

# CFA Archaeology Ltd

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*Historic Building Recording*


*Site & Landscape Survey*

*Geophysical Survey*

## **Bonnington Road Lane, Edinburgh Historic Building Survey**

**Report No 3480**

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standard operating procedures.

**Bonnington Road Lane, Edinburgh  
Historic Building Survey**

**Report No 3480**

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## **1. INTRODUCTION**

### **1.1 General**

This report represents the results of an historical building survey carried out in August 2016 at Bonnington Road Lane, Edinburgh on behalf of Miller Homes. An archaeological planning condition has been put in place by City of Edinburgh Council Archaeology Service (CECAS) for a programme of historic building survey at 5, 15 & 15A Bonnington Road Lane, Edinburgh (centred at NGR: NT 2616 7596). Mr John Lawson (CECAS) requested that a Level 1 & 2 historic building survey be carried out to record a series of existing buildings and a length of upstanding wall. The site is being redeveloped by Miller Homes who propose to construct 214 dwellings and two commercial spaces with associated parking and landscape works. There is a further requirement for an archaeological evaluation following demolition of the existing buildings to ground level, but in advance of the development of the site. This will be covered by an addendum to the WSI and reported on under separate cover.

### **1.2 Historical Background**

The site lies on the southern bank of the Water of Leith forming part of the medieval estate of Bonnington given to Holyrood Abbey on its foundation in 1128 by David I. The site is known to contain the site for St Cuthbert's Well which dates to before 1606. During the 18<sup>th</sup> century the well was a significant and highly popular tourist attraction due its alleged health properties. The well is marked on the 1853 1<sup>st</sup> Edition OS map. The well was subsumed and built over during the later-19<sup>th</sup> century expansion of Haig's Distillery. The distillery was later redeveloped by the Bonnington Flour Mills. During the early 20<sup>th</sup> century the Albion Boiler Works was established on the south side of the development area. In 1933 the boiler works was occupied by the Victoria Brass Foundry. By that year the flour mill had been taken over by Midlothian Oatmeal Mills. By the mid-20<sup>th</sup> century these industries had gone. The site continued in commercial use and contained a large steel-framed garage, offices and workshops.

### **1.3 Objectives**

All the buildings were surveyed to Level 1 specification (Historic England 2016) and Wall 1 was surveyed Level 2.

The aims and objectives of the archaeological work were:

- (i) Carry out Level 1 and 2 standing building survey of the buildings and upstanding wall.
- (ii) Produce an illustrated historic building survey report on the buildings and upstanding wall prior to their demolition.

## **2. WORKING METHODS**

### **2.1 General**

CFA Archaeology Ltd followed the Chartered Institute for Archaeologists' Code of Conduct, Standards and Guidance as appropriate. The survey was carried according to



recording levels outlined in *Understanding Historic Buildings: A Guide to good recording practice* (2016).

## **2.2 Desk-based assessment**

A desk-based assessment was not be required, as a desk-based assessment prepared by CFA previously (Hickman 2015) has adequately dealt with the historical background and cartographic record associated with the proposed development site. Information pertinent to the building survey was extracted from the desk-based assessment as appropriate.

## **2.3 Photographic recording**

A Nikon D300 camera was used to take high-resolution digital photographs of the internal and external elevations. All photographs taken were recorded onto photographic record sheets which are appended at the back of this report (Appendix 1). Selective representative images have been included in the report (Figs. 3-15, 17) and all photographs are presented at the end in contact sheet format. Figure 2 shows the orientation at which each photograph was taken.

## **2.4 Building Survey**

Table 1 lists the specific recording requirements set out in the WSI.

<b>Specific area or feature</b>	<b>REDM Survey</b>	<b>Photographic Survey</b>
Exterior elevations of the upstanding wall (Wall 1)	All significant detail	Comprehensive
All extant building elevations	N/a	Detailed
Floor layout plans	N/a	Detailed

Table 1 – List of specific recording requirements at Bonnington Road Lane.

### *Metric survey*

Metric survey was confined to one upstanding wall (Wall 1) using an industry standard total station in REDM mode. This created a wire-frame outline of the wall heads and other features such as blocked openings and fabric detail. The wire-frame formed a template for insertion into CAD and then rendered with overlying digital photographs.

A written descriptive record of the buildings was made on pro-forma building recording forms to record all significant building fabric and blocking work and any other features of historical and architectural significance.

## **3. BUILDING SURVEY RESULTS**

The results of the building survey are now described. For descriptive purposes the internal and external elevations have been re-aligned to their cardinal compass points.

### 3.1 Site Layout

The site layout plan is shown on Fig 2. The individual buildings and the section of upstanding wall that was surveyed are labelled in alphabetical order (Buildings A-J in Table 2).

Building/Feature	Name/Function	Dimensions (m*)
A	Garage and Workshops	59 x 31
B	Canopy to Building A	11.9 x 11.9
C	Double Garage	6 x 6
D	Business centre/recording studio	18 x 15
E	Business Centre	21 x 18
F	East Coast Coachworks Garage	21 x 13
G	Stores for East Coast Garage	6.5 x 6.5
H	Chemical store for East Coast Garage	4 x 3
Wall 1	Length of upstanding wall	44
Wall 2	Length of upstanding wall	32
Wall 3	Length of upstanding wall	15

Table 2 – Building/feature code, function and dimensions (\* extrapolated from the site layout plan)

### 3.2 Building A: Garage and Workshops (Units 1-2)

Building A was a large rectangular steel-framed brick-built garage with two internal divisions (Unit 1-2) and a pitched roof.

#### *External South-facing elevation (Fig 3)*

The external south-facing elevation measured 30m wide and was a gable wall covered with whitewashed pebble dash render. Occupying the centre of the elevation was a pair of large wooden sliding doors. On the west side of the elevation was a sliding door leading to a mezzanine floor. On the east side of the elevation was a single roller door. Extending off the elevation was a large steel-framed canopy (Building B described below).

#### *External West-facing elevation*

The external west-facing elevation was 59m long and contained a large double-leaved sliding doorway and a large steel roller door. In between these two entrances was a single door to Unit 2. On the south side of the steel roller door the elevation contained a series of vents and a shuttered window opening.

#### *External North-facing elevation*

The external north-facing gable was 30m wide and contained a shuttered doorway on its east side. The rest of the gable was featureless and covered with pebble-dash render.

### *External East-facing elevation*

The external east-facing elevation was 59m long and contained three rectangular vents towards its eaves. The rest of the wall was featureless and covered with pebble-dash render.

### *Building A, - Interior*

The interior of Unit 1 measured 23m long and 29.5m wide. The interior of Unit 2 measured 35m long and 30m wide. A mono-block built partition wall separated the two units.

### *Unit 1 west wall (east-facing elevation)*

Situated at the south end of the east-facing elevation was a modern brick-built two storey office. On the ground floor there was access to a toilet and small storeroom. Just off mid-centre of the wall was a pair of double-leaved doors that opened into a reception and waiting room. At first floor level the walls were clad with timber. Three casement windows looked out into the garage. Access to the first floor was via a separate doorway on the external south-facing elevation. The rest of the east-facing elevation was covered by shelving and partly occupied by a timber-framed mess room.

### *Unit 1 north wall (south-facing elevation, Fig 7)*

The north wall was constructed of mono-block and was whitewashed to a height of about 5m. Two timber built spray booths had been built against the wall.

### *Unit 1 east wall (west-facing elevation)*

The east wall was constructed of plain brick in between the steel frame. A red-painted storage shed occupied two thirds of the wall.

### *Unit 1 south wall (north-facing elevation, Fig 8)*

The south wall comprised the main gable and entrance to the garage and was brick-built within a steel frame. On the left-hand side (facing) was a timber-built storage shed with a mezzanine above with blue-painted walls. On the right-hand side of the large door was the aforementioned garage and waiting room.

### *Unit 2 south wall (north-facing elevation)*

The south wall was constructed of concrete mono-blocks laid between the steel stanchions that supported the roof trusses.

### *Unit 2 east wall (west-facing elevation)*

The east wall was brick-built with a series of buttresses that supported the upright stanchions that carried the roof trusses.

### *Unit 2 north wall (south-facing elevation)*

The north wall was brick-built within a series of steel stanchions that supported the gable roof truss. The lower c.5m of the wall had been whitewashed.

### *Unit 2 west wall (east-facing elevation)*

The east wall contained the two aforementioned large bay doorways between which was a toilet and washroom. An assortment of electrical switch gear occupied the wall on the north side of the toilet block. The rest of the wall was featureless mono block laid between the steel stanchions.

### *Roof structure (Thumbnails 016-018)*

The steel-framed roof was covered with corrugated asbestos sheeting supported on steel purlins. The purlins were supported by steel portal frames with haunch-braces at each end where they met the side walls.

## **3.3 Building B: Canopy to Building A (Fig 3)**

Extending of the south-facing elevation was Building B a large steel-framed canopy measuring 11.9m x 11.9m and supported on two steel I-beams. The roof and fascia was clad with corrugated steel sheeting.

## **3.4 Building C: Double Garage (Fig 9)**

There was no access to the interior of this building. Building C comprised a brick-built double garage (6m x 6m) with a single steel-plated door and a steel roller shutter door on its east-facing elevation. All four external walls were cement harled and featureless. The roof was flat.

## **3.5 Building D: Business centre/recording studio (Fig 10)**

The business centre/recording studio was situated at the west end of a large rectangular block. Its main elevation faced northwards and contained its two main doorways and four windows, one set of which was boarded.

The west (gable) wall contained four boarded-up windows and two small toilet windows. The rear south wall contained three wooden casement windows, one of which was boarded-up and an off-centre door. Three small windows were present on the right-hand side of the door. The building had a flat roof.

All the walls were harled but at the base of the elevations approximately six courses of exposed brick work was visible. This appeared fairly modern and may have been installed recently as part of a damp course.

There was no formal access to the interior that comprised a collection of modern offices and studios and therefore was of no historical interest.

### **3.6 Building E: Business Centre (Fig 11)**

The frontage was on its north-facing elevation. Its main entrance was within one of the two pitched gables that were present. The other gable contained two large rectangular windows and a doorway. Apart from a black-painted door at each end of the elevation the elevation was otherwise featureless. Concrete coping stones were present on each of the M-shaped gables and the roofs were clad with steel sheeting. There was no access to the interior of the building but it comprised a collection of modern offices and therefore was of no historical interest.

All the walls were harled but at the base of the elevations approximately six courses of exposed brick work was visible. This appeared fairly modern and may have been installed recently as part of a damp course.

### **3.7 Building F: East Coast Coachworks Garage (Fig 12)**

The front of Building F (north-facing elevation) had a single pitched gable containing two steel roller doors and a blocked up window. The walls were harled but at the base of the elevations approximately six courses of exposed brick work was visible. The east-facing elevation contained six blocked-up windows and two plain orange-painted doors at the north end. The rear south-facing elevation had a pitched gable with a large sliding door below it. To the right of the sliding door was a smaller double-leafed door. The pebble-dashed walls surrounding the doorways were featureless. Interestingly the wall was deliberately angled off-line with the main wall of Building E in order to respect the position of a railway line shown on the historical maps.

### **3.8 Interior of East Coast Garage**

No access was available during the survey. The initial site visit confirmed that the interior of Building F comprised a body preparation shop and large spray booth. The body shop had cream painted walls lined with storage lockers and was tiled in parts. The spray booth was accessed by large roller doors on the N-facing elevation. The interior of the spray booth had plain grey-painted brick walls. The roof was supported on stamped composite rolled steel I-beam trusses.

### **3.9 Building G: Stores for East Coast Garage**

Building G was a double garage measuring 6.5m x 6.5m with two tilting metal doors on its north-facing elevation. The garage had a flat roof and plain concrete panelled walls rendered with pebble-dash.

### **3.10 Building H: Chemical store for East Coast Garage (Fig 13)**

Building H was situated to the rear of the East Coast Garage and was a chemical store for the garage. This small brick-built structure measured 4m x 3m and had a plain wooden door on its west-facing elevation. The north and east-facing elevations had a standard brick wall at its base which was surmounted by single-skin wall with narrow buttresses. A timber fascia board was present below the flat roof.

### **3.11 Wall 1 (Figs 14-15 & 16a-b)**

The upstanding wall was situated at the west end of Building D and was free standing and comprised both random rubble and several phases of brickwork. Both sides of the wall were recorded.

#### *West-facing elevation (Fig 16a)*

The west-facing elevation is described from north to south (right to left facing). A section of sandstone wall ran from its northern terminus for approximately 30m (A-B). The wall was framed by a series of sandstone quoins and stood to a height of c.3m. Approximately 10m from the start of the wall was the outline of a doorway measuring approximately 2m wide and 2m high. On the right-hand side of the doorway were two blocked windows that had been blocked with red brick. The stone wall was surmounted by brickwork that was at this point was approximately 2m high above the lower stone wall. Towards the centre of the main wall was an outshot timber-built shed that housed electrical switch gear. The rubble wall on the right-hand side of the shed continued as far as a brick-built wall that doglegged eastwards for a distance of about 8m (B-C). The brick wall turned at right-angles again (C-D) where it doglegged again (D-E) before terminating after approximately 2m. Here the brick copings sloped at an angle of c.45 degrees (E-F).

#### *East facing elevation (Fig 16b)*

The east-facing elevation is described from south-north (left to right facing). A short section of brickwork doglegged at right-angles (F-C) before continuing northwards where it met a large rubble-built wall (C). This wall was c.3m wide and projected eastwards and stood to a height of about 4m. Brickwork had been added to the wall head. The north-facing side of wall C was built from two different types of random rubble on either side of a brick-built buttress. The rubble-built wall on the right-hand side of the buttress had a stone string-course that was surmounted by brickwork. The brick wall continued southwards for a distance of about 20m from the corner of wall C, some of it was covered with plaster. The brickwork contained three distinct phases. The lowest was c19th century mould-made brick that was surmounted by 20<sup>th</sup> century machine-made brick. Above this brickwork was another section of brickwork that was pierced at regular intervals with steel tie plates. Towards the end of the wall was a section of rubble wall with quoins situated at its terminus. This section of wall had been heightened by several courses of brickwork.

### **3.12 Wall 2**

Situated at the north-west end of the proposed redevelopment boundary was a length of wall running north to south for a distance of about 30m (Fig 17). The wall stood to a height of about 1.6m and was 0.5m wide with a double skin construction. The wall was faced with snecked sandstone on its east-facing elevation and contained no blocked features. Only part of the west-facing elevation was visible and this had been painted in the past confirming it as the interior of a building. The gable wall of a large modern steel-clad building was keyed into the wall head.

### 3.13 Wall 3

Wall 3 was situated on the northern boundary of the proposed development area and was very overgrown by vegetation. The wall was c.15m long and stood to a height of c. 3m. It comprised a mixture of brick and stonework and contained the remains of a large window opening. Adjacent to this opening was another large opening that had been partially blocked to accommodate a smaller window with a brick relieving arch.

## 4. CONCLUSION

Based largely on the cartographic record and observations made during the fieldwork, the results of the survey suggest the following:

- (i) Buildings A and its canopy (B) were constructed during the second half of the 20<sup>th</sup> century
- (ii) Buildings C is modern (20<sup>th</sup> - 21<sup>st</sup> Century)
- (iii) Building D dates to the second half of the 20<sup>th</sup> Century (1970s)
- (iv) Buildings E and F probably date to the early 20<sup>th</sup> century (post 1908) re-using the shell of an earlier 19<sup>th</sup> century rectangular building.
- (v) Building G is late 20<sup>th</sup> century
- (vi) Building H dates to the first half of the 20<sup>th</sup> Century (c.1940s)

The sandstone elements of Wall 1 were possibly part of the mid-19<sup>th</sup> century Adelphi Fruit & Flower Gardens that according to the 1852 First Edition Ordnance Survey map had an extensive walled garden that ran alongside Bonnington Road south-eastwards to Bonnington Bank. The earlier stonework then appeared to have been augmented with brick to create the gable wall for a large rectangular building that occupied the site to the east. This was shown on maps dating from 1852-1933. This general location was the site of Buildings D-F, however, Building D was recent (thought to be 1970's) and Buildings E-F were thought to be replacement buildings constructed on the same footprint, as the stamped rolled steel roof trusses that were present place the structures in the early 20<sup>th</sup> Century. However, it is possible that Buildings E-F used the earlier shell of the building as part of an extensive reconstruction in the early 20<sup>th</sup> Century.

Wall 2 was probably the remains of a stone-built gable wall associated with an Iron Works that stood just outside the proposed redevelopment boundary.

Wall 3 represents the upstanding remains of a rubble-built side wall of a rectangular building shown on the 1877 Second Edition Ordnance Survey map.

The Bonnington Road Lane survey has been recorded to Level 1-2 specification and a detailed photographic survey has recorded the industrial buildings and two upstanding walls as they currently stand. CFA recommends that no further recording work is required before they are demolished, however, it is recognised that the final decision lies with CECAS.

The project archive, comprising all CFA record sheets, maps and reports, will be deposited with HES and copies of reports will be lodged with the City of Edinburgh Council Sites and Monument Record.

A summary statement on the archaeological recording of the buildings and upstanding walls will be submitted to *Discovery and Excavation in Scotland* on completion of the full programme of work required to discharge the condition. The work will also be reported on through *OASIS Scotland*.

## **5. REFERENCES**

Historic England (2016) 'Understanding Historic Buildings: A guide to good recording practice'.

Hickman, S, 2015 Bonnington Road Lane, Edinburgh, Desk-based Assessment. Report No. 3368. Unpublished.

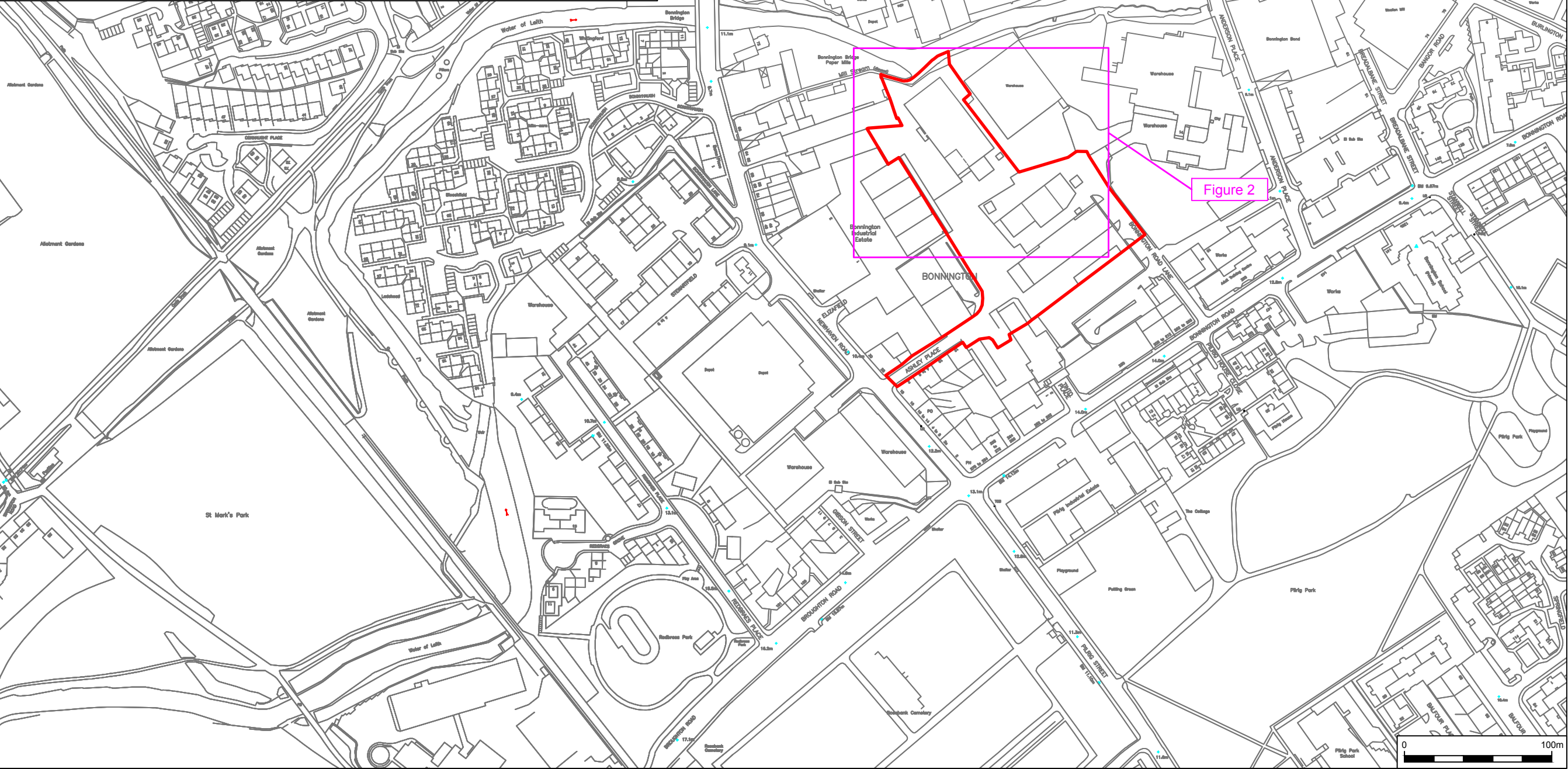
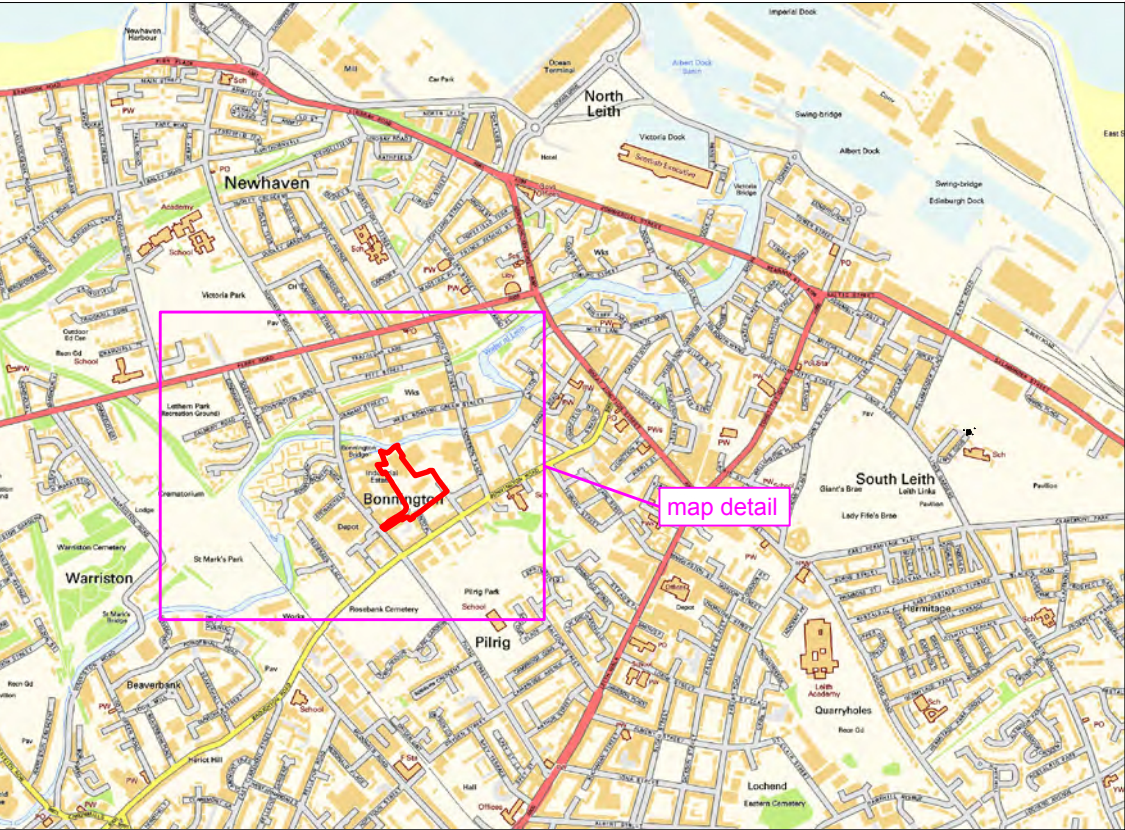


## APPENDIX 1: PHOTOGRAPHIC REGISTER

Photo Number	Description	Facing
001	Building A, Unit 1 interior office and toilets	W
002	Building A, Unit 1 interior N-facing gable and entrance	S
003	Building A, Unit 1 interior W-facing elevation and racking	E
004	Building A, Unit 1 NW corner with wooded mess room	NW
005	Building A, Unit 1 interior NE corner with timber spray booth	NE
006	Building A, Unit 1 interior partition wall between Unit 1 & 2	N
007	Building A, Unit 1 interior view of the modern office	S
008-010	Building A, Unit 1, exterior steel-framed canopy	N
011	Building A, Unit 2, interior partition wall	S
012	Building A, Unit 2, S-facing elevation of the gable wall	N
013	Building A, Unit 2, E-facing elevation and main entrance doors	W
014	Building A, Unit 2, interior storage areas	W
015	Building A, Unit 2, E-facing elevation, steel-frame and brickwork	W
016	Building A, Unit 2, roof beams and cladding	Near vertical
017	Building A, Unit 2, roof truss detail	Near vertical
018	Building A, Unit 2, roof truss detail and buttressing	Near vertical
019-23	Building A, W-facing elevation, general view on S end	SE
024-25	Building A, W-facing elevation, general view on N end	NE
026-027	Feature J Upstanding wall, S terminus with exposed hearting.	N
028-029	Building A, N-facing gable wall	SE
030	Building A, N-facing gable wall	W
031-032	Building A, E-facing elevation	SW
033-039	Building remains on the N side of the proposed redevelopment boundary	N
040-042	Former gable walls on the west side of the proposed redevelopment boundary	W
043	Feature J, W-facing elevation, interior paintwork	E
044	Feature H, upstanding stone and brick-built wall, general view	E
045-061	Feature H, consecutive overlapping shots of the W-facing elevation	W
062	Feature H, return wall brickwork	S
063	Feature H, brickwork and wall stub on the E-facing elevation	W
064	Feature H, rubble-built wall stub forming a rudimentary buttress	N
065-066	Feature H, N-facing elevation of the wall stub showing stone and brickwork	S
067	Feature H, E-facing elevation with three phases of brickwork	NW
068	Feature H, the centre of the E-facing elevation showing tie plates	SW
069	Feature H, N end of the wall, general view	NW
070	Building D, E-facing end wall with boarded-up windows	NE
071	Building D, S-facing elevation showing the fenestration	N
072	Building E, outshot section of wall with a pitched roof	E
073	Building E, M-shaped roof profile and plain harled gable walls	N
074	Building E, general view of the S-facing gable	E
075	Building F, S gable wall and rear entrance doors	N
076	Building G, brick-built chemical store, W-facing elevation	SE
077	Building G, E-facing elevation	W
078	Building G, general view	SW
079	Building F, side entrances and fenestration	SW
080-081	Building C, general view of the E-facing elevation	W
082	Feature H E-facing N terminus showing snecked sandstone construction and brick-built wall head	W
083-084	Building C, garage side and rear wall	N
085	Building D-F, N-facing elevation and fenestration	SE
086	Building D, N-facing elevation and fenestration, W end	S
087	Building D-E, N-facing elevation and fenestration	SW
088	Building D-F, N-facing elevation and fenestration, W end	E

089	Building F, N-facing elevation and fenestration and M-shaped pitched roof	S
090	Building D, N-facing elevation and fenestration, W end	S
091	Building D and E, N-facing elevation-mid section	SW
092	A small electrical substation, general view	NE
093-094	Building C, concrete garage with double doors	S
095	Building C, south and east-facing elevations	N
096	Building F, S-facing gable	NW
097	Feature J, upstanding rubble-built wall	SW
098	Feature J, upstanding rubble wall, N end	NW
099	Feature J, wall fabric detail	W
100	Feature J, upstanding wall with steel-clad gable tied into its wall head	SW
101	Feature J, upstanding rubble wall, N end	NW
102	Building A, steel framed canopy on the S-facing gable	N





Key:

Site boundary



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Title:  
Site location map

Project:  
Bonnington Road Lane Historic  
Building Survey

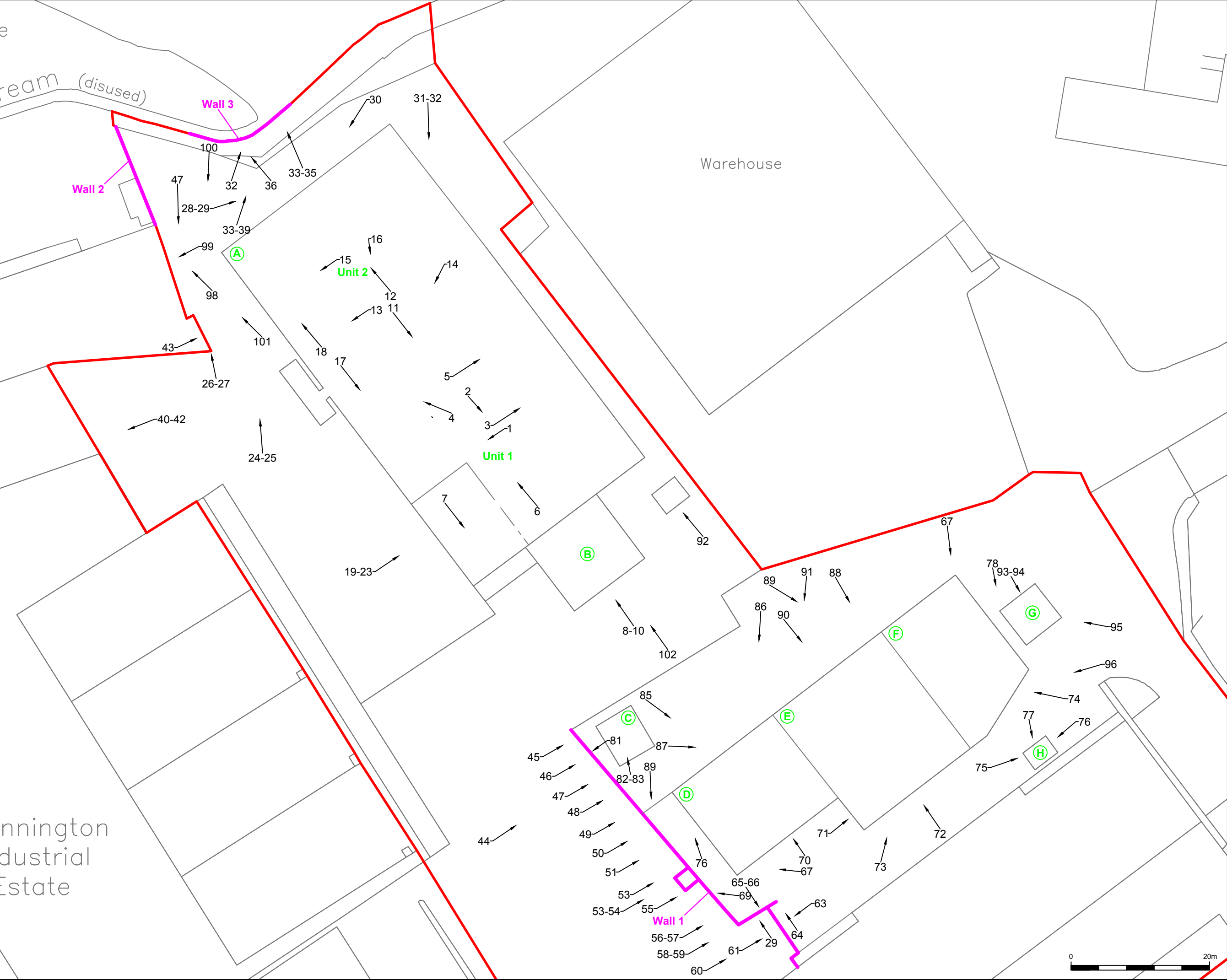
Client:  
Miller Homes

Scale at A3:  
1:3000

Drawn by: GC	Checked: SW	Date: 23/09/2016
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Report.No: 3480	Fig. No: 1
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**Key:**

- Site boundary
- Photo location and direction
- Wall 1, 2 and 3
- Building number

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Title:  
**Building layout and photographic locations**

Project:  
**Bonnington Road Lane Historic Building Survey**

Client:  
**Miller Homes**

Scale at A3:  
**1:500**

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Fig. 3 Building A, external south-facing gable



Fig. 4 Building A, external south-facing elevation

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Fig. 5 Building A, external north-facing gable



Fig. 6 Building A, external east-facing elevation

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Report No: <b>3480</b>	Fig. No: <b>5 - 6</b>
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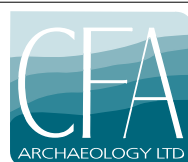


Fig. 7 Building A, Unit 1, interior south-facing elevation



Fig. 8 Building A, interior north-facing elevation

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Fig. 9 Building C, double garage



Fig. 10 Building D, external north-facing elevation

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Fig. 11 Building E, external north-facing elevation



Fig. 12 Building F, external north-facing elevation

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Fig. 13 Building H, external north and west-facing elevations



Fig. 14 Wall I, general view of the west-facing elevations

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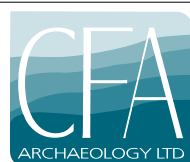
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Fig. 15 Wall I, general view of the east-facing elevations

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Report No: <b>3480</b>	Fig. No: <b>15</b>
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Key:

- Wall 1
- Stone
- Brick
- Iron fittings
- Wood

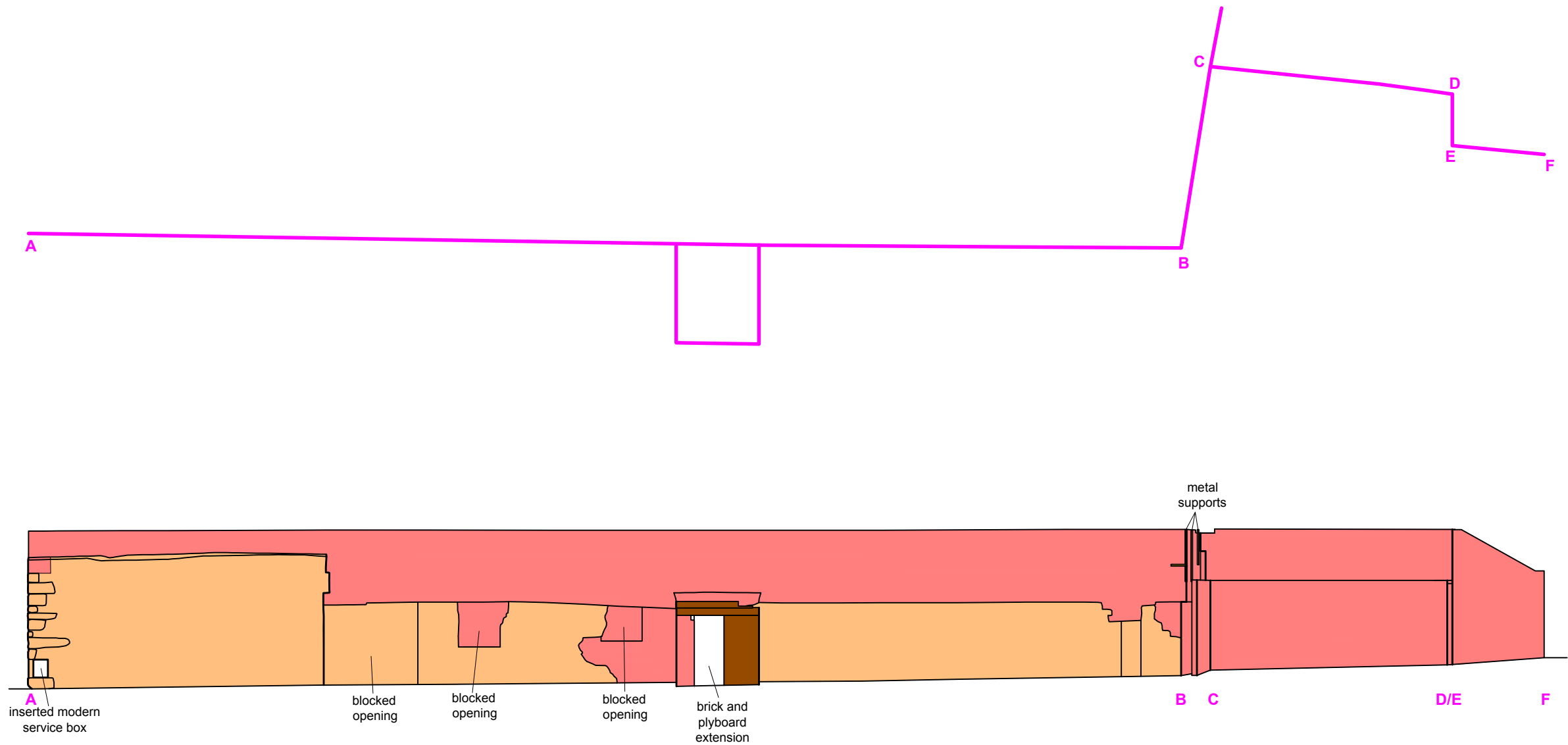


Fig. 16a West-facing elevation of Wall 1

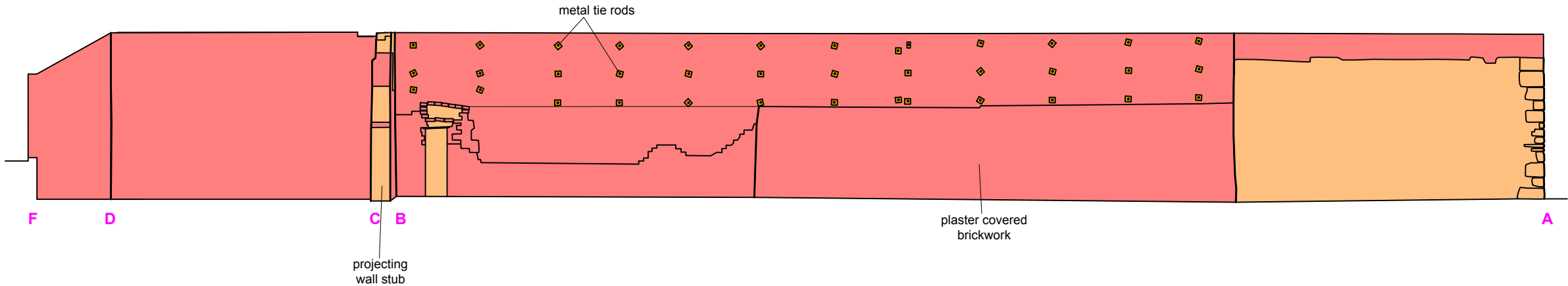


Fig. 16b East-facing elevation of Wall 1

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Project: Bonnington Road Lane Historic Building Survey		
Client: Miller Homes		
Scale at A3: 1:125		
Drawn by: GC	Checked: SW	Date: 23/09/2016
Report.No: 3480		Fig. No: 16a - b







Fig. 17 Wall 2, east-facing elevation



Fig. 18 Wall 3, part of the south-facing elevation

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Report No: <b>3480</b>	Fig. No: <b>17 - 18</b>
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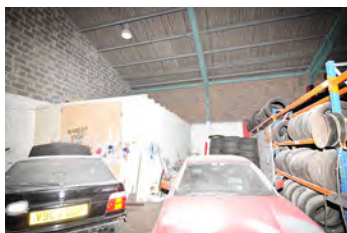
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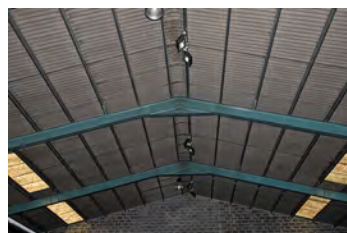
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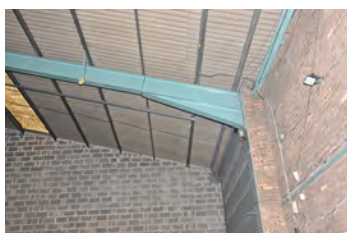
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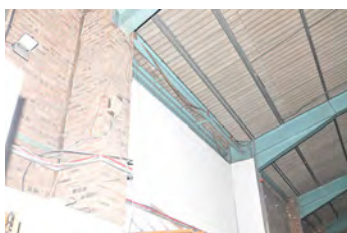
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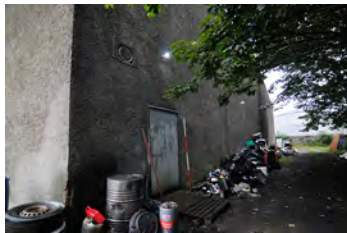
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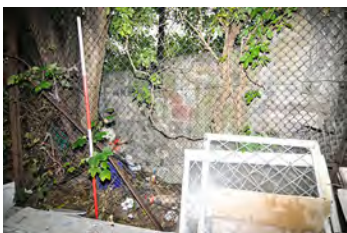
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