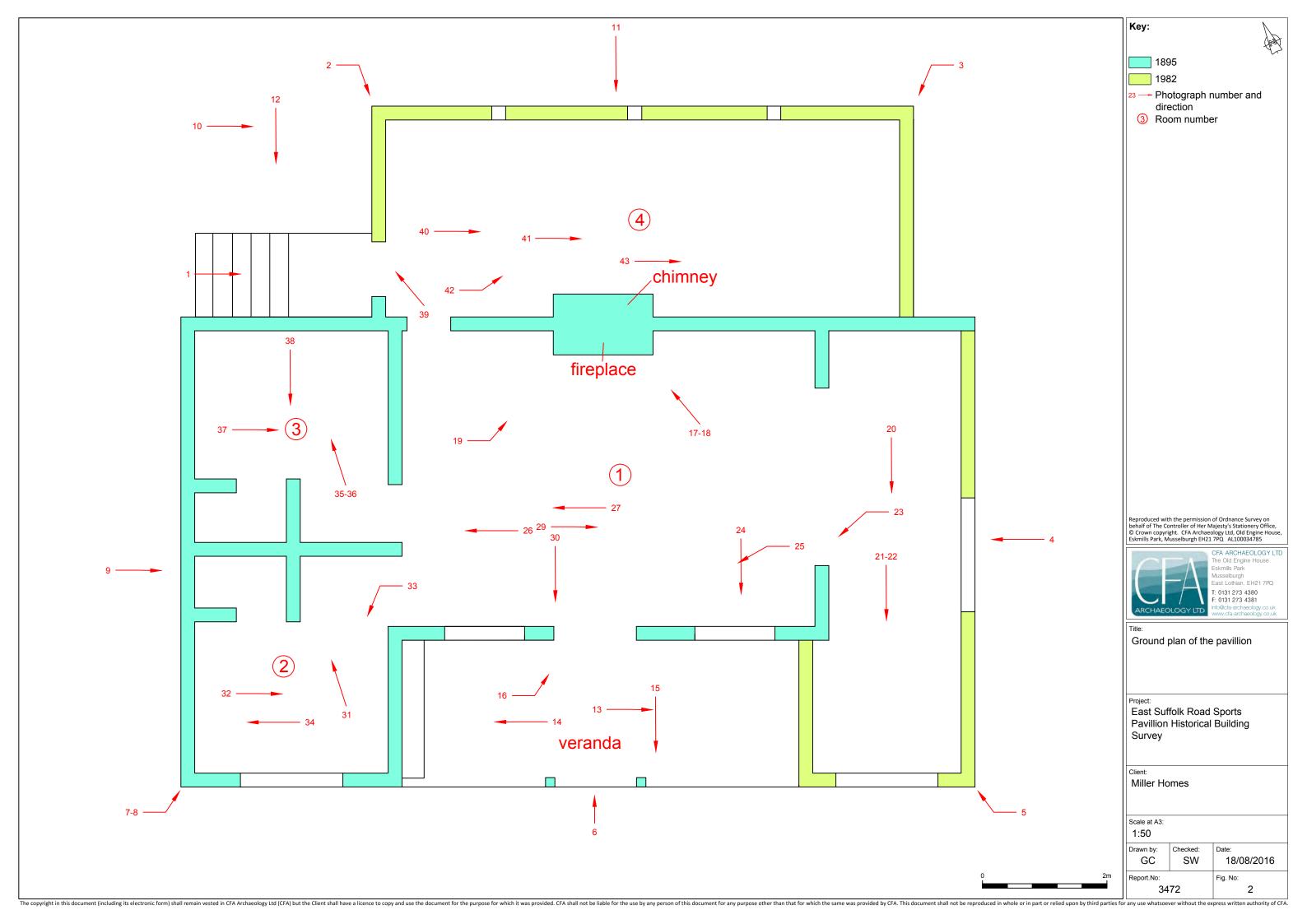
Historic England (2016) 'Understanding Historic Buildings: A guide to good recording practice'.

East Suffolk Road Sports Pavilion 'Conservation Statement and Heritage Impact Assessment'. LDN Architects 2015.

# APPENDIX 1: PHOTOGRAPHIC REGISTER

Photo Number	Description	Facing
001	External W-facing elevation, steps to rear building and hand rain	Е
	External NW corner of the N extension and part of the N-facing elevation of	S
002	the Pavilion	
003	External NE corner of the N extension and the hipped gable of the Pavilion	W
004	External E-facing elevation	W
005	External SW corner of the Pavilion showing front and side views	NE
006	External S-facing (front) elevation	N
007-008	External SE corner	NW
009	External E-facing elevation	W
010	External N-facing elevation (oblique)	SW
011	External N-facing elevation	S
012	External N-facing section of the Pavilion with the N extension and stair rail	S
013	Interior of the veranda with plain wall. combed ceiling and timber floor	Е
014	Interior of the veranda with timber framing and panels	W
015	Porch interior curved timber brace	S
016	Interior double-leaved panelled main door	NE
017	Room 1 interior S-facing elevation with fireplace and panelled wall	NW
018	Room 1 interior brick-built fireplace and hood detail	NW
019	Room 1 interior brick-built fireplace and hood detail	NE
020	Room 1 interior W-facing elevation, boarded window, walls and seating	SE
021-22	Room 1 interior N-facing window within an alcove	S
023	Room 1 interior E-facing elevation coat rail and seating	SW
024	Room 1 interior N-facing elevation, boarded six-paned casement window	N
025	Room 1 interior general view	W
026	Room 1 interior west end, general view	W
027	Room 1 interior combed ceiling detail with exposed lath and plaster	Oblique
028	Room 1 interior, ceiling detail above the brick-built hood	N
029	Room 1 interior, general view of the E end	Е
030	Room 1 interior double leaved doors	SE
031	Room 2 interior, main entrance and toilet doors	N
032	Room 2 interior, plank-lined wall and seating	Е
033	Room 2 interior, shower cubicles on the north-facing elevation	SW
034	Room 2, east-facing elevation with panelled wall	W
035-36	Room 3, S-facing elevation with panelled walls and boarded-up window	N
037	Room 3, E-facing elevation panelled walls and doorway	W
038	Room 3, N-facing elevation with main and toilet doors	S
039	Room 4, fire exit door on the W-facing elevation	NW
040	Room 4 general interior detail	Е
041	Room 4 interior wire cage storage lockers	Е
042	Room 4 interior wire cage storage locker, detail view	SE
043	Room 4 flat dry lined ceiling showing a void with roof joists	oblique





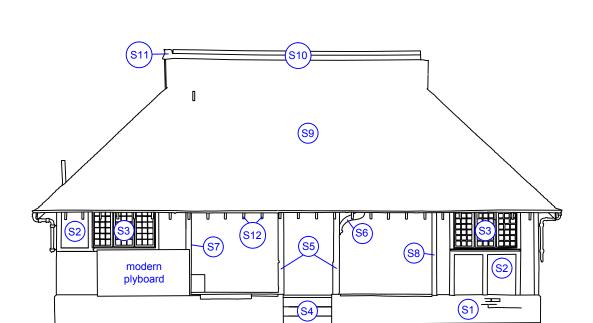


Fig.3a South-facing Elevation

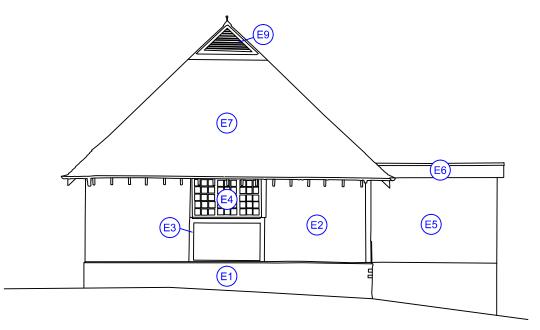


Fig.3b East-facing Elevation

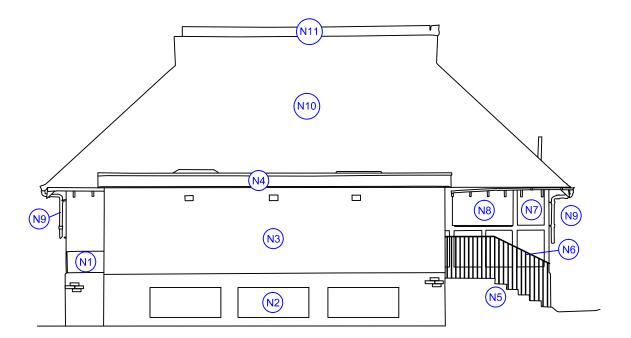


Fig.3c North-facing Elevation

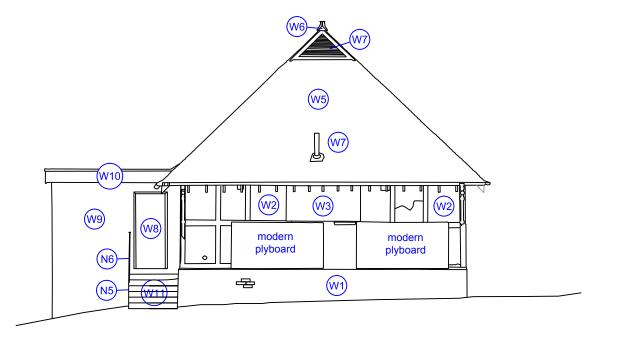


Fig.3d West-facing Elevation

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Elevations

Key:

23) Feature number

Project:

East Suffolk Road Sports Pavillion Historical Building Survey

Client:

Miller Homes

3472

Scale at A3: 1:100

 Drawn by:
 Checked:
 Date:

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 23/08/2016

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Fig. 4 Room 1, internal N-facing elevation



Fig. 5 Room 1, internal E-facing elevation

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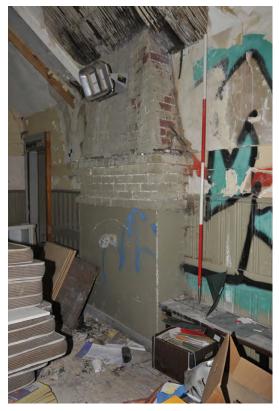


Fig. 6 Room 1, internal S-facing elevation



Fig. 7 Room 1, internal W-facing elevation

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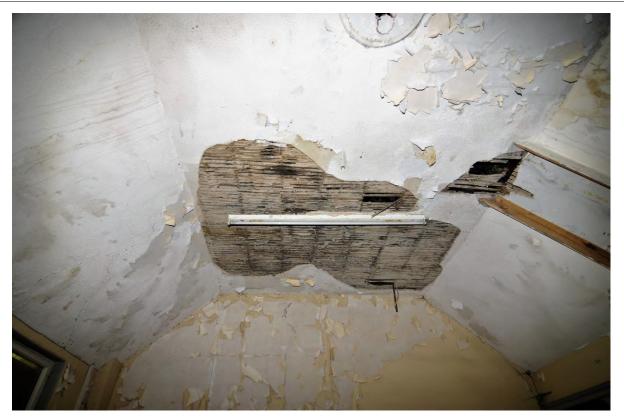


Fig. 8 Room 1, lath and plaster ceiling

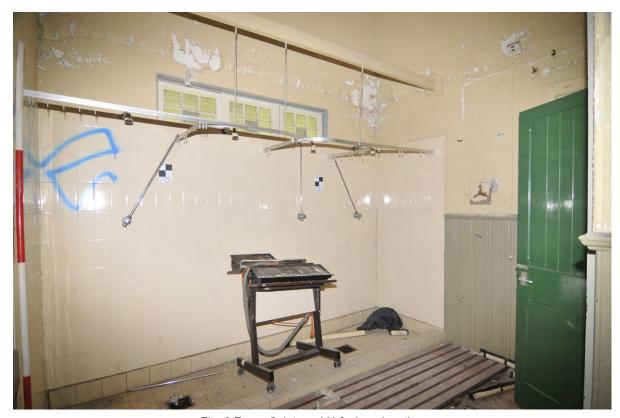


Fig. 9 Room 2, internal N-facing elevation

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Fig. 10 Room 2, internal S-facing elevation main door and toilet

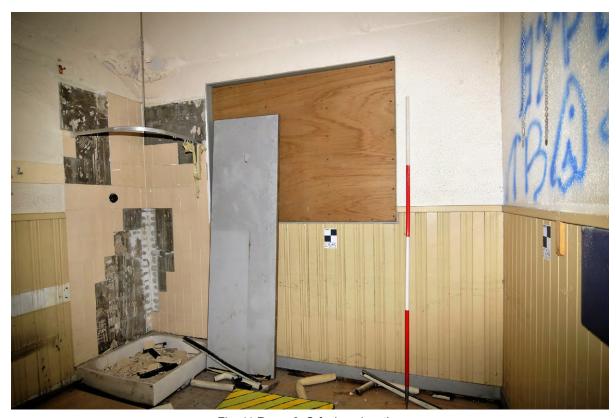


Fig. 11 Room 3, S-facing elevation

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Fig. 12 Room 3, internal N-facing elevation



Fig. 13 Room 4, internal N-facing wall (former outside wall of the pavillion)

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Fig. 14 Room 4, internal E-facing fire door



Fig. 15 Room 4, internal S-facing elevation hidden behind storage cages

East Suffolk Road Sports Pavillion Historical Building Survey



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 14 - 15
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Fig. 16 External S-facing elevation



Fig. 17 External E-facing elevation

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 16 - 17
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Fig. 18 External N-facing elevation



Fig. 19 External W-facing elevation

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 18 - 19



Fig. 20 E-facing timber-framed veranda wall



Fig. 21 W-facing featureless veranda wall

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