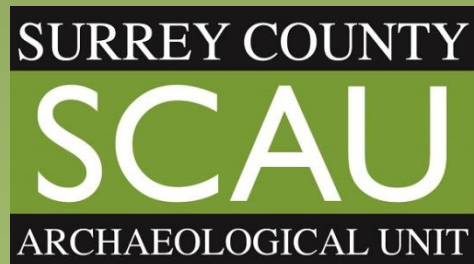


**49 DOWNING STREET, FARNHAM**

**AN ARCHAEOLOGICAL WATCHING  
BRIEF**



# 49 DOWNING STREET, FARNHAM

## An archaeological watching brief

### Summary

The excavation of foundation trenches for the construction of a two storey extension to the rear of 49 Downing Street, Farnham was observed. The site is located within the AHAP for Farnham and the property is a listed building.

The excavations showed that the ground had been previously levelled up, and revealed a small area of earlier exterior ground surface, with remains indicating a path or drainage feature that dated to the post medieval period.

No other features of archaeological interest were identified and it is recommended that no further archaeological involvement is required in respect of the development.

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Checked by	Rob Poulton
Author	Matt Saywood
Dates of fieldwork	9 <sup>th</sup> March 2017
Date of report	March 2017
NGR	SU83984670
Site code	FDS17
Client	Hone Properties



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Fig 2 Farnham, 49 Downing Street . Plan of proposed development

Fig 3 Farnham, 49 Downing Street. Plan showing existing structure and observed excavations, including a section of the trench.

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## **1 INTRODUCTION**

1.1 Planning permission (WA/2015/1950) was granted by Waverley Borough Council for erection of extensions and alterations to the existing hotel and curtilage listed structure at 49 Downing Street, Farnham, Surrey, following demolition of extensions (figs 1 and 2). The site lies within an Area of High Archaeological Potential (AHAP), being located within the bounds of early Farnham town Centre.

1.2 SCAU was commissioned by Hone Properties to undertake the archaeological work required to comply with the conditions attached to the planning consent. A Heritage Statement and Written Scheme of Investigation (WSI) were produced by SCAU (Saywood 2014) The Heritage Statement recommended a watching brief and Level 1 Building recording. The WSI outlined the form and scope of the work.

1.3 In March 2017, the Watching Brief was conducted by Surrey County Archaeological Unit (SCAU) during the excavation of foundation trenches associated with the construction of the two storey extension to the property (fig 3).

## **2 METHODOLOGY**

2.1 The WSI (Saywood 2015) gives full details of the excavation and recording methods that were used during the Watching Brief, and no significant deviations from that occurred.

2.2 The excavations were carefully monitored for the occurrence of features or artefacts of archaeological interest.

## **3 RESULTS**

3.1 The Geological Survey of Great Britain (Sheet 285, Guildford), covering this area at scale 1:50,000, shows that the geology underlying Farnham is a complex mixture of solid and drift geology. The proposal area lies on a river terrace deposit of sand and gravel (the 2<sup>nd</sup> and 3<sup>rd</sup> terraces of the River Blackwater).

3.2 The following principal layers (from top to bottom) were observed during the watching brief:

**100** Cobblestone yard      150mm deep across the site of large dark cobbles of hard sandstone, laid into earth. Earth between the stones had probably partially accumulated over the years.

**101** Made ground      250-500mm deep across site. Dark sticky soil with modern building materials throughout. Appears to have been used to level the site up, as it was much deeper to the east of the site.

**102** Subsoil      300mm deep across site. Dark sandy soil, but sticky and compact with occasional flint pebbles and fairly clean of any other material.

**103** Subsoil      250-500mm. Mid grey sandy soil, fairly loose and crumbly.

**106** Natural      Sandy and flinty natural (river terrace deposits), golden yellow and fairly solid.

### **Foundation Trenches**

3.3      The trenches were dug in one pass of the machine, and observed for archaeological material throughout the process (fig 3). In all of the trenches, roughly the same stratigraphy was observed (fig 3). A post medieval feature was observed in the most western trench.

### **Archaeological features**

3.4      Features comprised of:

**104**      Layer of tiles and three courses of bricks sitting under 101. Possibly part of an old open drainage system or garden path. All material recovered from this context was post medieval (19<sup>th</sup> or 20<sup>th</sup> century), which therefore defines 101 and 100 as post medieval too. Path/drain ran at odd angle to adjacent building, but is probably contemporary with the rear of the property as it lay over 105, and under the building walls

**105**      Solid grey foundation material for later extension to original property, some form of concrete.

---

## **4 CONCLUSIONS AND RECOMMENDATIONS**

4.1 The soils that overlay the natural on the site were a maximum combined depth of 1.20m. A post medieval feature was observed that demonstrates the levelling up of the site prior to the creation of the cobblestone courtyard.

4.2 No features or artefacts of archaeological significance were identified in the course of the watching brief, and it is recommended that there is no need for further archaeological involvement in relation to the groundwork of this development. The final phase of building recording will need to be undertaken at a later stage in the project.

4.3 The statements and recommendations in 4.1-4.3 are the considered views of the Surrey County Archaeological Unit, based on the evidence presented in the earlier part of this report. It must be emphasised, however, that whether further archaeological work is required, what form it should take and when it might be scheduled are decisions to be made by the Local Planning Authority (generally acting under the advice of Surrey County Council's Heritage Conservation Team) and any further action in response to this report should await their opinion.

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## **5 REFERENCES**

Saywood, M, 2014. *Proposed redevelopment at 49 Downing Street, Farnham, Surrey*. Client report prepared by Surrey County Archaeological Unit.

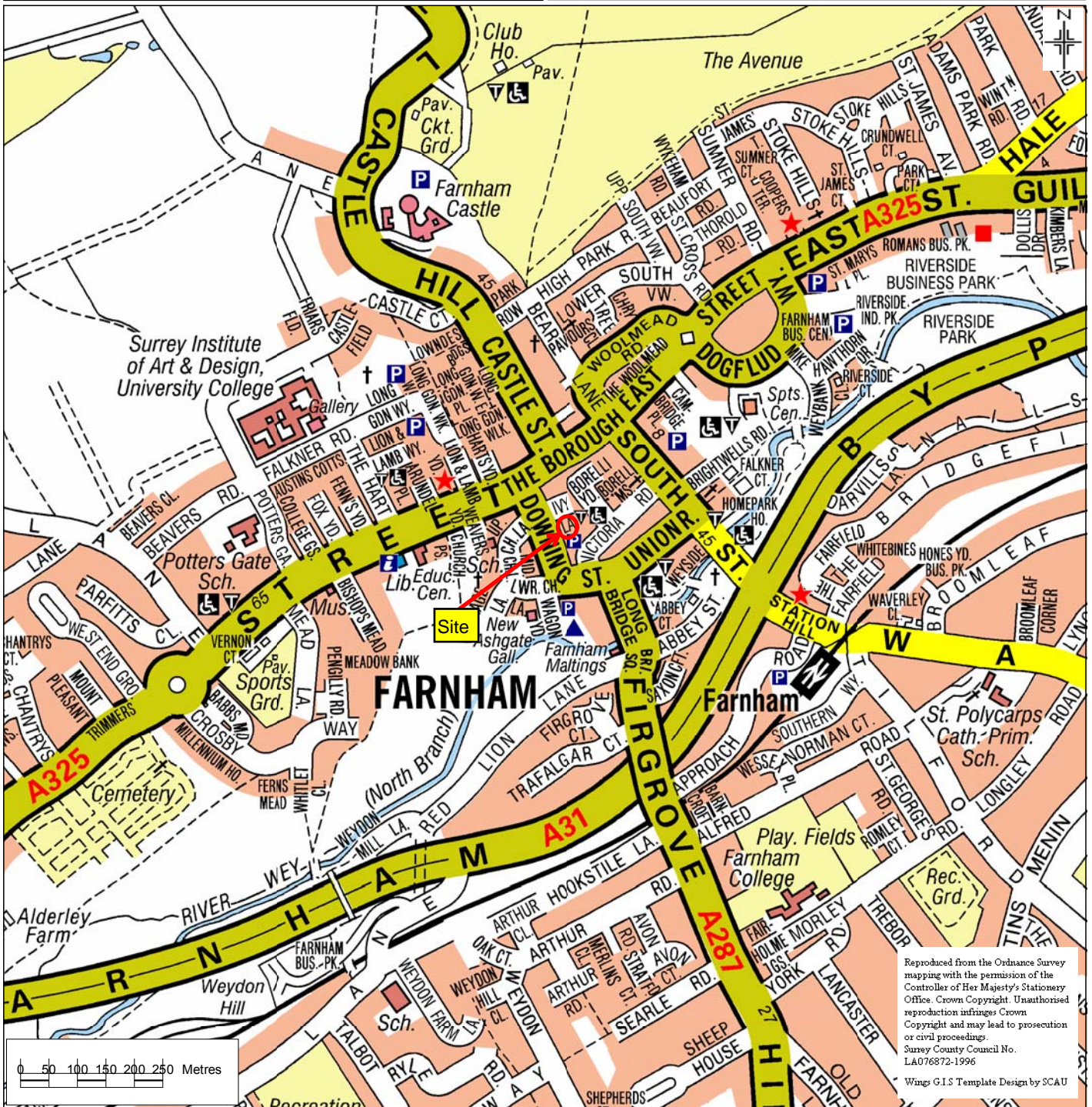
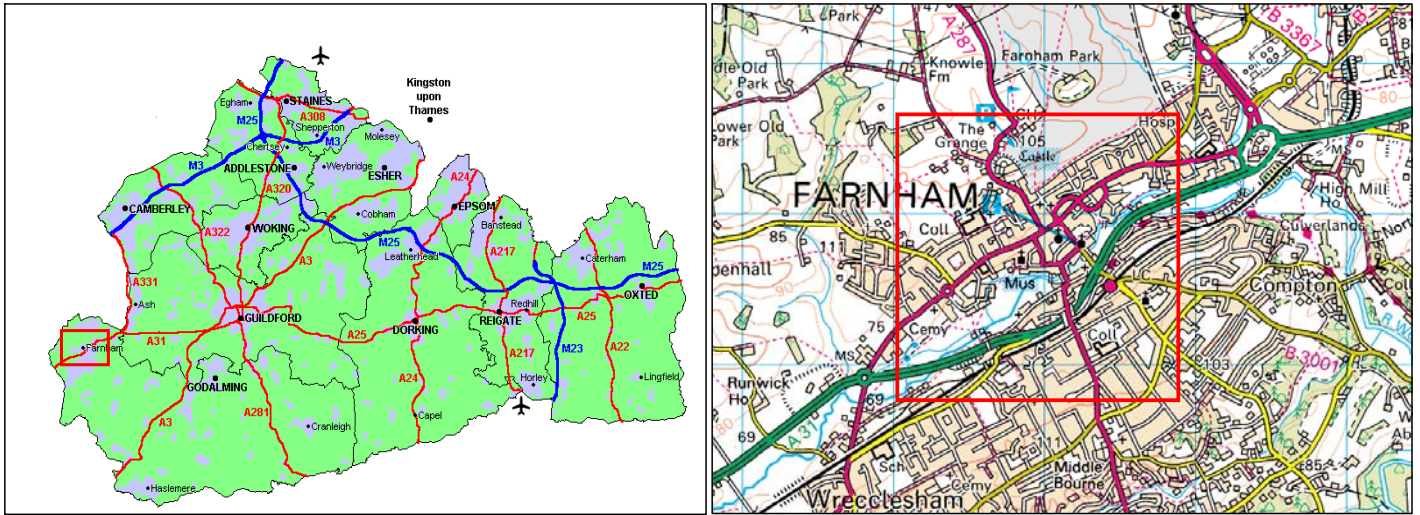




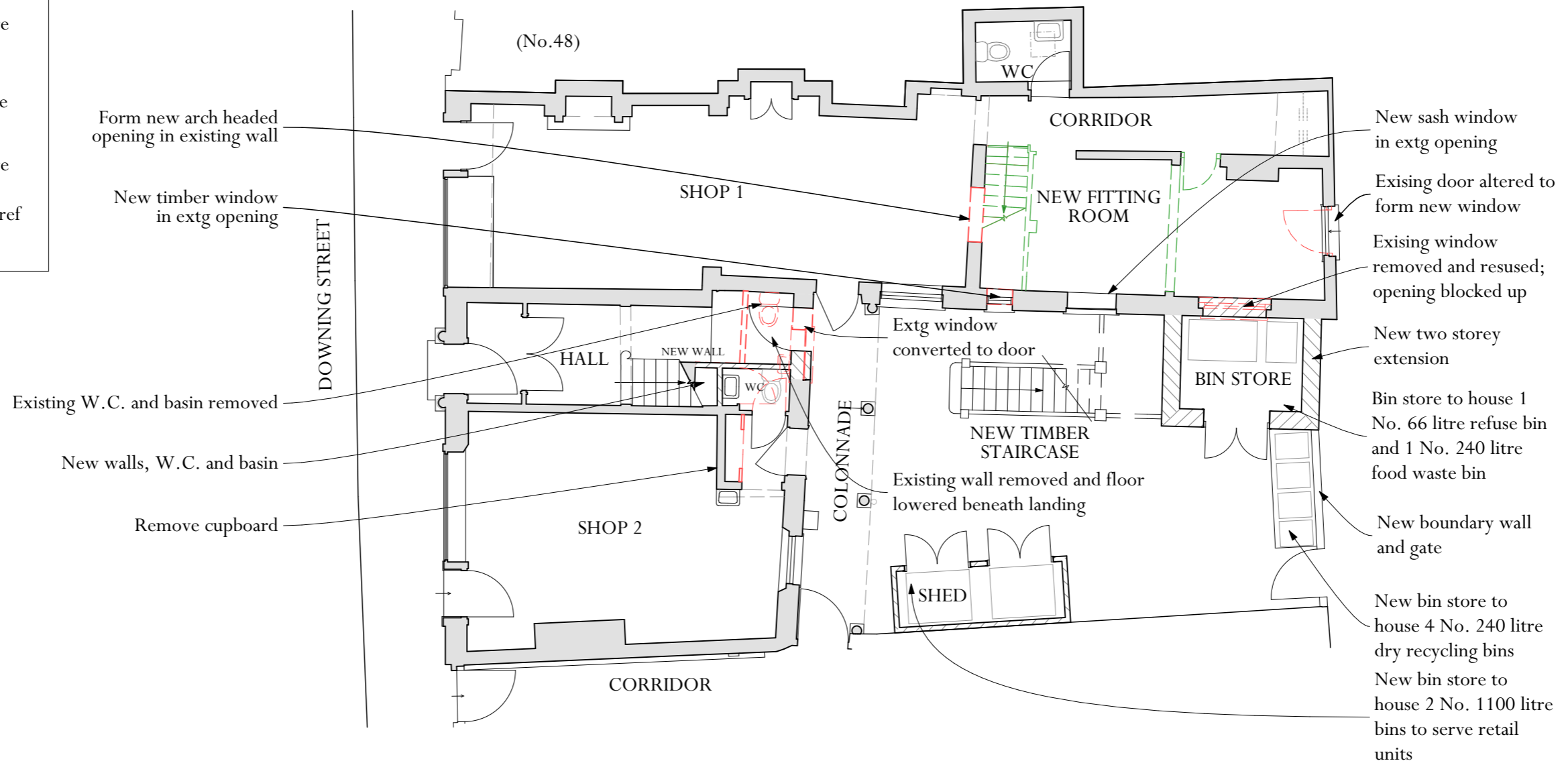


Fig 1 Farnham, 49 Downing Street. Site location map

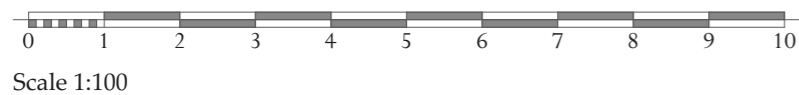
**KEY**

-  Existing structure
-  Removed structure
-  Proposed structure
-  Removed structure granted listed building approval ref WA/2013/0608



## GROUND FLOOR PLAN

Fig 2 Farnham, 49 Downing Street . Plan of proposed development



Adjacent Properties and Boundaries are shown for illustrative purposes only and have not been surveyed unless otherwise stated.

All areas shown are approximate and should be verified before forming the basis of a decision.

Do not scale other than for Planning Application purposes.

All dimensions must be checked by the contractor before commencing work on site.

No deviation from this drawing will be permitted without the prior written consent of the Architect.

The copyright of this drawing remains with the Architect and may not be reproduced in any form without prior written consent.

Ground Floor Slabs, Foundations, Sub-Structures, etc. All work below ground level is shown provisionally. Inspection of ground condition is essential prior to work commencing.

Reassessment is essential when the ground conditions are apparent, and redesign may be necessary in the light of soil conditions found. The responsibility for establishing the soil and sub-soil conditions rests with the contractor.

Rev. Date Description

Initials

SCALE: 1:100 @ A3

PROJECT 49 Downing Street Farnham

DATE: August 2014

TITLE: Proposed Ground Floor Plan

DRAWING No: 5685/PL10

DRAWN BY: MH, DY

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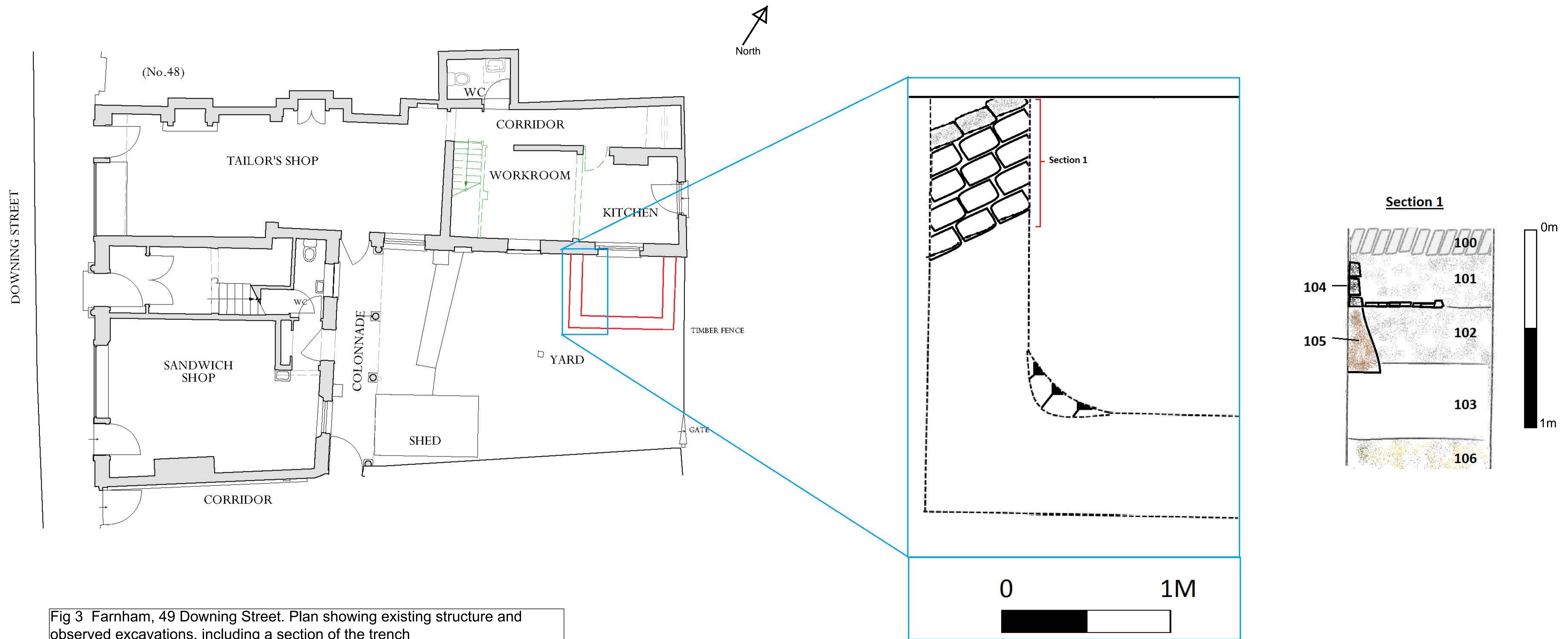


Fig 3 Farnham, 49 Downing Street. Plan showing existing structure and observed excavations, including a section of the trench

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