



**Bristol and Region
Archaeological
Services**

Archaeological Watching Brief
**ST ANDREW'S PRIMARY SCHOOL,
NORTHAMPTON STREET, BATH,
SOMERSET.**

Tim Longman



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FAME
Federation of Archaeological Managers & Employers



Archaeological Watching Brief
at
**ST ANDREW'S PRIMARY SCHOOL,
NORTHAMPTON STREET, BATH,
SOMERSET.**

Centred on NGR ST 74537 65595

Prepared for **Governing Board of St Andrew's Primary School**

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Abbreviations

AD	<i>Anno Domini</i>	EH	English Heritage
aOD	Above Ordnance Datum	Km	Kilometre
BaRAS	Bristol & Region Archaeological Services	m	Metre
BC	Before Christ	NGR	National Grid Reference
BCC	Bristol City Council	NPPF	National Planning Policy Framework
BGS	British Geological Survey	OASIS	Online Access to the Index of Archaeological Investigations
BHER	Bristol Historic Environment Record	OS	Ordnance Survey
<i>c</i>	<i>Circa</i>	PRN	Primary Record Number
DCLG	Dept. for Communities and Local Government		
DCMS	Department for Culture Media and Sport		

NOTE

Notwithstanding that Bristol and Region Archaeological Services have taken reasonable care to produce a comprehensive summary of the known and recorded archaeological evidence, no responsibility can be accepted for any omissions of fact or opinion, however caused.

September, 2013

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SUMMARY

An archaeological watching brief was undertaken during groundwork at St Andrew's Primary School, Northampton Street in Bath. A late 18th-century wall foundation belonging to one of the former terraced dwellings on Williams' Place, a contemporary flagstone yard or lane surface, four 18/19th-century wall foundations and two paved floor/yard surfaces, which belonged to nearby former coach-houses and stables were recorded adjacent to the extant sections of boundary wall to the west of the school playground. Several sherds of mid/late 19th-century and early 20th-century pottery were recovered, but not retained.

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1. INTRODUCTION

- 1.1 Bristol and Region Archaeological Services (BaRAS) were commissioned by the Governing Board of St Andrew's Church of England Primary School to undertake an archaeological watching brief during groundwork associated with the '*extension and improvement to hard paved areas, stabilisation and rebuilding works to existing boundary wall, erection of new ball-stop fencing, erection of vehicular access gate following removal of existing, landscape and access improvement works including new planting*' (Planning References 12/02308/FUL & 12/02309/LBA) (**Figs. 1 & 2; Cover Plate**) at St Andrew's C of E School in Northampton Street in the suburb of Lansdown in Bath.
- 1.2 The watching brief was commissioned to comply with condition 2 of the planning consent (Planning Reference 12/02308/FUL) granted by the local planning authority (Bath & North East Somerset Council) and in accordance with a *Written Scheme of Investigation* prepared by John Bryant MfA (Acting Manager) of Bristol and Region Archaeological Services (Bryant 2012).
- 1.3 The fieldwork was undertaken during several site visits in July and August 2013 by Tim Longman MfA (Project Officer, BaRAS) and Roy Krakowisz (Site Assistant, BaRAS), the former of whom subsequently compiled this report.
- 1.4 The project archive will be deposited with the Roman Baths Museum, Bath under the Accession Number BATRM 2013.20 and a copy of the report will be made available to the English Heritage Archive (formerly known as the National Monuments Record) in Swindon, which is maintained by English Heritage. The project will be entered in the Bath & North East Somerset Council Historic Environment Record (BANES HER) and it has also been allocated the following OASIS ID: bristola1-155200.

2. THE SITE

- 2.1 The site (centred on NGR ST 74537 65595; **Figs. 1 & 2; Plates 1 - 4**) is located 1km north-west of Bath City Centre, on the west side of Northampton Street and the north side of Julian Road, in the suburb of Lansdown. The site boundaries are defined by Northampton Buildings (lane) to the east, and by the back gardens of houses on the eastern side of St James's Square and St James's Place to the west. St Andrew's CoE Church occupies the south-western part of the plot, with the primary school buildings in the south-east and central areas. The current playground occupies the northern part of the site. At present, void ground beyond the western edge of the playground slopes down towards the rear garden walls of Nos. 28 to 34 (consecutive) St James's Square, but it is proposed to enlarge the effective playground area by extending it almost right up to the rear boundary wall of the St James's Square properties. Since this would increase the lateral pressure on the existing rear garden walls, which lie at a lower level and are of variable stability, the plan is to insert a line of gabion baskets immediately to their east, to form a wall that will support the new western edge of the playground.
- 2.2 The site lies within both the Bath World Heritage Site area and the Bath Conservation Area. All of the St James's Square houses are Grade I Listed Buildings, while those in St James's Street and Place are listed Grade II, as are Nos. 4-6 and 11 onwards in Northampton Street. However, there are no listed buildings on the site.
- 2.3 The solid geology comprises undifferentiated Lower and Middle Jurassic Oolitic limestones and mudstones (BGS 2012). The main site is on a south-facing slope that ranges in height from between 52m-54m aOD on Julian Road to above 65m aOD at the northern end of the site. In area the site occupies approximately 1.1 hectares.

3. ARCHAEOLOGICAL & HISTORICAL BACKGROUND

- 3.1 The line of Julian Road is thought to follow the route of the former Roman road known as 'Road 14' (Iter XIV) (otherwise known as the 'Via Julia' MBN 10177, MBN 30147; Margary 54), which was a major Roman road linking Bath (*Aquae Sulis*) with the port of Seamills (*Abonae*), now a suburb of Bristol. *Abonae* probably played a major role in supplying the legionary fortress at Caerleon (*Isca*), near the mouth of the River Usk in South Wales. There was certainly activity in the vicinity of the present site during the Romano-British period, and excavations and observations have revealed much evidence. 'Archaeology in the City of Bath: Supplementary Planning Guidance' (BANES 2004) includes this area at the western end of 'Zone 6, Julian Road'. It states that the zone was occupied from the 1st to 5th centuries AD, and again from c.1800. There have been Roman burials found in the area; evidence of buildings from the period suggests that there was an element of linear development, similar to that identified in Walcot Street.
- 3.2 By the 10th century the site lay in Walcot parish in the hundred of Bathforum in the county of Somerset. Edgar (949-75) was crowned King of England at Bath Abbey in 973.
- 3.3 The granting of city status to Bath, by Royal Charter of Queen Elizabeth I, in 1590 led to the extension of the city boundaries beyond the medieval walls as far north as modern Julian Road. This resulted in the manor and parish of Walcot being administratively divided in two, with Inner Walcot being in the City of Bath while Outer Walcot remained under the hundred of Bathforum, a responsibility of Somerset county.
- 3.4 Thorp's 1740 map of Walcot parish clearly shows the east-west road as '*Weston Lane*', with a number of parallel N-S plots running upslope from it, a possible indication that this was once an open field divided into strips. The parcel containing the present site (plot 42) was named '*Lydes*' by Thorp, as were the adjoining two parcels to the west. The study area was apparently occupied by a William Hooper. Two years later Thorp produced a map of the entire Bath area, labelling the eastern end of the road as '*Common Lane*', this being the access to the upper common, but further to the west, beyond the common, he added the label '*a Foss way*'.
- 3.5 In 1773 a small rectangular plot in the south-west corner of the field was granted by the Hooper family to the dissenting Huntingdon Chapel in Vineyards for use as a burial ground. Four years later John Hooper leased the remainder of the field to the Hon. Charles Hamilton, uncle of William Beckford and a notable landscape gardener, who also acquired two neighbouring fields (plots 41 & 43) from the Rivers estate. North of the site Hamilton leased another freehold plot (plot 65) on which to build himself a house (to be known as 'Rock House' later Bath Girls' High School), construction of which started in late 1779.
- 3.6 Hamilton's garden (which comprised plots 41, 42 & 43) included a kitchen garden with glass-houses, specimen fruit trees, and a 'Pleasure-Ground with ornamental trees and shrubs. Hamilton died in September 1786 and the property was subsequently sold to William Strode. The study area (plot 42) soon changed hands again, being sold in 1789 to the architect Thomas Baldwin who was acting on behalf of the developer William Pulteney. Baldwin subsequently produced designs for the 80 houses to be built on the site, although a layout plan and sample elevations do not include the strip of land (the current site) to the north of the Huntingdon Chapel burial ground.
- 3.7 St James's Square was laid out in the early 1790s. Those properties on the eastern side of the Square, backing onto the site, were designed by John Palmer and built c.1790-93. Immediately east of St James's Place was an undeveloped area, which contemporary larger scale maps recorded as a burial ground. This was the burial ground belonging to the Countess of Huntingdon's Chapel, itself located at the Vineyards. By 1794 the four houses on Williams' Place plus the neighbouring coach houses and stables and several buildings on Northampton Buildings (lane) had been completed, plus five houses on lower Northampton Street and ten houses in Arundel Court (known as Arundel Place by 1815). The 1815 OS 2-inch map showed that by then the area had largely been developed, with St James's Square, St James's Place, Royal Crescent and Abingdon Buildings built, although only lower Northampton Street was fully developed. The Bath Directory for 1846 listed the burial ground as being in '*Cottle's Lane*', as the modern Julian Road was then known.

- 3.8 The original St Andrew's Church was erected on the opposite side of Julian Road, on what is now the grassed-over triangle bordered by Julian Road and Crescent Lane, and during construction in 1869-70 Roman cremations, burials in stone coffins and building foundations were discovered on the site, also a laid surface interpreted as a road.
- 3.9 By the time of the large-scale 1:500 OS survey (**Fig. 3**) of the city in the mid-1880s, the burial ground was disused, but there remained what was probably a mortuary chapel near its northern end. Bounding the northern end of the cemetery was the short terrace of four buildings known as Williams' Place, with smaller shed-like structures on the opposite side of the yard. Immediately to the north again was an east-west terrace of stables, mainly behind No. 33 St James's Square, with a yard (with pump) and further buildings reaching as far as the far end of the back of No.30. Beyond this again were larger structures, possibly housing, at the rear of Nos. 28 & 29 in the Square and fronting onto the lane outside of Northampton Buildings. The city of Bath became a county borough in 1889.
- 3.10 Enemy bombing during the Second World War destroyed the original St Andrew's Church (apart from the tower) along with houses either side of Julian Road and at the junction with Northampton Street. By 1949 numbers 1 – 4 Williams' Place were known as '1 – 4 Prospect Cottages', while number 5 Williams' Place retained its old listing (City of Bath: Register of Electors 1949). The old disused Huntingdon Chapel burial ground remained undeveloped until the new St Andrew's Church was built there in 1962-64, to a design by Hugh D. Roberts, the same architect who designed the nearby Phoenix House (flats). The land had already been acquired by the Diocese of Bath & Wells following its designation for the site of a Church of England school in 1955. The last directory entry for '*NORTHAMPTON BUILDINGS Prospect Cottages*' (Nos. 1-4) and '*Williams Place*' (No.5) appears in the 1965 Post Office Bath Directory. The absence of a listing for either 'Prospect Cottages' or 'Williams' Place' in the 1967 directory probably suggests that the terrace, along with the nearby coach-houses and stables, were demolished to make way for the building of the new school, which was expected to closely follow the construction of the new church.
- 3.11 Excavations in 1986-87 on the site of the proposed St Andrew's School produced evidence of an earlier road alignment, a possible late 3rd/4th century shrine, including a large cobbled area, numerous sherds of Romano-British pottery, coins and metal objects. It should be noted that there was a considerable depth of hillwash and dumping above the Roman archaeology. Further Roman period archaeology, including another fragment of road, was uncovered during a later evaluation to the rear of the Royal Crescent. Finally in 1991, some three decades after the building of the new church a new primary school (St Andrew's), designed by the Nealon Tanner Partnership, was opened on the site of the bombed houses on the corner of Julian Road and Northampton Street and the demolished former Williams' Place/ Prospect Cottages.

4. AIMS & METHODOLOGY

- 4.1 The fieldwork complied with the methodology contained within the *Written Scheme of Investigation* (Bryant 2012). The fieldwork also followed the *Standard and Guidance for Archaeological Watching Briefs* issued by the Institute for Archaeologists (1994, revised 2011) and the *MORPHE Project Managers Guide* issued by English Heritage (EH 2006). The aim of the watching brief was to record any archaeological features or deposits revealed during the course of intrusive groundwork.
- 4.2 The watching brief involved monitoring groundwork activities carried out by H. L. Mills (sub-contractors) during late July and August 2013. These activities consisted essentially of mechanical ground excavation work, principally alongside the shared boundary wall with properties on St James's Square (**Fig. 2**), prior to the laying of a line of gabion baskets immediately east of the wall to provide support for the new extended western edge of the school playground. A second, small excavation also took place beyond the north side of the school in an area of landscaped garden. All groundwork was carried out using a 360° mechanical slew excavator utilising both toothed buckets and toothless grading buckets.

5. RESULTS

- 5.1 The main area of excavation is shown, in detail, on Figure 5.
- 5.2 The first site visits, in late July, involved monitoring initial ground reduction/excavations (**Plate 5**) near the south-west corner of the site (**Fig. 2**), beyond the western edge of the existing school playground. The first phase of work involved excavations to a depth of 2.0m below the level of the existing adjacent playground surface, which was located at a height of 63.28m aOD, for a distance of some 9m to the remains of a projecting masonry wall.
- 5.3 Starting several metres north of the north-west corner of the church/school buildings a strip of ground adjoining the western boundary wall, measuring some 3m wide, was reduced (**Plate 6**) by up to 2m. Observed at the base of the reduced area, after a rapid clean-up, was a narrow length of a demolished wall (104) abutted by a flagstone surface (103) (**Plates 7 & 8**). The wall (104), which measured some 0.4m wide, was constructed from variable sized rectangular blocks of dressed Bath-stone each measuring between 0.22 long by 0.17m wide by 0.15m thick and 0.30m long by 0.23m wide by 0.15m thick, and from bricks measuring 0.24m long by 0.10m wide by 0.05m thick. The masonry was bonded utilising a (much degraded) brownish yellow charcoal flecked mortar. The wall would have formed the north-facing front elevation of Williams' Buildings from its construction c1794 until the terrace was demolished in the mid-1960s. The wall-face (104) was in line with the extant north wall of the neighbouring No. 6 St James's Place, as shown on the 1st Edition OS (**Fig. 3**).
- 5.4 Abutting the latter wall (104) was a flagstone surface (103) composed of slabs of Pennant Sandstone, which ranged in size from 0.32m long by 0.3m wide to 0.82m long by 0.48m wide. They also varied in thickness from 0.04m to 0.07m. The surface, which lay at a height of 61.2m aOD, seems likely to have formed a path providing access to the terraced houses of Williams' Place. There were indications, such as the presence of an upright stone slab in the east-facing section, of a former line of edging stones along the northern edge of the surface. Immediately north of, and probably contemporary with the latter surface, was a layer of dark brown/black buried topsoil (102). The area of ground may have been cultivated as allotments/gardens by the residents of Williams' Place. The deposit measured at least 0.4m thick and extended at least 3.5m towards the north side of the former lane.
- 5.5 Sealing the latter structures (103 & 104) and buried soil horizon (102) was a deep layer of fill/made ground (101), up to 1.2 metres thick, comprised of a mix of Bath-stone masonry blocks and brick rubble in a matrix of loose yellow brown soil. This deposit may represent a demolition layer derived largely from the clearance of Williams' Place (later known as Prospect Cottages) in the 1960s. The latter deposit was, in turn, sealed by a layer of modern topsoil (100).
- 5.6 The north side of the former lane (Williams' Place) was represented by a projecting wall stub (**Plate 9**), which appears to be a remnant of the south-facing wall (107) of the former stables, which stood immediately north of the lane. The wall, built of roughly dressed rubble stone masonry, was bonded with a brownish yellow charcoal-flecked mortar, similar to that found in wall 104 suggesting late 18th century construction. Evidence of later repairs/rebuilding was indicated by the presence of an area of probable 19th-century greyish pink mortar. The surviving wall had dimensions of 2.2m high by 0.48m thick and was at least 4m long (east/west). Surviving wall foundations may continue further east beneath the existing playground. The groundwork contractors demolished part of the wall to permit the installation of the Gabion baskets alongside the new western-edge of the enlarged school playground.
- 5.7 Excavation work then moved to the far northern-end of the site where some 1.3m of modern topsoil (100) and made ground (101) was removed before encountering in-situ structures and deposits. The earliest deposit recorded in this part of the site, a layer at least 0.6m thick of loose greyish yellow clayey soil with numerous limestone inclusions (111), probably pre-dates the late 18th century. Though no contemporary ceramic evidence was recovered from the context, stratigraphically it pre-dates the construction of the stables c1794. Truncating the latter deposit was a narrow wall (108), some 0.24m wide, built of dressed Bath-stone blocks (**Plate 10**). The wall would appear to be the remains of a partition wall within a range of stable buildings on the west side of the stable yard (shown on the 1st Edition OS **Fig. 3**), which

contemporary documentary evidence indicates were built in the 1790s. Traces of wall 108 were also present above ground level, integrated into the east-facing elevation of boundary wall 121 (**Plate 11**).

- 5.8 Abutting the north side of the latter partition wall (108) was part of a cobbled floor (**Plate 10**), the exposed portion of which measured 1.3m wide (east/west) by 0.7m wide (north/south). The roughly dressed Sandstone cobbles (109) were bonded with pale greyish pink charcoal and lime flecked mortar. This cobbled surface, recorded at a height of 62.4m aOD, is probably the floor of a stall within a former stable block that occupied part of the site until the mid-1960s.
- 5.9 Sealing the cobbled floor surface (109) was a 0.04m thick concrete floor (112) that was laid sometime during the 20th century to replace the earlier surface. Possibly contemporary with the latter concrete surface was another concrete floor (110), some 0.07m thick, that lay immediately south of wall 108 sealing deposit 111. The surface of the latter floor was coated in black bitumen, upon which a tiled or linoleum floor may once have been laid. Any cobbled floor that may have preceded the concrete surface must have been removed as no trace of any cobbling was present. These two concrete floors may reflect a change of use of the former stable buildings in the early/mid-20th century with a replacement of horses with motor cars, which required garaging and maintenance facilities. Indeed, contemporary documentary evidence (1921 Post Office Directory) indicates that two residents of Williams' Place were 'coachmen', George Rodway at No. 4 and Charles Hume at No. 6, though the directory entries do not indicate whether they used horse-drawn or motorised transport.
- 5.10 In early August excavation work started on a small area of the garden (**Fig. 2; Plate 12**) that lay between the southern end of the site and the north-west end of the church/school buildings. A live BT cable (labelled 'DUCT 54D BT MJS 47 99') was however soon encountered adjacent to a retaining wall and work was abandoned, the area being re-consolidated. No archaeology was present.
- 5.11 A week later, work resumed in the main trench next to the western boundary wall (**Plate 13**) adjoining the rear gardens of properties on St James's Square. Following the excavation of layers of overlying topsoil (100) and demolition rubble (101) the mechanical excavator soon exposed in-situ archaeology at a depth of about 1.4m below the surface of the nearby playground. The earliest structure recorded on this part of the site was the foundations of a 0.26m wide wall (115) (**Plate 14**) built from blocks of dressed Bath-stone and bonded with brownish yellow mortar indicative of probable late-18th century (c 1794) construction. It appears likely to be the south-facing exterior wall (contemporary with wall 108) of part of a range of stable buildings, it abutted part of the standing boundary wall (121), which being slightly earlier may be contemporary with the building of properties on St James's Square in the early 1790s.
- 5.12 Abutting the south side of wall 115 was a late 19th/early-20th century brick surface composed of small greyish blue-coloured bricks (**Plate 15**) and including a concave-shaped surface rain-water gutter, indicating that it was the floor of an outside yard, which conforms with the cartographic evidence. The bricks were bedded on a layer of grey lime and charcoal flecked mortar (117). The exposed area of yard surface measured 1.4m wide (east/west) by 2.8m wide (north/south) and lay at a height of 62.2m aOD.
- 5.13 There was no sign of an east/west aligned north-facing exterior wall belonging to the range of stables south of the yard. However, a north/south aligned wall (113) (**Plate 16**), which was probably an internal dividing wall, abutted the north side of wall 107. The stone wall, faced with blocks of dressed Bath-stone, bonded with dark grey/black mortar and measuring some 0.4m wide, would appear to date from the late 19th century. Possibly contemporary with the latter wall was a late 19th-century ceramic drain (119), which had been inserted through the lower courses of wall 115 (**Plate 14**). It seems almost certain that the drain continues beneath yard surface 116.

6. DISCUSSION & CONCLUSIONS

- 6.1 No Roman remains were found on the site during the programme of archaeological monitoring. This was because the excavations were not deep enough, late 18th/early 19th-century structures and surfaces being the earliest archaeology recorded. It was already known, from excavations carried out close-by in the mid-1980s that Roman structures and deposits are present in the locality buried beneath a considerable depth of hillwash and dumping along with post-18th century structures and deposits.
- 6.2 Contemporary documentary evidence indicates that building work on the Buttsway development began in 1791 with houses on the lower east side of Northampton Street and Arundel Court (known as Arundel Place by 1815) being built first. Documentary evidence suggests that the short terrace of four houses on Williams' Place and the neighbouring coach-houses and stabling (on the lane later known as Northampton Buildings) were constructed by 1794. It was the wall foundations and floors/yard surfaces belonging to several of these latter buildings that were partially uncovered during the latest watching brief on the site.
- 6.3 While the archaeology did not provide more precise dating evidence as to their construction the findings certainly supported a late 18th century origin. At the southern end of the single narrow trench only a short section of the northern exterior Bath-stone wall (104) of one of the dwellings fronting on Williams' Place, along with an abutting flagstone surface (103) and a buried possible garden soil horizon (102) were revealed, although no contemporary datable finds were recovered from any of the contexts. However, the recorded archaeology did broadly conform to the detailed cartographic evidence provided by the 1st Edition OS plan of 1885.
- 6.4 Similarly, partly due to the small scale of the excavations, only limited archaeological information was provided about the former coach-houses and stabling that stood immediately north of Williams' Place. The single trench transected the width of the south range of stables, continuing into the west range, all originally constructed in the late 18th-century. Excavations revealed the partially extant late 18th-century south exterior wall (107) of the south range, which backed onto Williams' Place and included evidence of 19th-century repairs/reconstruction. The foundation of a late 19th-century partition wall (113) and a remnant of an internal 19th-century mortar sub-floor (117) were also recorded.
- 6.5 In the T-shaped yard to the north an external brick surface (116) survived largely intact some 1.4m below the level of the present school playground. The northern few metres of the trench included structural remains belonging to the western range of stables. These included a late 18th-century Bath-stone external south-facing wall (115), through the base of which had been inserted a late 19th-century ceramic drain pipe (119). In addition, a narrow Bath-stone partition wall (108) and an abutting cobbled floor (109) of a horse stall were also recorded. The latter surface was sealed beneath one of two (110 & 112) broadly contemporary 20th-century concrete floors. These may well indicate that the stables were converted, possibly during the first quarter of the 20th-century, to garages as horses were replaced by motor cars.
- 6.6 Contemporary street directories and electoral registers indicate that the terraced houses of Williams' Place (known as Prospect Cottages by 1949) were inhabited until the early 1960s, though by 1965 only Number 2 Prospect Cottages was occupied. The 1967 Post Office Directory for Bath contains no listing for either Prospect Cottages or Williams Place, suggesting that they (as well as possibly the neighbouring coach-houses and stables) had been demolished to make way for a proposed Church of England primary school.

7. PROJECT TEAM

- 7.1 This report was produced by Tim Longman MfA (Project Officer, BaRAS). The illustrations were prepared and the report compiled by Ann Linge (Design & Production Officer, BaRAS), while the project was managed by Ian Greig MfA (Manager, BaRAS).

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9. ACKNOWLEDGMENTS

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APPENDIX 1: Policy Statement

This report is the result of work carried out in the light of national and local-authority policies.

NATIONAL PLANNING POLICY (ENGLAND)

The *National Planning Policy Framework* (NPPF) for England published by the UK Government in March 2012 states that the historic environment, which includes designated and non-designated heritage assets, is an irreplaceable resource and, as such, should be taken into account by Local Planning Authorities when considering and determining planning applications. This is taken to form part of a positive strategy set out in the respective Local Plan (i.e. *BANES Core Strategy*) to ensure the conservation and enjoyment of the historic environment. The assigned significance of heritage assets will be key factor in terms of their conservation.

Given their irreplaceable nature, any harm to, or loss of, a heritage asset, or heritage assets, should be clearly and convincingly justified as part of a planning application. As part of this, applicants are required to describe the significance of any heritage assets affected by a proposal, including any contribution made by their setting. Where a heritage asset, or assets, are to be harmed or lost as the result of a proposal, the applicant will be required to record and advance the understanding of the significance of that asset or assets, to include making the evidence arising publicly accessible, but this will be in proportion to the significance of the asset/assets in question. While the NPPF takes into account the historic environment as a whole, additional protection is afforded to designated heritage assets under current English Law. Any proposal that would result in harm or loss of a designated heritage asset is also required to be justified by the applicant in meeting strict criteria set out in the NPPF.

LOCAL AUTHORITY POLICIES

Bath and North East Somerset Council's Supplementary Planning Documents (SPDs) *Archaeology in Bath and North East Somerset, 2003* and *Archaeology in the City of Bath, 2004* state that:

- (i) There will be a presumption in favour of preserving any archaeological features or sites of national importance, whether scheduled or not;
- (ii) Development which could adversely affect sites, structures, landscapes or buildings of archaeological interest and their settings will require an assessment of the archaeological resource through a desk-top study, and where appropriate a field evaluation. Where there is evidence of archaeological remains, development will not be permitted except where it can be demonstrated that the archaeological features of the site will be satisfactorily preserved in situ, or a suitable strategy has been put forward to mitigate the impact of development proposals upon important archaeological remains and their settings; or, if this is not possible and the sites are not scheduled or of national importance, provision for adequately recording the site prior to destruction is made, preferably by negotiating a planning agreement to ensure that access, time and financial resources are available to allow essential recording and publication to take place.

The *BANES Core Strategy* (2011) retains some policies from the 2007 *Bath & North East Somerset Local Plan* including for the protection of the historic environment as Policies BH.11, BH.12 and BH.13, which state that development proposals will safeguard or enhance heritage assets and the character and setting of areas of acknowledged importance including:

- Scheduled ancient monuments
- Historic buildings both nationally and locally listed
- Historic parks and gardens both nationally and locally listed
- Conservation areas
- Archaeological remains

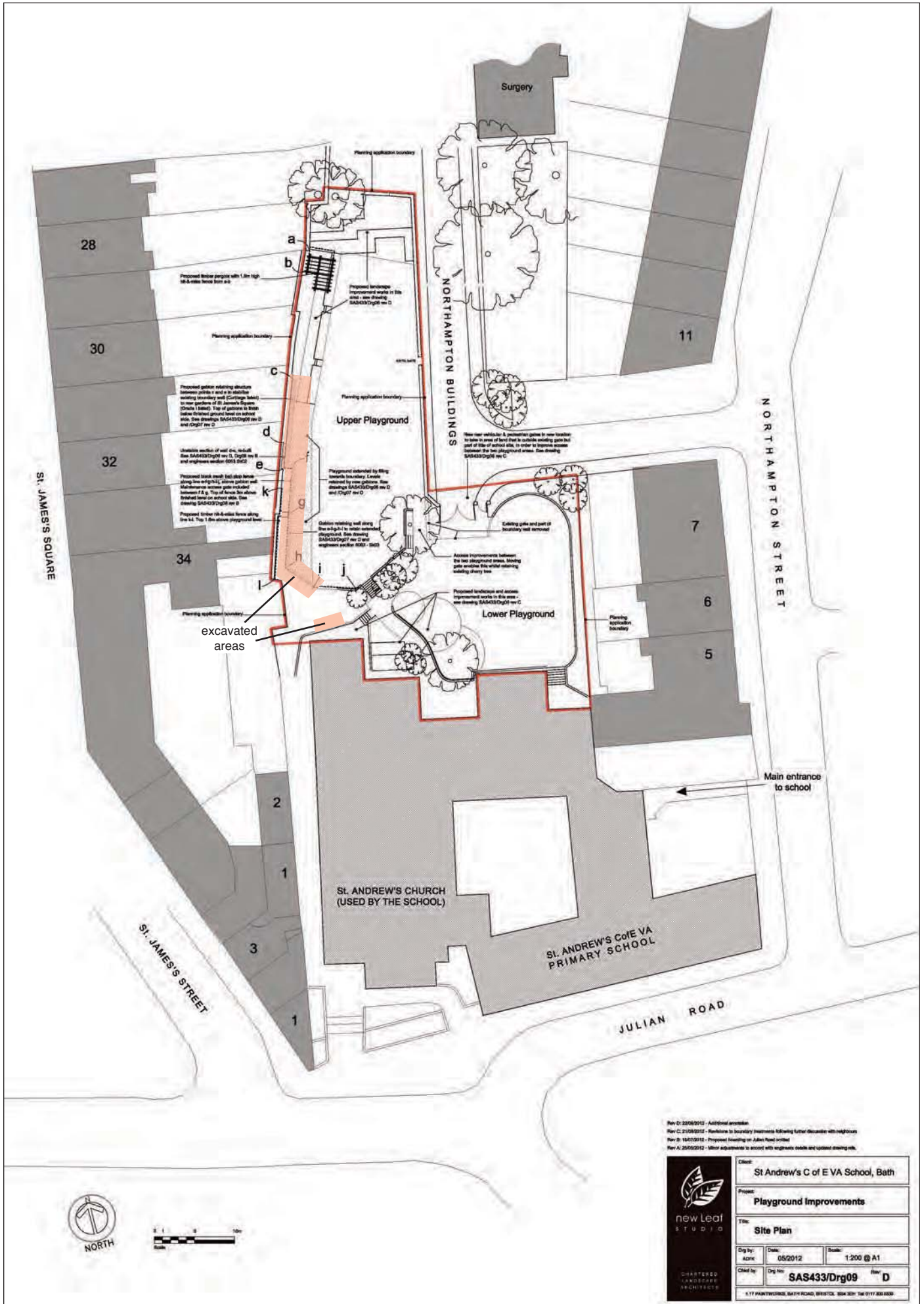
APPENDIX 2: Context Descriptions

Context No.	Description
100	Modern topsoil
101	Rubble (?demolition) layer composed of both dressed and roughly dressed Bath-stone blocks and bricks in a matrix of loose, yellowish-brown clayey silty soil, also containing occasional rooftile, mortar and plaster flecks
102	Buried former garden soil. Friable, dark grey/black silty soil
103	Pennant flagstone floor (?path)
104	Limestone wall, composed of blocks of dressed and roughly dressed Bath-stone bonded with brownish yellow mortar
105	Black, charcoal-rich silty soil. Bedding layer for flagstone floor 103
106	Stiff, greyish yellow silty clay (?natural)
107	Limestone wall, composed of roughly dressed rubble stone
108	Limestone partition wall, composed of blocks of dressed and roughly dressed Bath-stone
109	Cobbled floor
110	Concrete floor
111	Loose, greyish yellow clayey soil with numerous limestone inclusions
112	Concrete floor
113	Limestone wall composed of blocks of dressed and roughly dressed Bath-stone
114	Compacted mortar layer, composed of pale grey lime and charcoal flecked mortar
115	Limestone wall composed of blocks of dressed and roughly dressed Bath-stone
116	Brick yard surface
117	Mortar layer, composed of grey lime and charcoal flecked mortar
118	Construction cut for ceramic drain pipe 119
119	Ceramic drain pipe(s)
120	Layer of hard dark grey/black mortar and Bath-stone fragments – infill around pipe 119
121	Limestone boundary wall, composed of blocks of dressed and roughly dressed Bath-stone



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Fig.1 Site location plan, scale 1:1000, with inset showing plate directions



Rev D: 22/06/2012 - Additional annotation
 Rev C: 21/05/2012 - Resubmission to boundary treatment following further discussion with neighbours
 Rev B: 18/03/2012 - Proposed drawing on Julian Road section
 Rev A: 28/02/2012 - Minor adjustments to account with neighbours needs and update drawing info.

Client:		St Andrew's C of E VA School, Bath	
Project:		Playground Improvements	
Title:		Site Plan	
Drawn by:	Date:	Scale:	
ASR	05/2012	1:200 @ A1	
Checked by:	Drawn by:	Draw No:	Rev:
		SAS433/Drp09	D
1,17 PANTYMOOR, BATH ROAD, BRISTOL, BSK 35Y. TEL 0117 330 839			

Fig. 2 Plan showing Proposed Playground Improvements



Fig.3 Extract from 1st Edition OS (1:500) map of 1885

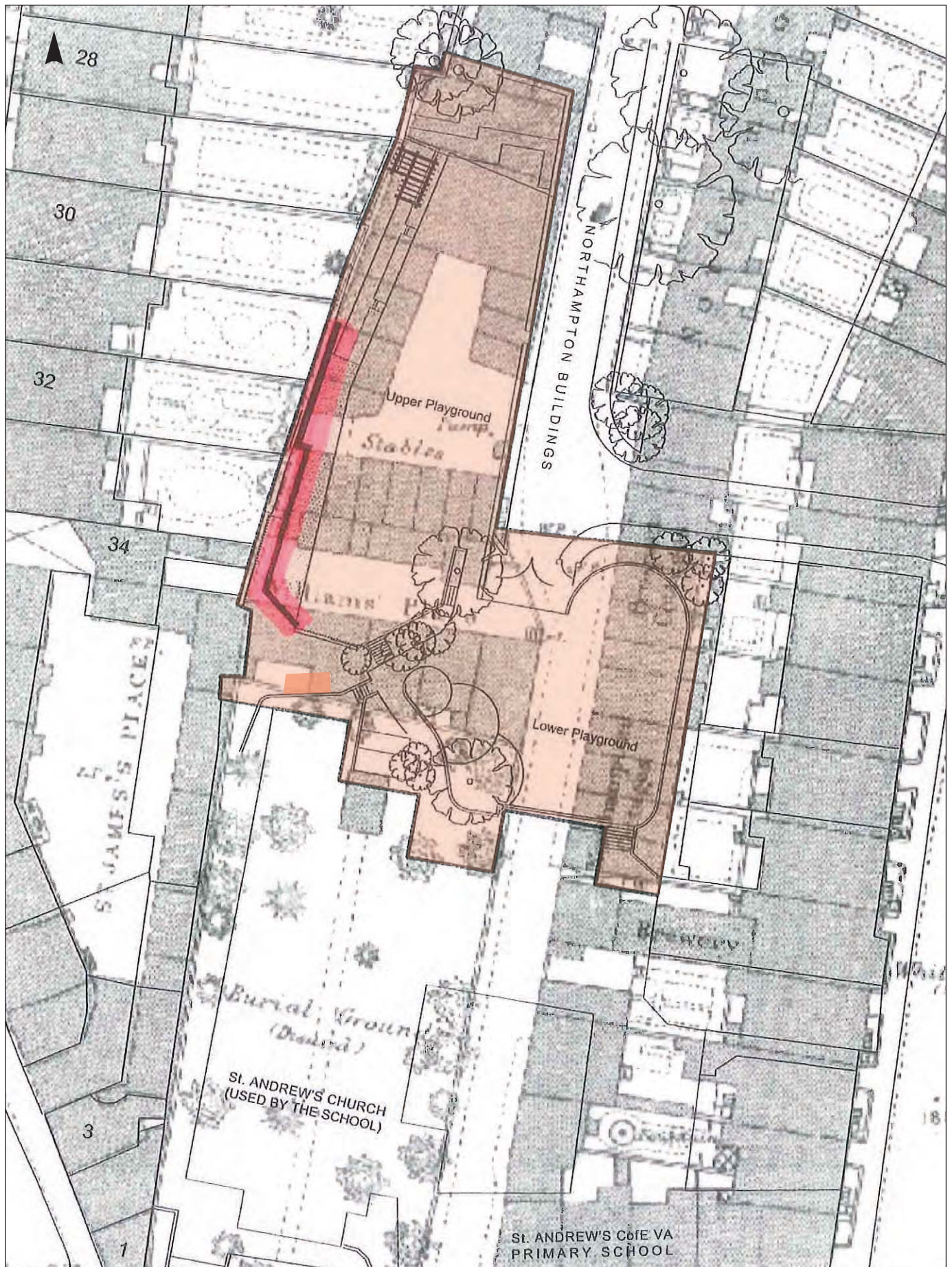


Fig.4 Modern OS superimposed on 1st Edition 1:500 OS, with the areas of excavation highlighted

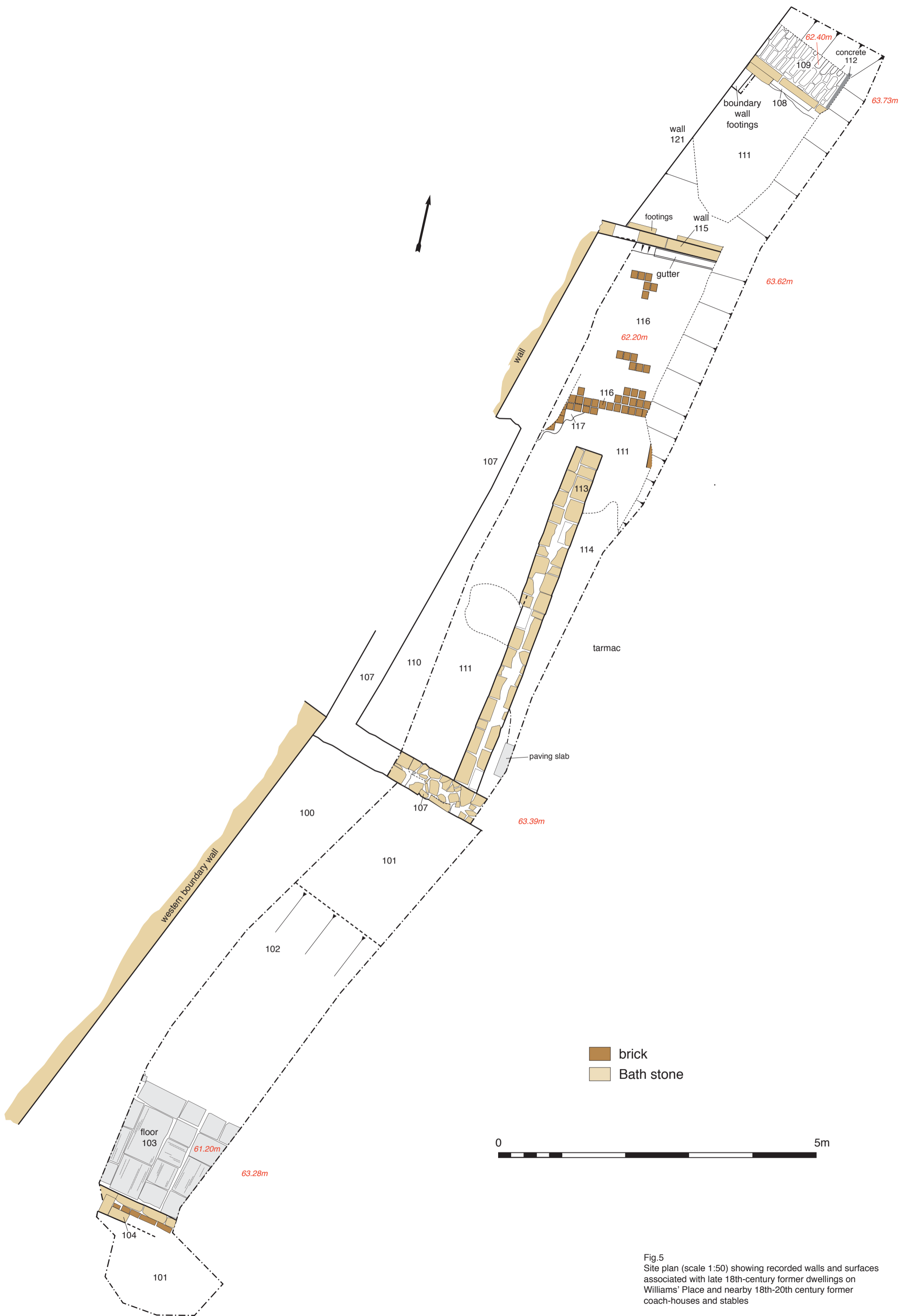


Fig.5
 Site plan (scale 1:50) showing recorded walls and surfaces associated with late 18th-century former dwellings on Williams' Place and nearby 18th-20th century former coach-houses and stables



Plate 1
View of the site, looking south-west, from Northampton Buildings (lane)

Plate 2
The east-facing elevation of the boundary wall, looking west



Plate 3
Looking south-west, alongside the eastern elevation of the boundary wall

Plate 4
The west-facing elevation of part of the boundary wall – looking north-east in the rear garden of No. 33 St James's Square





Plate 5
Mechanical ground excavation work commences at the southern end of the site, looking north-west

Plate 6
Looking north-east at excavation work in progress at the south-west end of the site



Plate 7
Looking west at structural remains belonging to one of the former terraced houses of Williams' Place. Left of the Pennant flagstone surface (103) is the remains of the north exterior wall of one of the houses (wall 104), while to the right is the buried garden soil 102

Plate 8
Flagstone surface 103 and the north-face of wall 104, looking south





Plate 9
South-facing elevation of wall 107; the south (back) wall of former stables north of Williams' Place

Plate 10
Wall foundation 108 and cobbled floor 109; part of a stall within former stable block, looking north-east



Plate 11
Looking north-west at wall foundation 108 and cobbled floor 109; vestiges of wall 108 can be seen bonded into the east-facing elevation of boundary wall 121

Plate 12
Small excavation close to the north-west corner of the church/school buildings, looking south-east





Plate 13
Excavation work in progress
north of wall 107; late Victorian
wall 113 can be seen at the
base of the trench, looking north



Plate 14
Looking south at the foundation
of wall 115, brick floor 116 and
Victorian drain pipe 119



Plate 15
Wall foundation 115 and
brick floor (incorporating
a gutter) 116, looking
west



Plate 16
Looking north along wall
foundation 113 towards
stable yard 116 (bricks)