

**A PRELIMINARY ARCHAEOLOGICAL ASSESSMENT OF
THE PROPOSED DEVELOPMENT AT
BARWELL COURT FARM, CHESSINGTON**



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PROPOSED REDEVELOPMENT AT BARWELL COURT FARM,
CHESSINGTON**

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1. INTRODUCTION

Planning Background

1.1 Planning permission has been granted by the Royal Borough of Kingston upon Thames for the redevelopment of a site at Barwell Court Farm, Chessington, Surrey. The development involves the conversion of the existing brick stable building into two semi-detached residences, the demolition of the wooden stables and outbuilding, the construction of two garages and the re-landscaping of the stable yard. A condition of the planning approval is that 'No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved by the Local Planning Authority'. Figure 1 shows the location of the development area and figs 3a-c show the plan of the proposed development.

1.2 Surrey County Archaeological Unit has been commissioned by Mr Philip Stone, on behalf of the Trustees of the Sir Francis Barker Will Trust, to undertake a desk based archaeological assessment of the proposed redevelopment.

Study Area

1.3 In order to assess the effects of the proposed scheme, existing archaeological information within a one kilometre radius of the site was examined in detail. The extent of this area is shown in figure 2.

Assessment Methodology

1.4 The assessment of the effects of the scheme on archaeology has been based on a variety of sources including

- the Historic Environment Records held by Surrey County Council (covering administrative Surrey) and English Heritage (covering the Greater London area)
- maps held by the Surrey Record Office,
- examination of secondary historical works and readily available local history materials.

1.5 In addition a walkover survey of the area was undertaken to assess whether any part of the site had already been damaged or disturbed by activities in the modern period and whether any aspects of specific archaeological interest could be identified within the site area.

1.6 The assessment of the impact of the proposed scheme on archaeology is qualitative and considers two issues. The first of these deals with the impact on identified sites within the local study area. The second deals with the potential impact on buried evidence, as yet unidentified.

1.7 The second stage of work, dependent on the result of the preliminary assessment would be Survey and Evaluation of those areas which are to be the subject of significant ground disturbance. There are various options for such work depending on the archaeological potential of the site as defined by the preliminary assessment.

1.8 The third stage of work would be (if required) definition of a Mitigation Strategy based on the results of the second stage.

2. GEOLOGY

2.1 The Geological Survey of Great Britain, sheet 270, covering the Greater London area at scale 1:50,000, was consulted for the geological background to the site. The site at Barwell Court is located on the boundary between the expanse of London Clay (which lies in a swathe to the north side of the chalk North Downs) and a small area of overlying drift deposit of Claygate Beds, a generally sandier sediment. As a result, the site may be in the vicinity of a spring line between the impermeable underlying clay and overlying sandier deposits. The site also lies just north of a small outcrop of High Level Terrace gravels (formerly mapped as 'Plateau Gravels') forming Winey Hill. The Old English meaning of the place name Barwell is 'boar spring' (Gelling 1984, 31) which may refer to a spring line location.

3. HISTORIC ENVIRONMENT RECORDS

3.1 The Surrey and Greater London Historic Environment Records were consulted to see what sites of archaeological interest were known from area of the proposed development. Figure 2 illustrates those records within an approximate 1km radius of the site.

Aerial Photographs

3.2 The aerial photographs for Surrey were examined in detail for the Historic Environment Record in the mid-1970's. An inspection of the 1949 and 1998 photos for the preparation of this assessment did not reveal any additional archaeological information.

Listing of Greater London HER

GL HER No	DESCRIPTION	TQ	1740	6380
021485/00/00	Evaluation by S. Ford for TVAS, April 1993 in Mansfield Road; site code RCK 93. Prehistoric activity was suggested by one ditch containing a small amount of only Iron Age pottery. Roman ditch 021486 appeared to follow the same line; it was interpreted as "tempting to see" the latter replacing the former, although the pottery suggests Roman occupation only in the later 2nd-4th centuries. Periods recorded under same site code: Mesolithic/Neolithic (021490); Iron Age (021485); Roman (021486-9).	TQ	1740	6380
021486/00/00	Evaluation by S. Ford for TVAS, April 1993 in Mansfield Road; site code RCK 93. A ditch dated to 2 nd -4 th century from pottery found within it apparently followed a similar alignment to that dated to the Iron Age (021485). It was interpreted as being "tempting to see" the former replacing the latter, although there is an apparent gap in the dates. Its large size was suggested to indicate a boundary between, e.g., two farms, rather than a field boundary or similar. Periods recorded under same site code: Mesolithic/Neolithic (021490); Iron Age (023485); Roman (021486-9).	TQ	1740	6380
021487/00/00	Evaluation by S. Ford for TVAS, April 1993; site code RCK 93. Various linear features, ditches or gullies were found, datable to 2 nd -4 th century. It was suggested that these, together with pits and postholes 021488-9, may represent a small farming settlement or, perhaps more likely, some sort of peripheral activity remote from the main farmstead. Periods recorded under same site code: Mesolithic/Neolithic (021490); Iron Age (021485); Roman (021487-9).	TQ	1740	6380

021488/00/00	Evaluation by S. Ford for TVAS, April 1993; site code RCK 93. Various pits were datable to 2 nd -4 th century. These, together with linear features and postholes 021488-9, may represent a small farming settlement or, perhaps more likely, a peripheral activity remote from the main settlement. Periods recorded under same site code: Mesolithic/Neolithic (021490); Iron Age (021485); Roman (021486-9).	TQ	1740	6380
021489/00/00	Evaluation by S. Ford for TVAS, April 1993; site code RCK 93. Various postholes were found; where dated proved to be 2 nd -4 th century. Together with linear features and pits 021467-8 may represent a small farming settlement or, perhaps more likely, a peripheral activity remote from the main settlement. Periods recorded under same site code: Mesolithic/Neolithic (021485); Iron Age (021486); Roman (021487-9).	TQ	1740	6380
021490/00/00	Evaluation by S. Ford for TVAS, April 1993; site code RCK 93. A small number of residual struck flints were recovered. One was probably from the end of a blade, and is likely to be Mesolithic or possibly earlier Neolithic. Periods recorded under same site code: Mesolithic/Neolithic (this entry); Iron Age (021486); Roman (021487-9).	TQ	1740	6380
022149/00/00	Work by SAS and KuTAS, 1974 by E Webb at Barton Court Farm. A small Roman site with pits and ditches, but no structures, was examined. Periods recorded on site: Bronze Age (031836), Roman (022149)	TQ	1690	6320
030131/00/00	Excavation undertaken in 1974 by SAS and KuTAS at Barwell Court Farm identified a small Roman site with pits, ditches and artefacts, but no structures. Hypothesised by the Ordnance Survey as the possible site of a villa.	TQ	1720	6330
031749/00/00	Recovery of a medieval quernstone at Barwell Court Farm in 1974 during the construction of the Esher Bypass (A3).	TQ	1690	6320
031836/00/00	Recovery of Bronze Age pottery at Barwell Court Farm during excavation work by SAS and KuTAS in 1974 (also see 022149 - Roman)	TQ	1690	6320
031841/00/00	The Grapsome – a medieval ditched enclosure excavated in 1974 by SAS and KuTAS. No sign of habitation inside. Finds largely modern or undateable. A flat area to the northwest produced three late medieval vessels.	TQ	1709	6360
031886/00/00	Cropmark interpreted as a possible Roman Road running north-south from TQ 17500 63200 to TQ 17600 61300	TQ	1755	6225 centred
031957/00/00	School on Leatherhead Road – a detailed recording of this building was undertaken prior to its demolition in 1983.	TQ	1781	6357
032021/00/00	A Neolithic adze found in 1989 whilst digging allotments at a depth of 200mm, consists of amber/brown flint. Its dimensions are 137mm long, 39mm wide and 22mm thick. Its asymmetrical profile suggests its use as an adze rather than as an axe. Edge polished adzes such as this are abundant in Surrey, although unusual on the London Clay.	TQ	1750	6305

MLO88185 A late 18th century milestone, square Portland stone with triangular top, on the west side of the Leatherhead Road beside the carpark at Chessington Zoo. Listed building TQ 17543 62563

Listing of Surrey HER

SHER No DESCRIPTION

276	Partly polished Neolithic flint axe found in 1962 near Elm Farm, Claygate.	TQ 169	637
1922	Icehouse of Ruxley Lodge, probably served Ruxley Lodge. On 1866 OS map. Condition unknown	TQ 163	632
2298	Neolithic flint scraper and worked flint Neolithic scrapper found on surface in plough clay along a line of hedgerow between fields. A calcified worked flint was also found. Could have come in with filling for culvert in November 1968	TQ 156	625
3566	19 th century Corporation of London tax post Type 2e east side of New Road/Covets Lane by bridge over ditch. The London Coal and Wine Duties (Continuance) Act of 1861 redefined the boundary, corresponding to that of the Metropolitan Police District, at which duty was payable on such goods entering London. Posts were erected on transport routes; most were newly cast, others were earlier markers relocated.	TQ 158	623
4509	Possible medieval moated site. The Grapsome (Greater London). Excavated by KuTAS and SAS in 1974 (see GLHER 031841)	TQ 170	636
4752	An archaeological evaluation at Ruxley Towers under taken by SCAU in 1995 did not reveal anything of archaeological interest.	TQ 174	622
5968	An archaeological watching brief in 2003 on the installation of Epsom to Chessington Link Main on behalf of Thames Water. Nothing of archaeological interest was revealed.	TQ 174	622
6002	Discovery of four Gallo-Belgic stators (approximately 125-100 BC) "near Chessington", but on the Surrey side of the county border. The exact location where these finds were made is not known.	TQ 180	620
7027	The Tower at Ruxley Towers c1840 Grade II listed. Built for Lord Foley.	TQ 16440	63156
7052	17 th century barn, Grade 2 listed building. Timber framed with breeze block infill to ends, weather boarded to south. Plain tiled roof extending down in catslide to south. Rectangular. 4 bays with central opposing carriage doors. 20th century asbestos roofed barn at right angles to the north. Interior: Queen-strut construction with bracing.	TQ 16502	63987
7358	Pair of 18 th century timber-framed cottages: Keepers Cottage and Walnut Cottage (WSW of Barwell Court Farm)	TQ 161	629
13576	Ruxley Towers, Tower Gardens, Claygate – 19 th century gardens and parklands which were famous and referred to in various gardening journals in 1887, 1892 and 1899, have been totally lost to 20 th century residential development	TQ 164	631

4. ARCHAEOLOGICAL BACKGROUND

4.1 Various written sources were checked for information regarding the history of the general area and the site itself. A starting point for this investigation was an examination of the geology in order to elucidate any links to archaeological or historical features or remains.

4.2 Geological conditions are known to influence the likelihood of ancient settlement within a landscape (Macphail & Scaif, 1987, 31-52). This physiographic zone, the heavy London Clay, is regarded as agriculturally marginal land, and runs in an east-west belt to the north of the North Downs (Needham 1987, 130). The suitability of this geological type, in terms of subsistence, agricultural productivity and the presence of natural resources, is thought to have been low, and hence the archaeological potential is generally classed as moderate or uncertain. This is supported by a comparison between the densities of archaeological sites in a particular zone; for example areas where the River Mole passes through London Clay have yet to produce the extensive and intensive settlement evidence associated with other stretches of the Mole river valley (Shaikhley 2002, 5). It is important to add, however, that Barwell Court Farm lies at the edge of the London Clay, and as Poulton (2004, 58) has noted, thus occupies 'a key position with ready access to the resources and markets of more than one (physiographic) zone'. This is reinforced by its position at a spring line, and this must largely explain the relative abundance of sites recorded on the HERs in the near vicinity.

4.3 The area of the London Clay it is generally considered to have been poorly settled in the prehistoric period (Needham 1987, 130). The Upper Palaeolithic and Mesolithic periods are under-represented on the London Clay, perhaps due to the difficulties of research in a largely built-up area, but the generally low-lying inhospitable soil was, in all probability, a genuine deterrent to settlement. There is, however, considerable evidence of occupation on the higher terrace deposits within this clay lowland, notably in Richmond Park and on Wimbledon Common (Ellaby 1987, 57). Within the search area a Mesolithic struck flint was recovered during archaeological fieldwork in 1993 at RAF Chessington (GLHER 021490) (fig 2).

4.4 There is some evidence for Neolithic, Bronze Age and Iron Age activity within the search area, including the recovery of a Neolithic adze at Chessington (GLHER 032021) and a Neolithic flint axe (SHER 276) at Claygate. The fact that the London Clay is generally considered to have been poorly settled in the prehistoric period is particularly true of the Late Bronze Age/Early Iron Age for which there is an almost complete lack of evidence for occupation on the London Clay areas of Surrey (Poulton 2004, 58). Finds from areas of London Clay have been seen as nothing more than casual losses during forestry operations (Needham 1987, 130). Sherds of Bronze Age pottery were recovered during archaeological fieldwork at Barwell Court Farm, Chessington in 1974 (GLHER 031836), and the evaluation and excavation at RAF Chessington, Mansfield Road, undertaken in 1993, produced finds of Neolithic and Bronze Age date (GLHER 021485 and 021490) and a gully of Iron Age date (GLHER 021486).

4.5 Few town or villa sites are located within the London Clay area in the Roman period (Bird 1987, 31-52). Bird (2000, 156) comments that 'the survey by Sheldon and Schaaf (1978, 60) demonstrated that there was little evidence for settlement on the London Clay and that geological boundaries were a preferred site location, probably for springs and mixed soils. Work since then has confirmed this picture. Apparent

exceptions serve only to reinforce the conclusion that the Clay was avoided for settlement and agriculture.’ This suggestion is confirmed by the presence of a couple of Roman sites within the search area, including the identification of a small Roman site with pits and ditches, but no structures, at Barwell Court Farm in 1974 (GLHER 022149) prior to the construction of the A3 Bypass. This has been hypothesised as the site of a possible villa (GLHER 030131). A Roman site was also identified during archaeological fieldwork at RAF Chessington in 1993 and 1995 (GLHER 021487-9), c900m northeast of the development site. The site revealed ditches, pits, postholes and gullies and produced finds of 2nd-4th century date, suggesting occupation or other activity belonging to the later 2nd-4th centuries AD. Considered together the Iron Age evidence from the site (GLHER 0214786) and the Roman evidence suggest that there was continuity of occupation from the prehistoric period. The Roman finds suggested a fairly long-lived period of occupation that was not necessarily continuous and of relatively low intensity. The condition of the material was poor, being typical of material recovered from fields or areas peripheral to a settlement focus, suggesting that the source of activity is beyond the area investigated (Torrance and Durden 2003, 238).

4.6 It is generally felt that from the Saxon period onwards more comprehensive utilization of the London Clay takes place, although this could still be considered small scale in comparison with the frequency of sites in the rest of the county (Shaikhley 2002, 6). A medieval moated enclosure known as ‘The Grapsome’ (GLHER 031841/SHER 4509) lies 540m north of the development site and was excavated in 1974 prior to the construction of the A3 Bypass. The sub-rectangular island measuring 11m by 14m was found to be built up by 0.3m by material excavated from the ditches on the north, south and west sides. Excavation failed to reveal any sign of habitation or industry within the enclosure, and all finds were either of recent date or undateable. A very flat area immediately to the northwest of the moated site, and adjacent to the remnants of a pond shown on 18th century maps, was also investigated. It appears to be made up of material from pond clearing or cutting. Pottery and brick fragments found were mostly of recent origin, but sherds from three different late medieval vessels and some medieval roofing tile were also found (Dean 1974, 282-3).

4.7 The development site at Barwell Court Farm lies in the hamlet of Hook, formerly a hamlet in Kingston, and lies midway between Chessington to the east and Claygate to the west. Barwell Court is recorded as *Berewell(e)* in 1242, *Bereswell* in 1252, *Burrel Court* in 1765 and *Barwell Court* in 1789. The first element of the placename has been suggested as bere, ‘barley’, hence meaning ‘spring in or near the barley (field)’ (EPNS 1934, 58). An alternative suggestion is provided by Gelling (1984, 31) who suggests that ‘Barwell’ means ‘boar spring’ derived from the word ‘bar’ meaning ‘boar,’ and ‘well’ the Old English word for spring or stream. Hook is recorded as *Hoke* in 1227, *La Hoke* in 1235, *Houke* in 1312 and *Hook* in 1680 (EPNS 1934, 58). Chessington is recorded as *Cisendone* in 1086, *Chissendon(am)* in 1129-35, *Chessendone* in 1255 and *Chessington* in 1605 (EPNS 1934, 72). The name is thought to derive from ‘Cissa’s Hill’ which is from the personal name *Cissa* and *dun* the Old English word for ‘hill’.

4.8 The name of Berwell first occurs in 1242 when the Manor of Berwell or Barwell Court belonged to the prior of Merton, who was granted a charter of free warren there by Henry III. In Cardinal Beaufort’s time it was valued at 8s. In 1336 Berwell was call a ‘vill’ (VCH 3, 501). In 1537-8, when brought to the Crown by the Dissolution of the monasteries, it was called a ‘manor’ and was kept for some time in the hands of the crown. Queen Elizabeth I gave it to Thomas Vincent in exchange for lands in Northamptonshire. In 1595 he sold it to Edward Carlton from whom it descended to his cousin Dudley Viscount Dorchester and to his nephew Sir Dudley Carlton who, in 1636, obtained from the corporation of Kingston a right of pasture for himself and the tenants of this estate, on the commons of Surbiton and Claygate. Sir Dudley held the manor during

the civil wars, but sold it in 1651 to Richard Glid senior, Richard Glid junior and William Wright. In 1663 it was sold to James Davidson who, in 1695, passed it to his son-in-law who sold it in 1698 to William Lethieullier, from whom it descended to William Tash who married his daughter. In 1771 it was purchased by William Terry who sold it in 1774 to Joseph Sales. It was sold by him in 1788 to John Richardson and in the following year to Marcus Dixon (Lysons 1792, 212-256). His daughters were in possession of the estate in 1804. In 1818 it was sold to John Sykes of Kensington who sold it to Baron Foley who owned it in 1911 (VCH 3, 501)

4.9 The sales catalogue for Barwell Court Farm dated June 29th 1789 (when it was sold to Marcus Dixon) describes it as “Manor of Barwell Court in the county of Surrey comprising Barwell Court House and all suitable buildings adapted to the farm. Surrounded by rich inclosures of arable, meadow and pasture land containing 260 acres. Tithe free, except about eighteen acres, and in the occupation of John Richardson esq. removing further down into the country” (G85/2/1/1 1764-1828).

4.10 The current main house at Barwell Court is of 19th century construction and has presumably been built on the site of the earlier house referred to in the sales catalogue of 1789.

5. CARTOGRAPHIC EVIDENCE

5.1 Historic maps can be a very useful source of information when looking for archaeological features as it is possible to trace the development of a landscape over several hundreds of years or more, and features recorded on early maps, which often disappear on later ones, can be identified. The maps show a very strong continuity in the landscape from the early 17th century onwards. It is generally the case that 18th century and earlier maps show a settlement distribution close to the medieval pattern, and it seems highly probable that this is the case here.

5.2 Rocque’s map of 1768 (figure 4) was the earliest examined. It is a detailed map showing features such as fields, small buildings and woods. The location of Barwell Court is shown on the map and is named *Burrall Court*. A number of buildings are marked at Barwell Court, but it is not possible to distinguish which, if any, relate to the site of the stable block and yard that are the subject of this assessment. The site is shown on the map as being accessed via three separate roads: one running west towards Claygate, one running north to Hook which bisects the complex of buildings, and one to the south-east to Chessington Common. Only the western route to Claygate remains today, the other two disappeared and do not appear on the later OS maps. *Burrall Court* is surrounded by arable fields and lies relatively close to Rucksly (Ruxley). It also lies at the foot of an elongated high area of land (Winey Hill).

5.3 There is no Tithe information for this site.

5.4 The Ordnance Survey 25 Inch map series ranging in date from 1880 to 1932 covering the search area was examined. The First Edition Ordnance Survey map of 1880 (see figure 5) shows Barwell Court with the main house with ancillary buildings and enclosures on the west side of the complex. In 1880 the site of the present brick stable building is only marked as a fenced enclosure with no building on it (the fence is indicated by the elongated ‘S’ symbol). An L-shaped building is located on the site of the present stable yard, running along the northwest and northeast corner of the yard. The remainder of the site at either end appears to be an open yard. It is likely that the fenced enclosures had been demarcated in preparation for the construction of the stable buildings which had been built by 1886, as seen on the 1886 edition of the map (figure

6). The map shows a new building on the site of the present brick stable building and a new L-shaped building on the site of the present wooden stables, running along the northeast and southwest sides of the stable yard. The 1913 (fig 7) and the 1932 editions of the map show the same layout of buildings on the development site with no changes since 1886. The only thing noted on the 1913 edition is that a benchmark has been added to the eastern corner of the L-shaped building which confirms that it is of permanent construction. The present layout of buildings is unchanged apart from the fact that the L-shaped stable building has been replaced by a wooden structure on the same footprint.

6. THE PROPOSED DEVELOPMENT

The Proposed Development (figs 3a-c)

6.1 The development will involve:

- The conversion of the existing brick stables into two 3-bedroom semi-detached houses.
- The demolition of the wooden stables and outbuildings
- The construction of two new back to back pitched roof garages
- The re-landscaping of the stable yard
- Extensions/alterations to existing northwest boundary wall.

The conversion of the brick stables into residential units is unlikely to involve any major construction work. The internal concrete floor will be removed and re-laid, but the floor level is to remain unchanged (Philip Stone, pers. comm.). No detail has been provided regarding the installation of services to the converted property.

The only new building proposed on the development site is the construction of two back to back garages on the site of the wooden stables. The type of foundation to be used in the garage construction has not yet been specified: it could either be traditional strip foundations or a concrete raft (Philip Stone pers. comm.).

The re-landscaping of the stable yard and the areas at either end of the brick stable will involve the removal of the concrete surface and the laying of paths and garden turf to create gardens for the two properties.

Site Visit

6.2 A site visit was made on 3rd August 2010 in order to assess the current state and use of the development site (figs 8a-f photos). The site upon which the brick stable and yard have been built slopes down from southeast to northwest. The brick stable block is currently used as a stable, and is divided into two separate units accessed from either end of the building. The interior is divided into individual stalls with a concrete floor surface. The stable yard is located on the south-east side of the brick stable block and has a level concrete slab surface which is at a higher level than the interior floor of the brick stable block due to the sloping nature of the site and the fact that the stable block has been built into the slope. It appears that during construction, the footprint of the brick stable block was levelled down on the southern side to create a level internal floor and the stable yard levelled up to create a level yard surface. This was particularly apparent when viewing the building from the southwest.

The stable yard is surrounded on its north-east and south-west side by an L-shaped arrangement of wooden stables. In the south-west corner of the site, at the south-west end of the wooden stables, stands a block and brick built storage building

with a concrete floor. In the north-east corner of the site, at the end of the wooden stables is a concrete slab which levels up the land to provide a level parking area. The open areas at either end of the brick stable building are surfaced with broken tarmac over concrete.

7. CONCLUSIONS AND RECOMMENDATIONS

The Archaeological Potential

7.1 On the basis of the Historic Environment Record and the fact that the site is located within an Area of Archaeological Significance it appears that the archaeological potential for the development site is high, with a couple of archaeological sites being identified within the grounds of Barwell Court Farm itself (GLHER 022149, 030131 and 031836) and a number of sites identified within the search area. Barwell Court also has a recorded history extending back to at least the 13th century.

7.2 The historic map evidence shows the complex of buildings on the site of Barwell Court since 1768. It seems probable that the focus of the building complex always lay to the north of the present development area, and the map evidence shows that the brick stable building was constructed between 1880 and 1886 and that two different L-shaped buildings have been constructed within the area of the stable yard, the latter having been located on the footprint of the present wooden stables. There do not appear to have been any alternations since the 1886 layout.

7.3 The site lies within a designated Area of Archaeological Significance and the building is identified as a Building of Townscape Merit in the Unitary Development Plan First Alteration.

The Impact of the Proposed Development

7.4 In general terms, archaeological evidence, if it exists may be expected to survive, at, and to a limited depth below, the interface between the topsoil (garden or plough soil) and the present undisturbed sub surface.

7.5 The redevelopment of the 875m² site will involve the conversion of the brick stable block into two semi-detached residential units. It is unlikely that the construction work for the conversion itself will have an impact on underlying archaeology. However, potential ground works associated with the installation of services for the building, including trenching for sewerage and water pipes, will involve damage and/or destruction of any buried archaeological evidence that may be present in the area. Also the removal of the internal concrete floor may have some impact on any underlying deposits of archaeological interest. The amount of previous disturbance during the 19th century construction of the brick stable building is unknown, but there is a difference in the level of the interior of the brick stables and the stable yard. The south side of the brick stable block appears to have been built into the slope, which may therefore have truncated any levels of archaeological interest in this part of the building. In addition, the northern side of the stable yard is likely to have been levelled up in order to create a level surface.

7.6 The demolition of the wooden stables and outbuildings is unlikely to impact on any existing archaeology, but the ground works involved in the proposed construction of the two new garages may involve damage and/or destruction of any buried archaeological evidence that may be present in the area. The degree of impact will depend upon the type of foundations chosen for the garage. The site of the proposed garages has, however, already been subject to some (unknown) level of disturbance with

the construction of the L-shaped building, on the footprint of the wooden stables, shown on the 1886 OS map (fig 6).

7.7 The re-landscaping of the stable yard and other external areas will involve the removal of the concrete surface, aerating of the underlying soil and the laying of topsoil and turf with paths to create gardens for the two properties. This will involve a certain amount of ground disturbance.

Planning Guidelines

7.8 At present the archaeological potential for the site is high on the basis of the HER records and fact that the site lies within an Area of Archaeological Significance. English Heritage (Archaeology) have imposed the following archaeological condition on the planning consent:

No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved by the Local Planning Authority. The development shall only take place in accordance with the detailed scheme pursuant to this condition. The archaeological works shall be carried out by a suitably qualified investigating body acceptable to the Local Planning Authority.

They also add the following informative:

The development of this site is likely to damage archaeological remains. The applicant should therefore submit detailed proposals in the form of an archaeological project design. The design should be in accordance with appropriate English Heritage guidelines.

This is in accordance with the guidance and model condition set out in PPG16 in accordance with Policy BE19 (Areas of Archaeological Significance) of the Royal Borough of Kingston upon Thames Unitary Development Plan First Alteration.

Conclusions and Recommendations

7.9 The present assessment has indicated a high potential for the area of the development, despite the fact that the site may have undergone some level of disturbance during the 19th century construction of various buildings. It is, therefore, recommended that the area be subject to further archaeological investigation in the form of a trial trench evaluation which would provide the most practical and efficient method of investigation to clarify the archaeological potential and level of survival of archaeological deposits on this site.

The form and standards to be implemented during the evaluation are outlined below.

8.0 METHODOLOGY FOR RECOMMENDED ARCHAEOLOGICAL WORK

8.1 Specification for the conduct of an archaeological trial trench evaluation

General considerations

8.2 The evaluation should aim to gather sufficient information to establish the presence/absence, extent, character, quality and date of any threatened deposits within the site in order to allow definition of an appropriate mitigation strategy.

8.3 The methodology for further work outlined below has been formulated after careful consideration of all the relevant factors, including cost. It is believed to be the most appropriate in the circumstances of the site and its perceived potential.

8.4 Where a detailed specification is not given below it is to be assumed that all work should be carried out within high professional standards, with the scope and level of different aspects of the work defined by reference to the advice and practice of English Heritage and the Institute of Field Archaeologists.

Machine Trial Trenching

8.5 This is probably the most commonly used field evaluation technique; it has much to commend it since it provides rapid, cost-effective answers to presence/absence and extent, and enables manual excavation to establish character, date and quality of deposits.

8.6 The quantity of work implied by the above is in need of definition. One trench 12m long and c1.8m wide will be excavated lengthways across the stable yard (see figure 9).

8.7 The excavation of the trench will be carried out under direct archaeological supervision, by an archaeological field officer and archaeological assistant, with the use of a suitably operated machine, equipped with a wide toothless ditching bucket. A toothed bucket will be required to undertake the initial break through of the concrete surface.

8.8 The second part of the work would be hand-excavation following on from machine opening of trench. It will be obvious that this is largely an unknown quantity at this stage, but a reasonable maximum figure can be estimated, based on present knowledge of similar scale fieldwork.

8.9 Following the completion of the trial trench evaluation, the need for and nature of further archaeological work will be determined. Positive results may lead to a need for detailed excavation of a larger area or to a requirement for a watching brief on groundworks associated with the development.

Hand excavated sample of all features

8.10 The minimum level of sampling will obviously vary with the type of feature and its perceived capacity to contribute towards the objectives of the excavation. The County minimum requirements for sampling (by volume) are as follows:

- 50% of intrusive non-structural features (pits, random postholes). Up to 50% (by number) to be then fully excavated following assessment.
- 15-25% of each linear feature's exposed area and all terminals and intersections, if definition of relationship is unclear. The actual percentage amount will depend on the type of site being investigated.
- 75-100% of structural features (beamslots, ring ditches). 75-100% investigation for debris areas (collapsed structures, walls). Structurally associated postholes to be half sectioned then fully excavated.
- 100% domestic/industrial working features (hearths, ovens).

Selective further hand excavation

8.11 The initial sampling, described above, may lead to the conclusion that further sampling is required to meet the project objectives. Reasons for this include:

- Acquisition of further dating evidence: further excavation is needed to clarify stratigraphic sequences or to acquire more finds to date a feature.
- Identification of function, status: further excavation will help establish, by the form of the feature or the nature of finds within it, the function or status of occupation at a particular period.
- Meeting of specialist needs: in the light of on-site advice there may be a need for further sampling to meet the needs of environmental and other specialists.
- The above covers the principal types of feature likely to be found. Other types of feature if found will be excavated according to good professional practice and their capacity to meet the project objectives.

The methods of hand excavation

8.12 In general terms the more rapid the excavation method is, the less refined the evidence produced. The archaeological field officer will need to use his/her discretion in this, adopting the method that will most economically achieve the desired aim. Mattock and shovel will generally provide the best approach to substantial volumes of undifferentiated fill; at the other extreme fragile articulated bone may require delicate tools and enormous care. There is no perceived advantage to general sieving of deposits to aid recovery of artefactual evidence. Sieving will occur on a selective basis, largely for environmental purposes.

Unexpected discovery of human remains

8.13 If human remains are unexpectedly identified in fieldwork, the minimum amount of work consistent with ensuring the short-term integrity of the remains will be undertaken until permission (normally a Ministry of Justice Licence under section 25 of the 1857 Burial Act) for further work and an agreed set of procedures for such work is in place. Ministry of Justice guidelines state:

8.14 Exhumation licence applications under the Burial Act 1857 will be considered wherever human remains are buried in sites to which the following Acts do not apply - Disused Burial Grounds (Amendment) Act 1981 or other burial ground legislation (e.g. Town and Country Planning (Churches, Places of Religious Worship and Burial Grounds) Regulations 1950; Channel Tunnel Rail Link Act 1996 etc.). This is expected to apply to the majority of archaeological excavations. When licenses are issued, a time limit, normally of up to two years, will be set for re-interment of human remains; it will be possible to apply for an extension when circumstances justify this.

8.15 All work pertaining to human remains will be carried out in broad conformity with the principles and practice set out in IFA technical paper No. 13 *Excavation and post-excavation treatment of cremated and inhumed human remains* (1993) in respect of excavation and post-excavation work and, where relevant, supplemented by *Guidance for best practice for treatment of human remains excavated from Christian burial grounds in England* - EH/CoE 2005. On-site recording will utilise pro forma record sheets, with sampling and other procedures taking place under the advice of an appropriately qualified human bone specialist. All post-excavation analysis will be sub-contracted by SCAU to a specialist organisation or consultant. SCAU will satisfy itself (by reference to previous publication and/or advice from acknowledged authorities in the field, including the English Heritage Regional Environmental Advisor) that any such works to the highest current standards in their field.

Treasure

8.16 All finds of gold and silver objects, and groups of coins from the same findspot, which are over 300 years old, are legally obliged to be reported under the *Treasure Act 1996*. Prehistoric base-metal assemblages (found after 1st January 2003) also qualify as Treasure. The following finds are Treasure under the Act, if found after 24 September 1997 (or, in the case of category 2, if found after 1 January 2003):

- a) Any metallic object, other than a coin, provided that at least 10 per cent by weight of metal is precious metal (that is, gold or silver) and that it is at least 300 years old when found. If the object is of prehistoric date it will be Treasure provided any part of it is precious metal.
- b) Any group of two or more metallic objects of any composition of prehistoric date that come from the same find (see below).
- c) All coins from the same find provided they are at least 300 years old when found (but if the coins contain less than 10 per cent of gold or silver there must be at least ten of them). Only the following groups of coins will normally be regarded as coming from the same find:
 - hoards that have been deliberately hidden.
 - smaller groups of coins, such as the contents of purses, which may have been dropped or lost.
 - votive or ritual deposits.
- d) Any object, whatever it is made of, that is found in the same place as, or had previously been together with, another object that is Treasure.
- e) Any object that would previously have been treasure trove but does not fall within the specific categories given above. Only objects that are less than 300 years old, that are made substantially of gold or silver, that have been deliberately hidden with the intention of recovery and whose owners or heirs are unknown will come into this category.
- f) *Note:* An object or coin is part of the 'same find' as another object or coin if it is found in the same place as, or had previously been together with, the other object. Finds may have become scattered since they were originally deposited in the ground.

Recording and processing

8.17 Recording should be undertaken as follows:

- a) All structures, deposits and finds are to be recorded according to accepted professional standards as given in the Institute of Field Archaeologists *Standard and Guidance for Archaeological Evaluations (2001)*.
- b) Plans indicating the location of areas examined and the location of all archaeological features are to be drawn at an appropriate scale. Plans at an appropriate scale should be related to the National Grid. All plans and sections are to be drawn on polyester based drafting film and clearly labelled. In general plans will be drawn at a scale of 1:50 and sections at a scale of 1:20.
- c) All archaeological contexts are to be recorded individually on record context sheets. A further more general record of the work comprising a description and discussion of the archaeology is to be maintained as appropriate.
- d) A full black and white, colour (35 mm transparency) and digital photographic record of the work is to be kept. The photographic record is to be regarded as part of the site archive. Photographs will be taken of individual features and groups of associated features. In the case of negative evidence during a trial trench evaluation a photograph of the trench and section will be taken. In the case of negative evidence during a watching brief, photographs will be taken of the groundworks, illustrating site / ground conditions.
- e) All artefacts recovered during the excavations on the site are to be suitably bagged, boxed and marked in accordance with the United Kingdom Institute for Conservation, Conservation Guidelines No 2. Organic materials such as wood,

leather or even textiles recovered from waterlogged deposits should be packaged in a non-perforated plastic bag with a little water to prevent drying out. Specialist long term conservation may be required for such artefacts.

- f) All environmental recording will take place in conformity with the specific requirements of the approved methodology or specification for a project, with the agreement of English Heritage (Archaeology) and where necessary English Heritage scientific advisor. Where appropriate conditions arise, samples will be taken for environmental analysis and scientific dating. Environmental sampling may be required in response to archaeological deposits where the retrieval of wood charcoal, plant remains, small bones, small finds, snail deposits is required. The use of scientific dating techniques should also be considered, for example archaeomagnetic dating for kiln and hearth features.

In general bulk soil samples will be collected from suitable excavated contexts, including datable buried soils, well-sealed slowly silting features, sealed hearths, sealed features containing evident carbonised remains, peats and waterlogged deposits. It is anticipated that soil samples will be 40 litres where possible, or 100% of the context if smaller. 30 litres samples are generally sufficient for waterlogged deposits.

Recommendations for sampling levels are unique to each site and all strategies should be discussed with specialists before proceeding, and on site once the range of features are exposed. If complex or unusual deposits are revealed, the environmental sampling strategy will be discussed with English Heritage (Archaeology), English Heritage scientific advisor or specialist environmental archaeological consultants.

Report preparation

8.18 An interim report should be prepared within two months of the completion of work and copies supplied to the client, English Heritage (Archaeology) and the Greater London Historic Environment Record. The report should include as a minimum:

- a) Non-technical summary. This should outline the principal reason for the work, its objectives and main results. It should include reference to authorship and commissioning body.
- b) Introduction. This should present the planning background (or other relevant issues), the archaeological background, basic character of work, brief site description (including location, size, geology and topography), when the project was undertaken and by whom.
- c) Aims and purpose of the evaluation. This should be taken from the aims set out in the project design or specification. If additional aims were identified in the course of the evaluation they should also be set out.
- d) Methodology. This should briefly describe the methods used, where these vary from those in the agreed project design or specification, a full explanation and description should be given.
- e) A statement of results and interpretation of the archaeology of the site. A description of each category of material (stratigraphic, artefactual or ecofactual) should be given, including sufficient detail to provide the reader with a basis to assess the validity of an interpretation, which should be clearly separated. Where a large data-set is involved it should be presented in an Appendix. Where possible, evidence should be presented, or supported by tables, drawings and photographs. Technical terms should be explained as necessary to ensure that those without an archaeological background can understand the report.
- f) Conclusion. This should briefly summarise the results, and interpret them, placing them in a wider (local, national or other) context. The conclusion

should be careful to note any limitations imposed by the character of the work or the nature of the results on its reliability. A recommendation for further work should normally be made, noting that the final decision in this respect is the responsibility of the relevant planning authority, *Royal Borough of Kingston upon Thames*, or other regulatory body, generally acting under the advice of English Heritage (Archaeology).

- g) Illustrations, at appropriate scales, should include a location plan of the areas examined, and a plan or plans of the main archaeological features. Additional plans and section drawings should be provided where the character of the results requires further detail to explain them.
- h) Acknowledgements
- i) References

Report distribution

8.19 A full report on the work, containing a level of detail appropriate to the importance of any discoveries made, must be made available for publication in a publicly available journal within two years of completion of any fieldwork. The detailed methodology for this work will be determined by the post-project assessment, with the format and timescale being agreed with the client and English Heritage (Archaeology)

Finds and archive deposition

8.20 Finds will need to be retained by the archaeological contractor until an appropriate level of study has been completed. It is anticipated that they will then be placed in the nearest suitable Public Museum. The complete archive, including all site records and drawings and all other relevant background materials should be deposited with, and at the same time as the finds. If the developer (as legal owner of the finds) wishes to make alternative arrangements for the curation of all or part of the archive, such arrangements (including details of storage arrangements) will be agreed in writing with the planning authority. Where the place of deposition is not a Public Museum, a comprehensive record of all materials will need to be made for deposition in the nearest suitable Public Museum.

9 HEALTH AND SAFETY

9.1 SCAU operate within the Health and Safety guidelines established by Surrey County Council and the Services for Communities, adapted specifically for the form and type of work undertaken by the archaeological unit.

9.2 Departmental and Archaeological Unit safe working procedures relating to working both away from the office and on site will be followed, in addition to any additional Health and Safety procedures imposed by the main site contractor.

FIGURE LIST

- Figure 1 **Barwell Court Farm, Chessington**
General site location
- Figure 2 **Barwell Court Farm, Chessington**
Map showing location of Historic Environment Records
- Figure 3a-c **Barwell Court Farm, Chessington**
Plan showing the layout of the proposed development, side elevations and floorplans
- Figure 4 **Barwell Court Farm, Chessington**
Extract from Rocque's map of 1768
- Figure 5 **Barwell Court Farm, Chessington**
First Edition 25 Inch Ordnance Survey map of 1880
- Figure 6 **Barwell Court Farm, Chessington**
25 Inch Ordnance Survey map of 1886
- Figure 7 **Barwell Court Farm, Chessington**
25 Inch Ordnance Survey map of 1913
- Figures 8a-f **Barwell Court Farm, Chessington**
Views across the search area
- Figure 9 **Barwell Court Farm, Chessington**
Trial trench location

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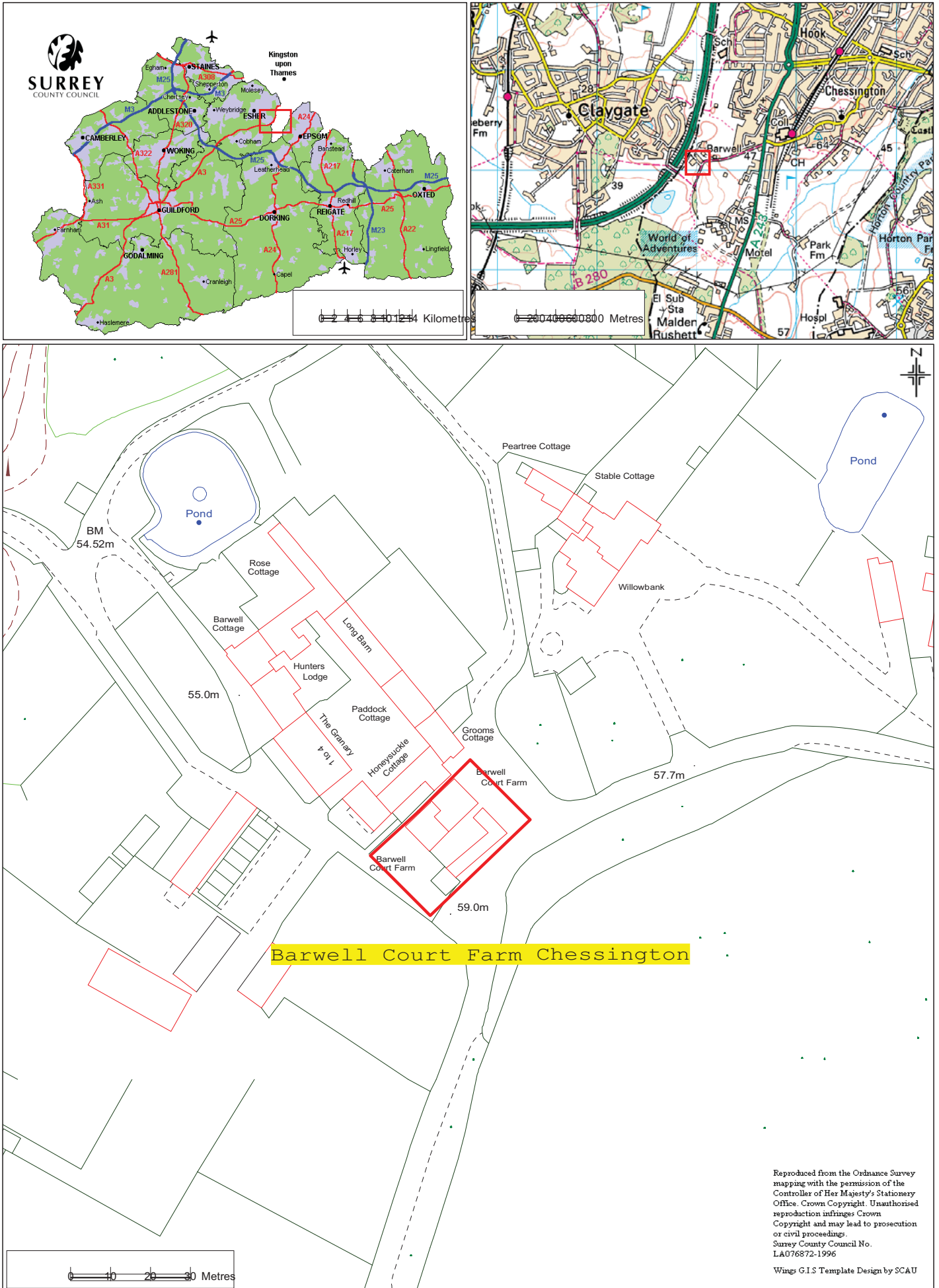
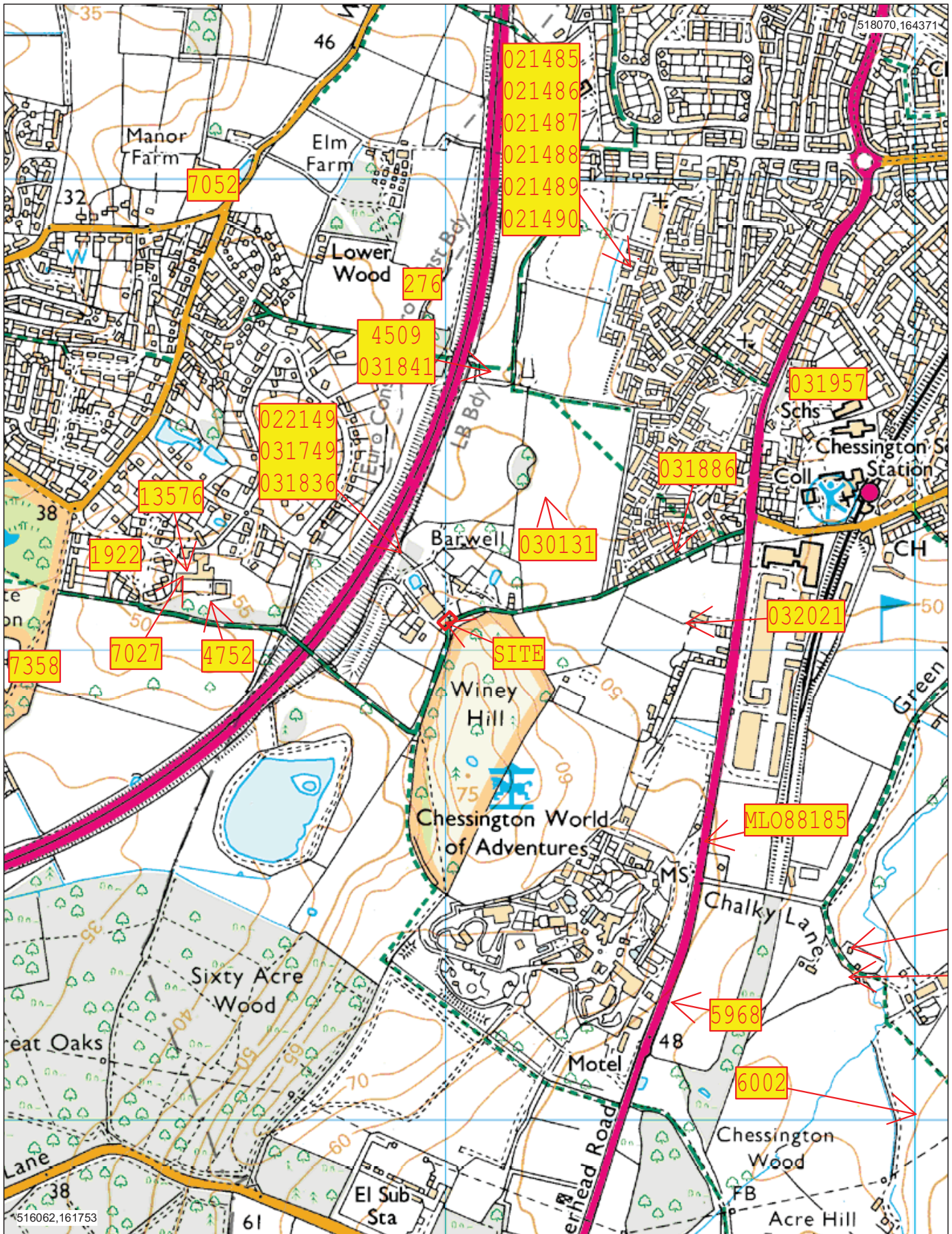


Fig 1 Barwell Court Farm, Chessington: site location

Fig 2 Barwell Court Farm, Chessington: location of HER

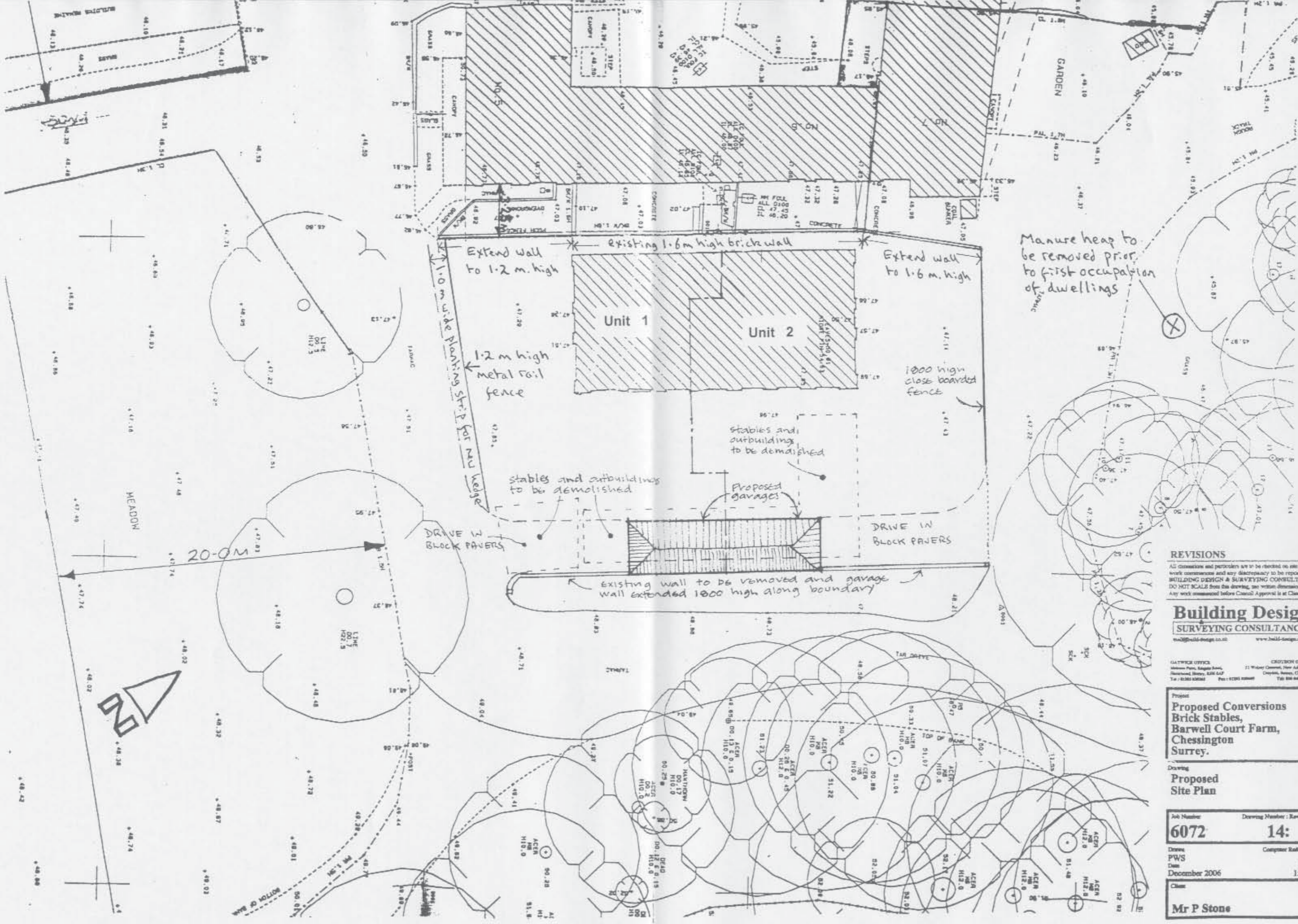


Date: 09/08/2010

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Project
**Proposed Conversions
 Brick Stables,
 Barwell Court Farm,
 Chessington
 Surrey.**

Drawing
**Proposed
 Site Plan**

Job Number Drawing Number / Revision
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Drawn PWS
 Date December 2006
 Scale 1:200

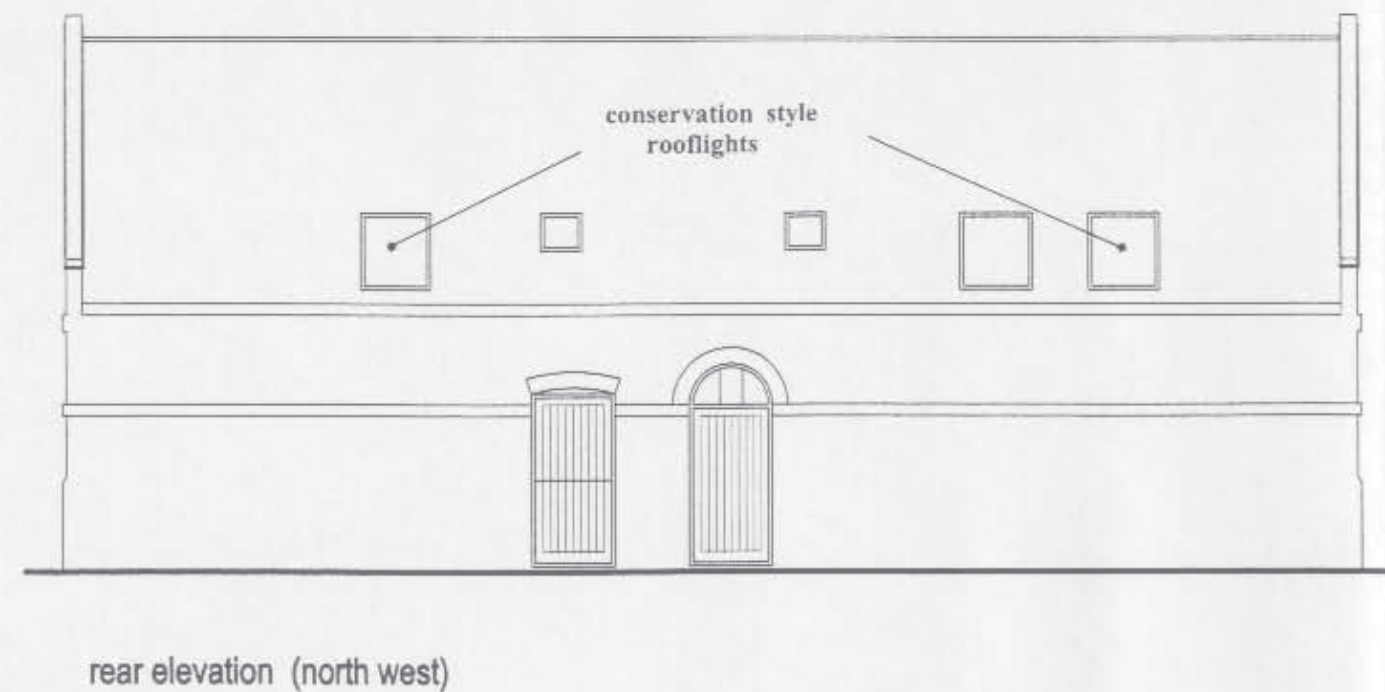
Client
Mr P Stone



front elevation (south east)



side elevation (north east)



rear elevation (north west)



side elevation (south west)

Planning Application

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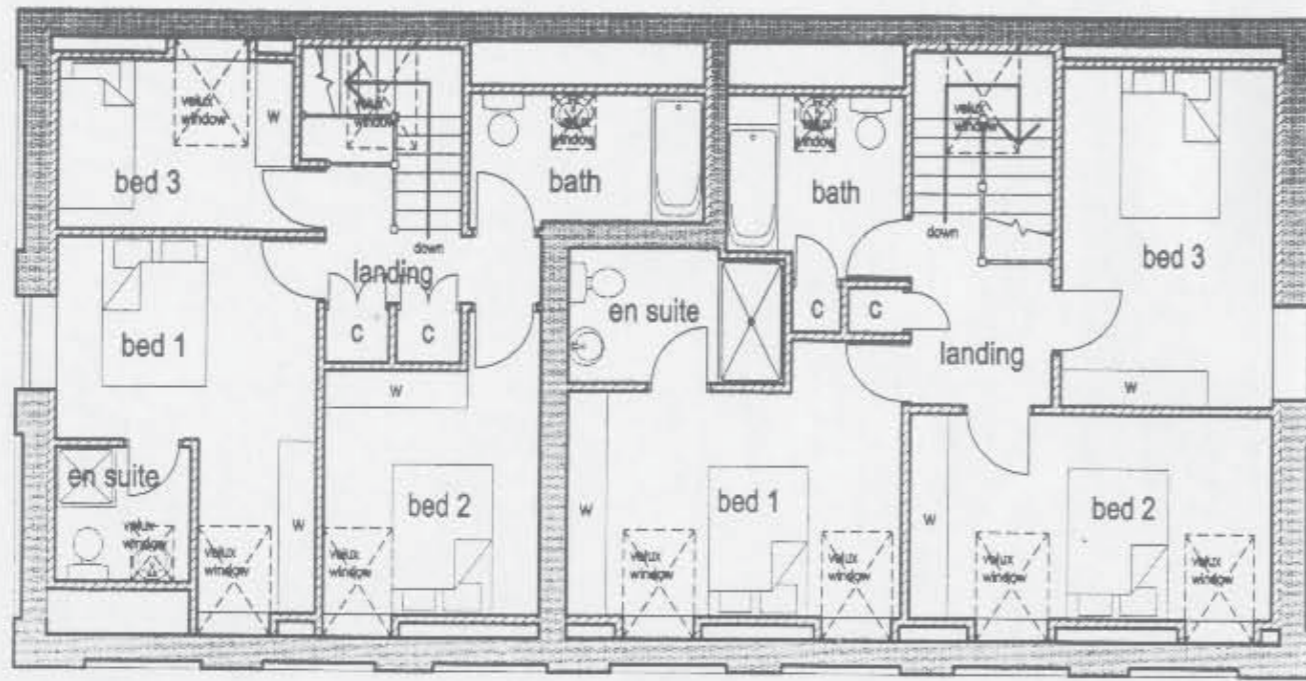
Project
Proposed Conversions
Brick Stables,
Barwell Court Farm,
Chessington
Surrey.

Drawing
Proposed
Elevations

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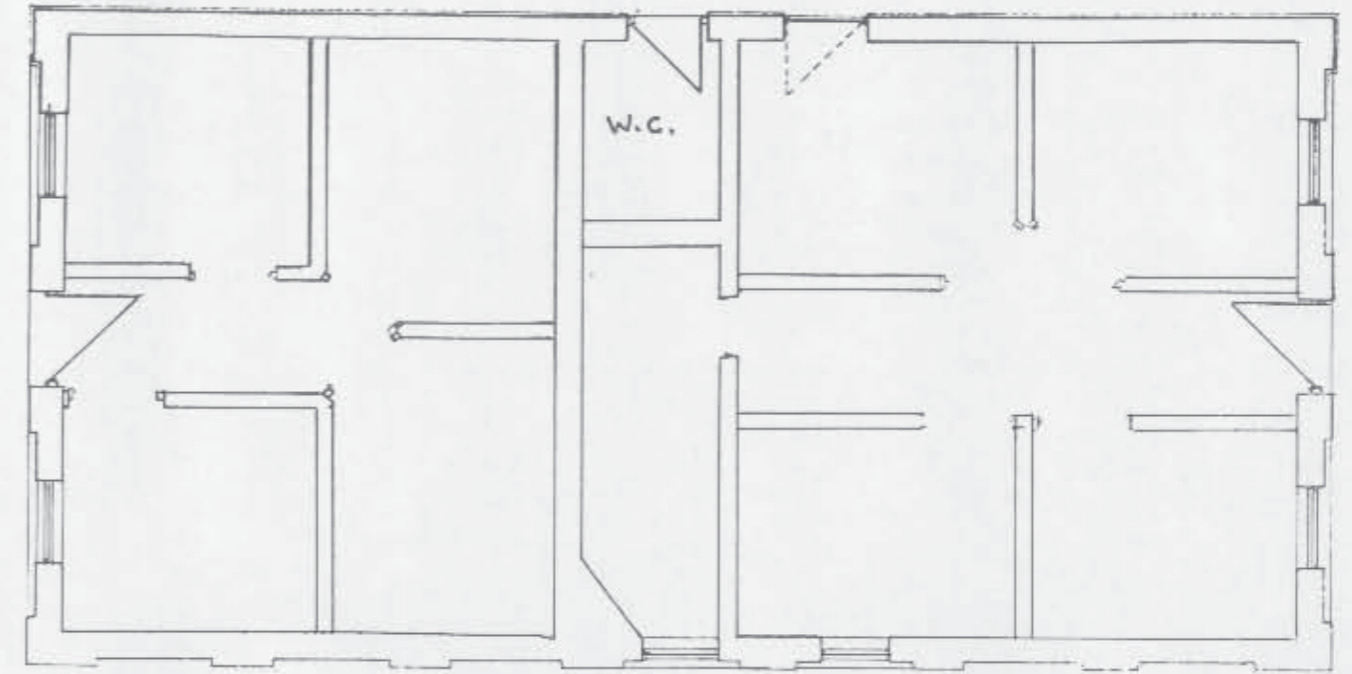
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first floor plan

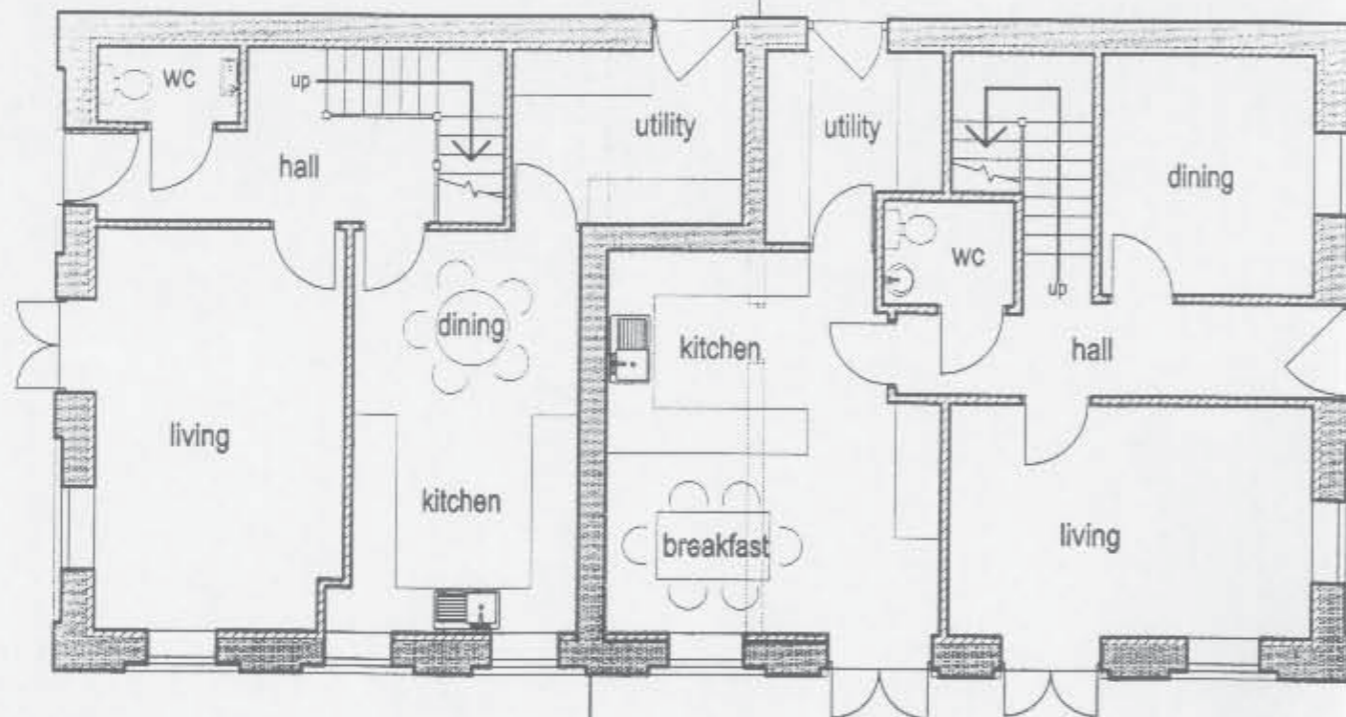
Unit 1

Unit 2



existing ground floor plan

Planning Application



ground floor plan

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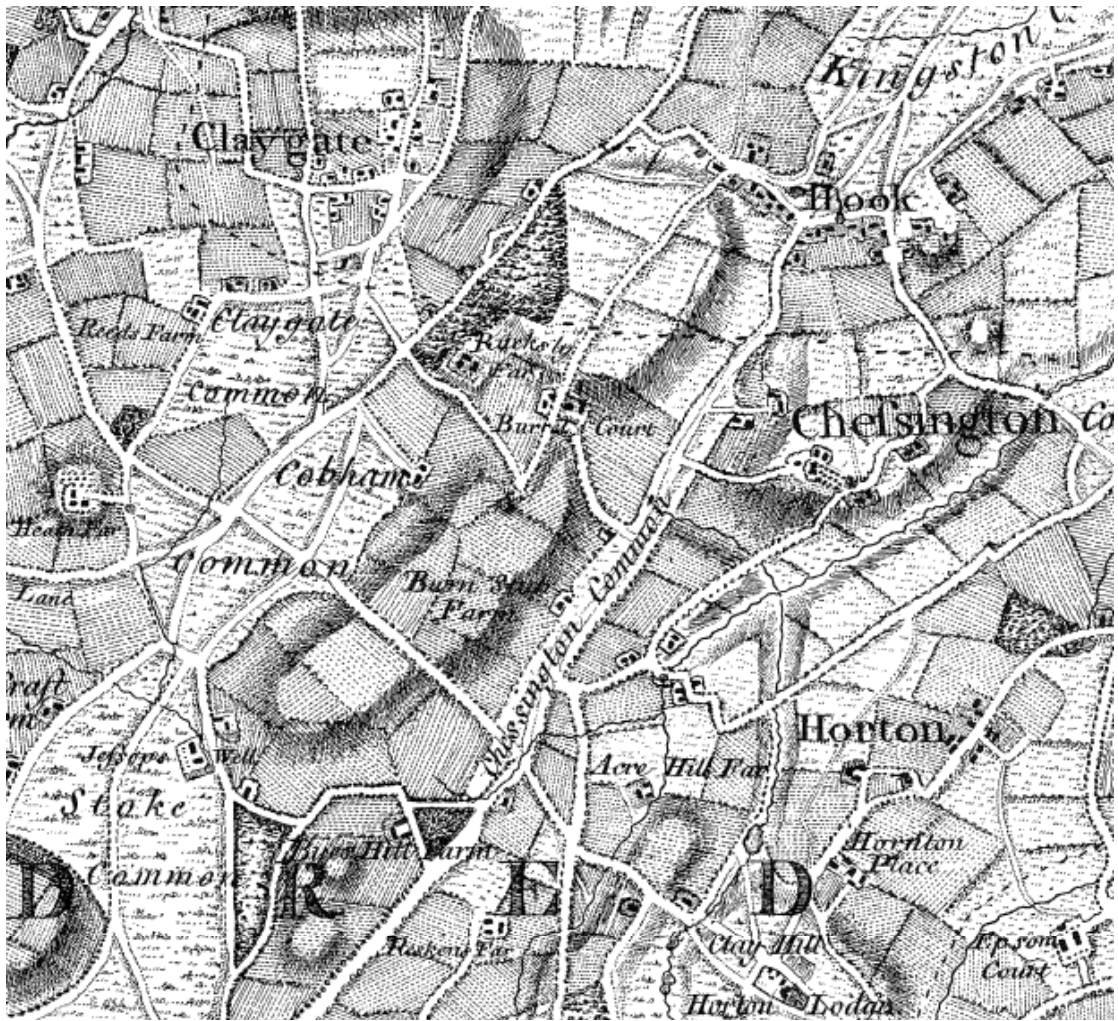
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Proposed Conversions
Brick Stables,
Barwell Court Farm,
Chessington
Surrey.

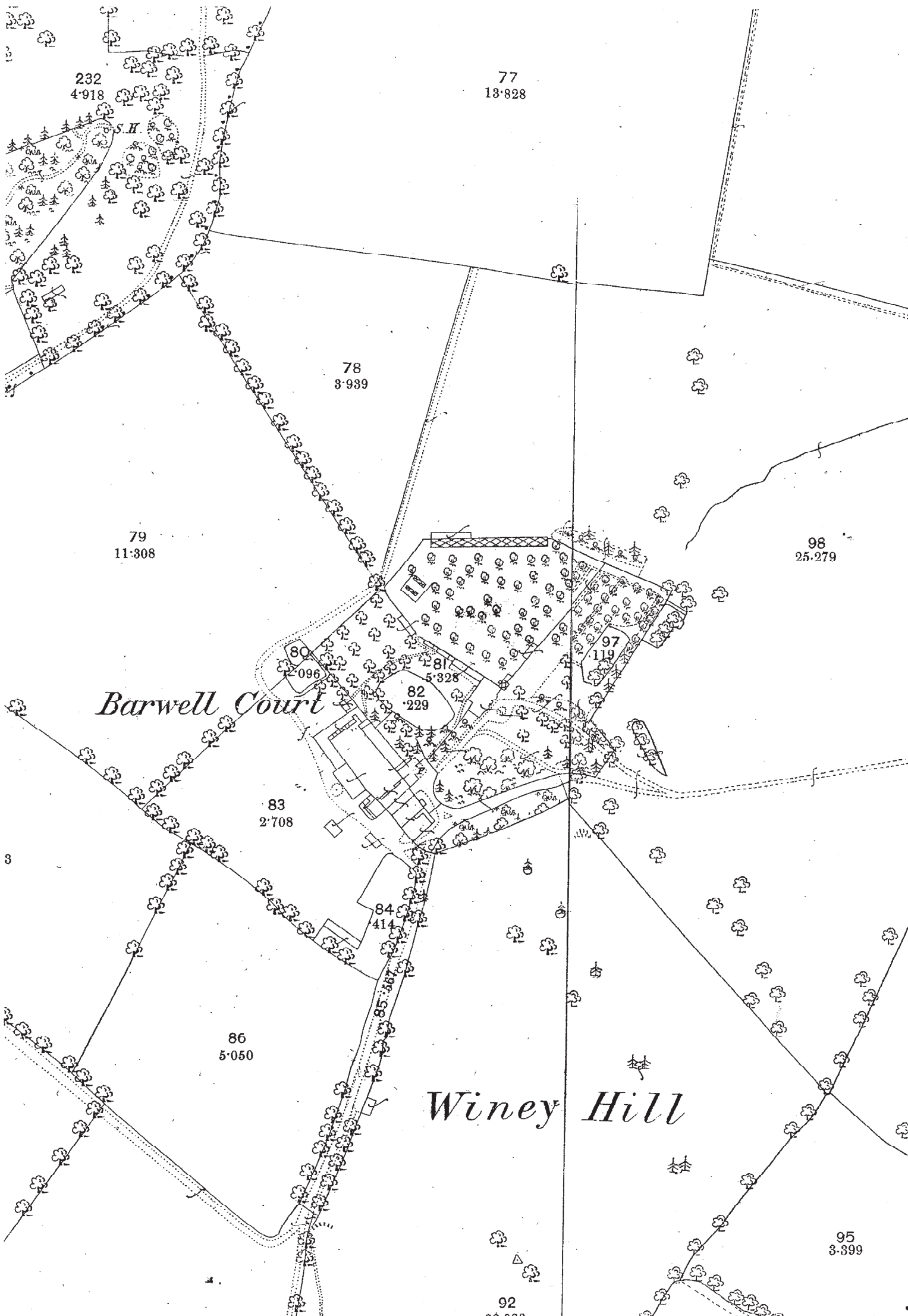
Drawing
Proposed
Floor Plans

Job Number	Drawing Number / Revision
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Drawn	Computer Reference
PWS	
Date	Scale
December 2006	1:100

Client
Mr P Stone





232
4'918

77
18'828

78
8'939

79
11'308

98
25'279

Barwell Court

83
2'708

80
2'096

81
5'328

82
229

97
119

84
414

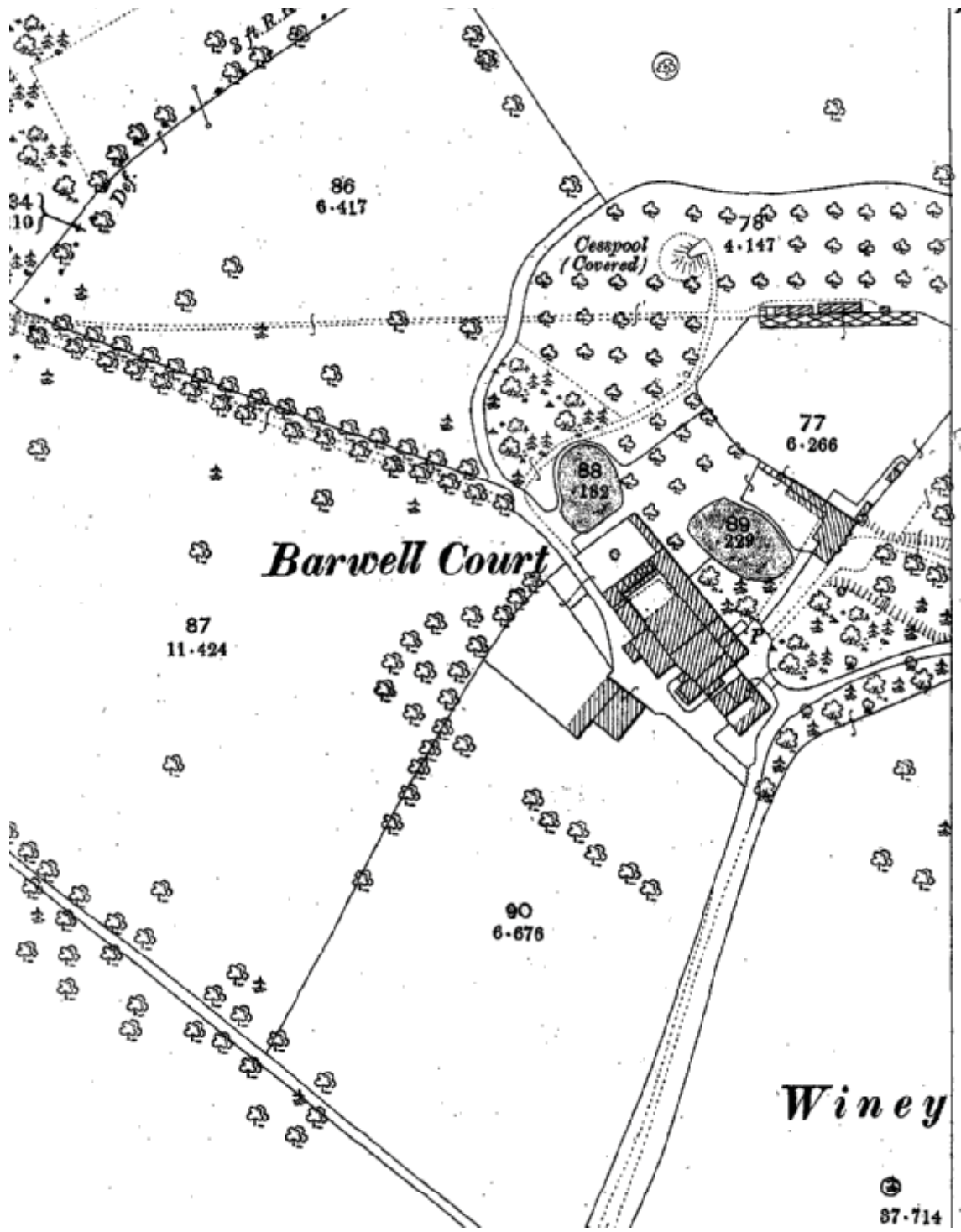
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287

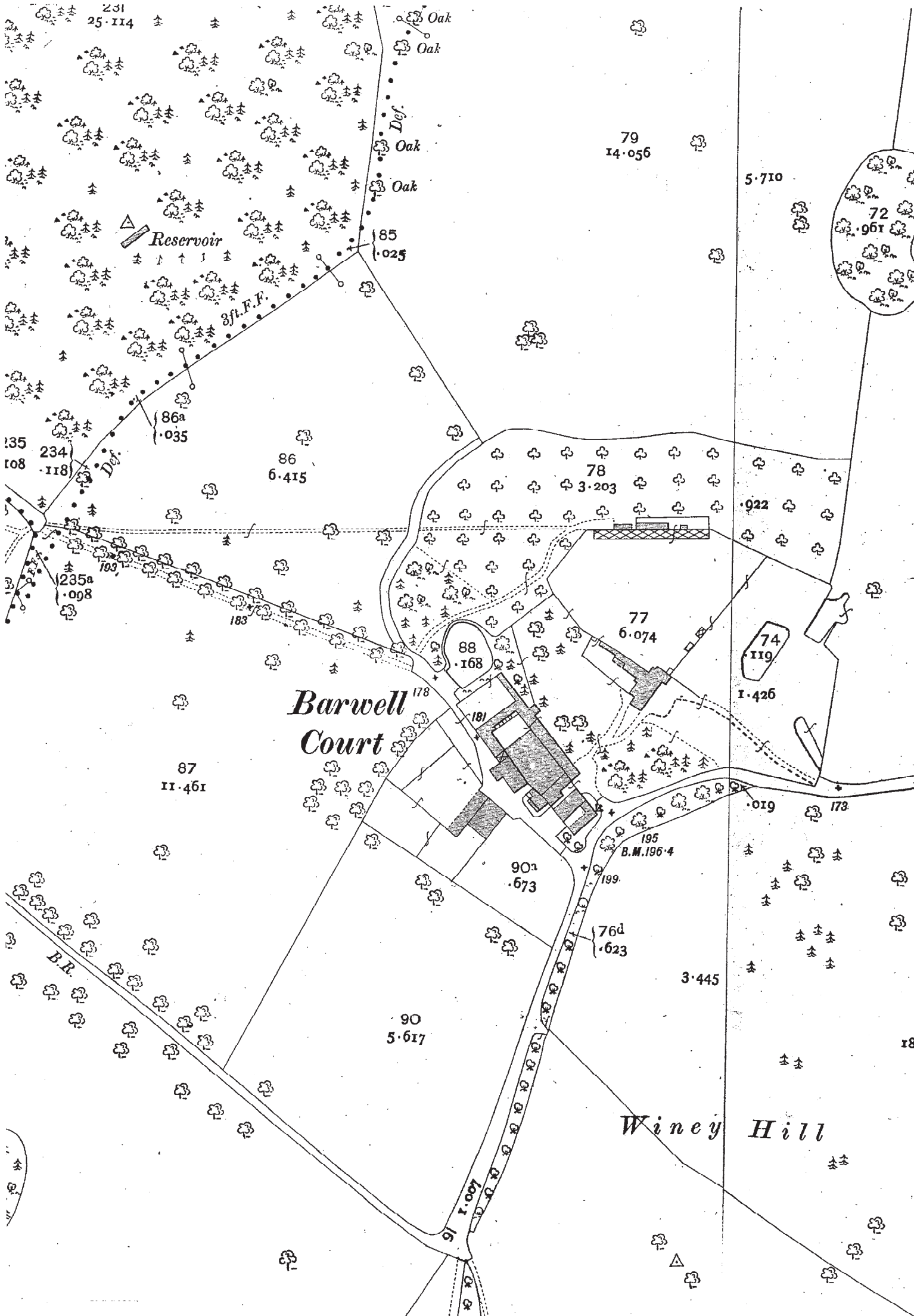
86
5'050

Winey Hill

92
99'030

95
3'399





231
25.114

Oak
Oak
Def.
Oak
Oak

79
14.056

5.710

72
1.961

Reservoir

85
1.025

3ft. F.R.

135
108
234
118

86a
1.035

86
6.415

78
3.203

922

1235a
1.098

183

77
6.074

74
1.119

1.426

Barwell
Court

88
1.168

181

87
11.461

195
B.M. 196.4

178
1.019

90a
6.73

76d
1.623

3.445

B.R.

90
5.617

Winey Hill

91
1.007



Fig 8a & b Barwell Court Farm, Chessington: views of northeast end of brick stable



Figs 8c & d Barwell Court Farm, Chessington: views of southwest end of brick stable block and yard with buildings



Fig 8e Barwell Court Farm: view southwest across the stable yard



Fig 8f Barwell Court Farm: rear view of outbuilding and wooden stables looking north

Honey
Cottag

517042,163081

Barwell
Court Farm

Barwell
Court Farm

59.0m

516973,163038

Scale 1:250

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