



Bristol and Region
Archaeological
Services

Archaeological Watching Brief
**LAND TO THE REAR OF
NO. 9 RABY PLACE,
BATHWICK, BATH.**

Alistair Byford-Bates





Archaeological Watching Brief
on land to the rear of

**NO. 9 RABY PLACE,
BATHWICK, BATH.**

Centred on NGR ST 75703 65003

Prepared for **Mr and Mrs Campbell-Howard**

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Abbreviations

<i>AD</i>	<i>Anno Domini</i>	IfA	Institute for Archaeologists
aOD	Above Ordnance Datum	m	Metre
BaRAS	Bristol & Region Archaeological Services	NGR	National Grid Reference
BC	Before Christ	OASIS	Online Access to Archaeological Investigations
<i>c</i>	<i>Circa</i>	OS	Ordnance Survey
EHA	English Heritage Archives		
HER	Historic Environment Record		

Adopted Chronology

Prehistoric	Before AD43
Roman	AD43-410
Anglo Saxon/Early Medieval	AD410-1066
Medieval	AD1066-1540
Post-medieval	AD1540-present

NOTE

Notwithstanding that Bristol and Region Archaeological Services have taken reasonable care to produce a comprehensive summary of the known and recorded archaeological evidence, no responsibility can be accepted for any omissions of fact or opinion, however caused.

November, 2014.

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SUMMARY

An archaeological watching brief was undertaken during groundwork associated with redevelopment in the rear garden of No. 9 Raby Place, Bath. The property is a 19th century Grade II listed terrace house lying within the Bathwick Roman cemetery area, outside of the Roman town boundary, and to the south of a late Prehistoric and Roman settlement.

No significant archaeological features were observed during the watching brief.

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1. INTRODUCTION

- 1.1 This report presents the results of an archaeological watching brief carried out by Bristol and Region Archaeological Services (BaRAS) on behalf of Esmond Murray Architects for Mr. and Mrs. Campbell-Howard of No. 9 Raby Place, Bathwick, Bath.
- 1.2 The fieldwork was undertaken between 26th September and 30th October 2014.
- 1.3 The project archive will be deposited with Bath Roman Museum and Pump Rooms under the Accession Number BATRM 2014.203. A digital copy will also be available. The project will be entered in the Historic Environment Record and in the Online Access to the Index of Archaeological Investigations (OASIS) as: bristola1-190942.

2. THE SITE

- 2.1 A planning application has been granted for the erection of a mews house following demolition of existing rear garden walls and gates (Application Number 13/01407/FUL and 14/02361/VAR) in the rear garden of No. 9 Raby Place, Bathwick, Bath (ST 75703 65003).
- 2.2 The site is situated c 500m to the east of the River Avon and Bath City Centre, on a low river terrace which slopes from 28.06m aOD in Raby Mews to 26.64m at the south-west end of the site. The site is bounded by Nos 8 & 10 Raby Place to the north-west and south-east, and fronts Raby Mews to the north-east.
- 2.3 The solid geology comprises inter-bedded Lower and Middle Jurassic limestone and mudstone, which is overlain by Quaternary river terrace deposits of sand and gravel (BGS 2013). The site lies at the foot of Bathwick Hill, on a gentle west-facing slope that ranges from 28.06m aOD to 26.64m aOD in height.

3. ARCHAEOLOGICAL AND HISTORICAL CONTEXT

- 3.1 The site lies within the City of Bath World Heritage Site and a Conservation Area in Bathwick parish, which forms part of the Bath Forum Hundred. The site is situated on a low gravel terrace to the east of the River Avon, opposite the Roman town of *Aquae Sulis* (Bath). This area (Zone 17) is defined as an 'area with potential for Roman and prehistoric settlement' in *Archaeology in the City of Bath Supplementary Planning Guidance* (B&NES).
- 3.2 The site lies beyond the boundaries of the Roman town, and c 400m to the south of a late prehistoric and Roman settlement in the Bathwick Street area. The site lies within the Bathwick Roman cemetery area (B&NES SMR No. MBN30193), and numerous Roman burials have been found in relatively close proximity to the site, the closest of which, a stone-coffined-burial (B&NES SMR No. MBN4620) was found in the churchyard to the north-west of the site.
- 3.3 Although there has been a settlement near St John's Church on Bathwick Street since the medieval period, most of the area remained undeveloped agricultural land until the 18th century. Development along Raby Place began in the early 19th century with the construction of the Grade II* listed St Mary the Virgin Church (NHLE No.1394251) built in c 1817-20. Nos 1-18 Raby Place and Nos 2-6 Raby Mews are all Grade II* listed (NHLE Nos. 1394596 & 1394598-9), these were constructed between 1823 and 1825.

4. AIMS AND METHODOLOGY

- 4.1 The fieldwork was carried out in accordance with the methodology set out in a *Written Scheme of Investigation* (Greig, 2014), *BaRAS Site Manual* (2005) and the Institute for Archaeologists' *Standard and Guidance for an Archaeological Watching Brief* (IfA 2008).
- 4.2 The site was considered to have archaeological potential, and a condition requiring an archaeological watching brief in accordance with a Written Scheme of Investigation (WSI) to the approval of the planning authority was attached to the planning consent. This is in line with the requirements of the *National Planning Policy Framework* (NPPF) and local policy (**Appendix 1**).
- 4.3 Archaeological features were to be recorded on a site plan at a scale of 1:20. A photographic record of all features was made using digital colour photographs.

5. RESULTS

- 5.1 No archaeological features were uncovered during the course of the construction work. Context descriptions are provided in **Appendix 2**. Natural deposits of angular limestone gravel were found in the trenches beneath layers of redeposited garden soils and building debris.
- 5.2 The ground reduction at the house end of the garden showed that the steps down from the house (102) were built over the patio (100), which was bedded on cement 'blobs' and crushed stone (101) overlying the remnants of a flowerbed (103) and re-deposited soil (107). This over-lay a layer of crushed stone (108) probably related to the construction of the houses. Beneath this were a buried topsoil (109), subsoil and layers of gravel deposits (110/111).
- 5.3 A similarly constructed patio was removed from alongside the raised parking area at the north-east end of the site fronting Raby Mews. A *terminus post quem* of 1994 for the construction of the parking area (207) can be made based on finds found in a sealed context (208) during its demolition. The construction and relationship of the two retaining walls (212/213) against/within this structure is not clear, whether the outer wall is a later addition or built as part of a raised bed at the same time is not apparent, this latter suggestion is implied by the finish on the outer face of the inner wall. Both about the earlier north-eastern garden wall (113) but were not tied into it. The parking area comprises levelling/bedding layers (208/209) over buried garden topsoil, subsoil and building debris (200/201/203), and gravel layers (206/210).
- 5.4 A truncated drain (104) (**Plate 1**) was exposed during the ground reduction at the house end of the garden with a possible further section (116) exposed during the connecting of the foul drains to the existing house system. This earlier system was truncated by plastic rainwater drains (119) for the house and patio limiting any interpretation to its original function, length and points of origin (**Plate 2**).
- 5.5 The excavation of an inspection chamber pit and soakaway exposed natural deposits of angular limestone gravels and sandy clays beneath disturbed and redeposited layers (**Plate 3**). Similar deposits were exposed during the underpinning of the wall (112) between 9 & 10 Raby Place at the mews end of the gardens (**Plate 4**).
- 5.6 Groundwork alongside No. 8 Raby Mews exposed footings and work related to the shortening of the wall (112) separating the gardens of Nos. 8 & 9 Raby Place. Though the two garden walls (112/113) are of identical construction some variation in their foundations was visible in the trench sections, either as levelling or underpinning (**Plates 5 & 6**).
- 5.7 The excavation of the basement level revealed no archaeological features or variation in geology from the underpinning trench (**Cover & Plate 7**).
- 5.8 A delivery of Type 2 stone, early in the watching brief with occasional pottery/china inclusions led to issues of origin and therefore reliability for dating with these types of finds.

6. DISCUSSION AND CONCLUSIONS

- 6.1 No archaeological features pre-dating the construction of Nos 1-17 Raby Place were uncovered during the course of the excavation work.
- 6.2 The stratigraphy of the site shows no evidence of large-scale modification beyond garden landscaping and work related to the construction of the houses.
- 6.3 No evidence of the Roman cemeteries known to be in the area was exposed during the groundworks observed.
- 6.4 No finds were retained from the site.

7. BIBLIOGRAPHY AND SOURCES CONSULTED

Published material

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Unpublished material

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8. ACKNOWLEDGMENTS

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The archaeological work was managed by Ian Greig (Manager BaRAS). Plans, figures, and plates in this report were prepared by Ann Linge (Design and Production Officer BaRAS). The archaeological work was undertaken, and the report written, by Alistair Byford-Bates.

APPENDIX 1: Policy Statement

This report is the result of work carried out in the light of national and local-authority policies.

NATIONAL PLANNING POLICY (ENGLAND)

The *National Planning Policy Framework* (NPPF) for England published by the UK Government in March 2012 states that the historic environment, which includes designated and non-designated heritage assets, is an irreplaceable resource and, as such, should be taken into account by Local Planning Authorities when considering and determining planning applications. This is taken to form part of a positive strategy set out in the respective Local Plan to ensure the conservation and enjoyment of the historic environment. The assigned significance of heritage assets will be key factor in terms of their conservation.

Given their irreplaceable nature, any harm to, or loss of, a heritage asset, or heritage assets, should be clearly and convincingly justified as part of a planning application. As part of this, applicants are required to describe the significance of any heritage assets affected by a proposal, including any contribution made by their setting. Where a heritage asset, or assets, are to be harmed or lost as the result of a proposal, the applicant will be required to record and advance the understanding of the significance of that asset or assets, to include making the evidence arising publicly accessible, but this will be in proportion to the significance of the asset/assets in question.

While the NPPF takes into account the historic environment as a whole, additional protection is afforded to designated heritage assets under current English Law. Any proposal that would result in harm or loss of a designated heritage asset is also required to be justified by the applicant in meeting strict criteria set out in the NPPF.

LOCAL POLICY

Bath & North East Somerset Local Plan including waste and minerals policies Revised Deposit Draft 2003 as approved for used for Development Control purposes contains the following policies:

Policy BH.11 – Development which would adversely affect Scheduled Ancient Monuments or any other sites of national importance, and their settings and does not preserve such sites in situ will not be permitted.

Policy BH.12 – Development which would harm important archaeological remains or their settings outside the scope of Policy BH.11 will not be permitted unless the adverse impact of the development proposal on the remains can be mitigated.

Policy BH.13 – Development which adversely affects significant archaeological remains within Bath will not be permitted unless the preservation in situ of these remains can be achieved through a detailed design and construction scheme.

Two Supplementary Planning Guidance (SPG) documents 'Archaeology in Bath & North-East Somerset' and 'Archaeology in the City of Bath' (both 2004) have been adopted. Their principal purpose is to supplement Policies BH.11, BH.12 & BH.13 of the existing and emerging Bath & North-East Somerset Local Plan and should be read in conjunction with these.

APPENDIX 2: Context Descriptions

Context No.	Type	Description	Stratigraphy
100	Layer	Patio Area. Pennant sandstone slab patio with cement bonding. Slabs 200-500 x 200-900 x 25-75 mm.	Above 101 Abuts 112 & 113 Below 102
101	Layer	Bedding Layer. Reddish brown crushed stone bedding layer for 100. 25mm deep.	Below 100 Above 103 & 107
102	Structure	Stairs. Stone and rendered block-work steps with hand-rail built against 112 leading up to suspended uPVC extension.	Above 100 Abuts 112
103	Layer	Layer. Mid-brown silty clay strip abutting 112, 1200 x 25 mm, length unknown. Possible remnant of former flower bed.	Below 101 Above 107 Abuts 112
104	Structure	Drain. Limestone blocks, 220 x 110 x 100 mm, on edge, mortared with a grey/white mortar containing frequent white and black inclusions capped and lying on cleaved stone slabs 25 mm thick on a mortar bed. Lay out not clear due to truncation by latter rainwater drains and construction.	Above 106 Filled by 105 Above 111
105	Fill	Fill of 104. Clayey silt, grey/black with occasional small stone/chips inclusion. Part fills 104.	Above 104
106	Cut	Cut of 104. 'Square cut' flat bottomed trench for 104. 220 x 420 mm, original length unknown.	Above 107
107	Layer	Subsoil. Light brown silty sandy clay with orangey brown lens and occasional stone chips/fragment inclusions. Infrequent pottery/china fragments. Re-deposited layer 300mm thick, extent unknown.	Above 108 Below 109 & 101
108	Layer	Layer. Pale yellow bath stone debris/conglomeration layer with occasional orangey-yellow weathered areas. Possible packed stone debris layer from the construction of the houses or their extensions. 50-200 mm thick.	Above 109 Below 107
109	Layer	Buried Topsoil. Mid brown silty clay with frequent bioturbation activity and stone flecks, chips and occasional pottery fragments c.200 mm thick.	Above 110 Below 108
110	Layer	Layer. Mid brown sandy clay with occasional charcoal inclusions and stone chips, flecks and fragments in the upper part of the layer c.100 mm thick.	Above 111 Below 109
111	Layer	Natural. Light orangey brown silty clay with angular limestone gravel.	Below 110
112	Structure	Ashlar Wall. Bath stone ashlar block wall separating Nos. 8 & 9. Blocks vary in size between 620-900 x 300-320 x 150 mm with stepped out foundation courses and buttresses.	Above 114
113	Structure	Ashlar Wall. Bath stone ashlar block wall separating Nos. 9 & 10. Blocks vary in size between 620-900 x 300-320 x 150 mm. Not stepped out for foundation courses. No buttresses on side of No. 9 garden. Rubble levelling layers/under pinning at house end and mews end of wall.	Above 115
114	Cut	Cut for 112. Not observed.	Below 112
115	Cut	Cut for 113. Not observed.	Below 113
116	Structure	Drain. Limestone blocks, 220 x 110 x 100 mm, on edge, mortared with a grey/white mortar containing frequent white and black inclusions capped and lying on cleaved stone slabs 25 mm thick on a mortar bed. Not fully exposed. Relationship with layers 107 & 111 unclear. Probably continuation of 104.	Below 101 Same as 104
117	Cut	Cut for 116. Not observed.	Below 116
118	Layer	Topsoil. Dark greyish brown sandy silt c. 200 mm thick.	Above 103 & 107 Abuts 112 & 113
119	Structure	Drains. Modern plastic rainwater drains truncating 104/116, bedded in 101. No cut visible.	Below 100
200	Layer	Buried Topsoil. Buried topsoil layer below patio area and truncated by construction of 207. Mid brown sandy silty loam with frequent bioturbation activity and stone flecks, chips and occasional pottery fragments c. 80-200 mm thick.	Above 201 Below 209 Abuts 205
201	Layer	Subsoil. Light orangey-brown silty sandy clay c. 200 mm thick.	Above 203 Below 200 Abuts 205
202	Layer	Layer. Off-white/pale yellow un-even layer of silty sand and stone chips, fragments and small/medium pieces of stone. c.100-240 mm thick.	Above 201 Below 203 Abuts 205
203	Layer	Layer. Light orangey-brown silty sand with occ. charcoal fleck inclusions c 250-300 mm thick.	Above 203 Below 200
204	Cut	Cut for 205. Not observed.	
205	Structure	Ashlar Wall. Same as 113.	
206	Layer	Layer. Pale orangey-brown/off-white silty sand/gravel and limestone brash.	Above 210 Below 203
207	Structure	Raised Off-road Parking.	
208	Layer	Layer. Brought in levelling layer for 207 comprising road stone and demolition rubble 250 mm thick.	Above 209 Below 211 Abuts 205
209	Layer	Layer. Brought in levelling layer for 207 comprising crushed bath stone c. 300 mm thick.	Above 200 Below 208 Abuts 205
210	Layer	Layer. Sandy angular limestone gravel and stone fragments varying in colour from pale yellow/white through to reddish brown.	Below 206
211	Layer	Paving Slabs and Concrete. Concrete paving slabs bedded on concrete.	Above 208
212	Wall	Part of 207. 'Buried' limestone block wall with course cement mortar bonding.	Above 200, Below 208
213	Wall	Part of 207. Limestone Block wall facing garden made up of varying sized blocks with no clear pattern of coursing.	Above 200

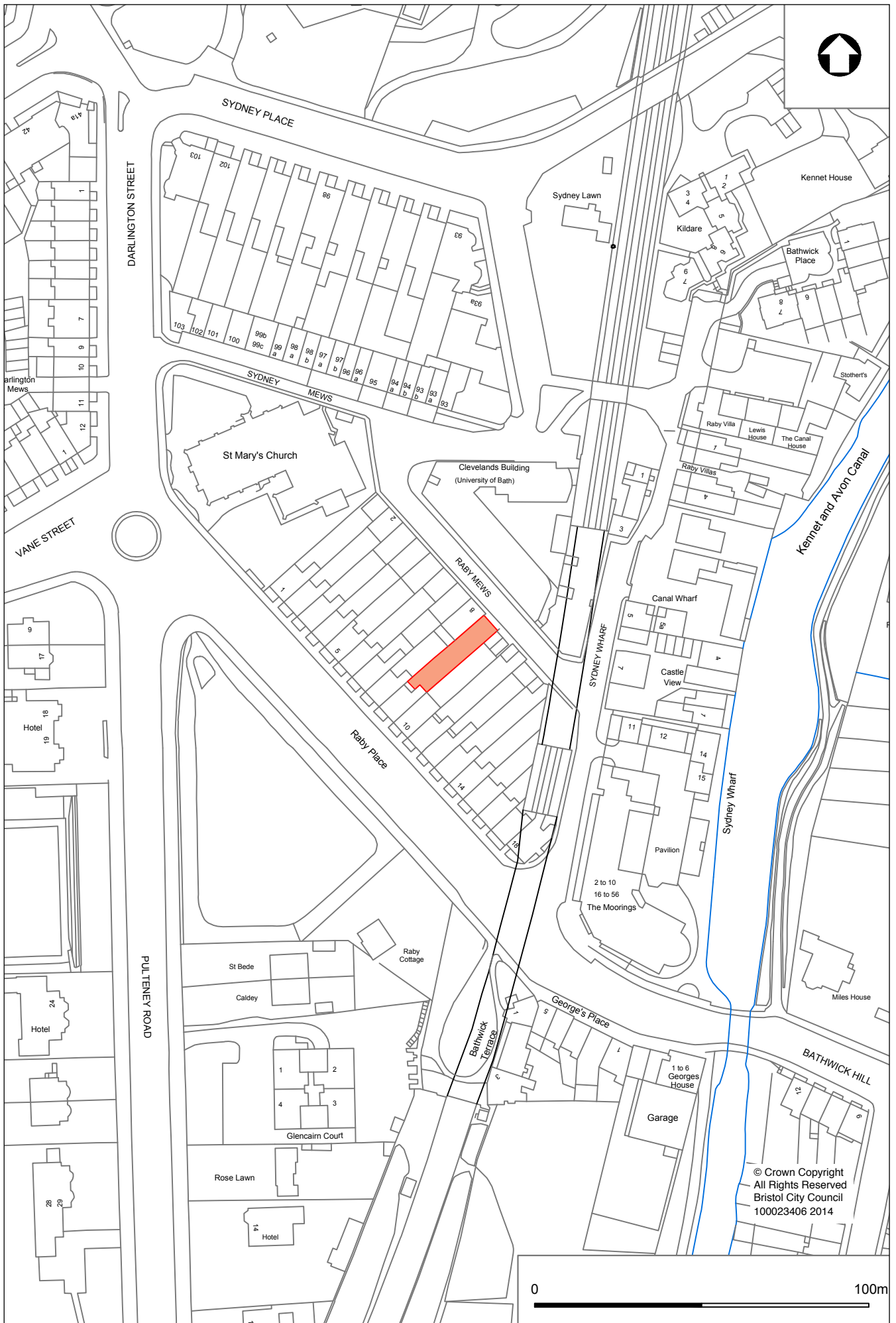


Fig.1 Site location plan, scale 1:1500

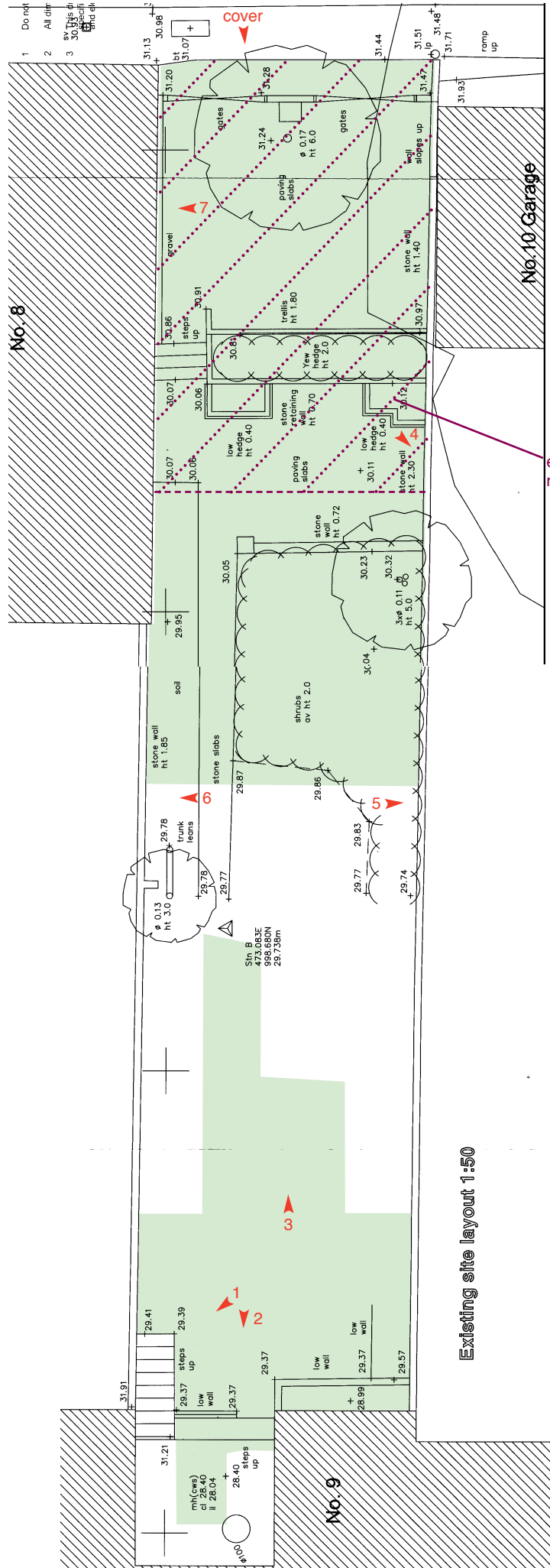


Fig.2
Areas observed during the watching brief (green)



Plate 1
Truncated drain (104),
looking towards the stairs
up to the house (102),
looking west



Plate 2
Truncated drain (104) and
modern rainwater drain
(119), looking south-west



Plate 3
Representative section in
soakaway pit, looking
north-east



Plate 4 Representative section in underpinning trench, looking south



Plate 5 Representative section of south-eastern wall (113)



Plate 6 Representative section of north-western wall (112)



Plate 7 Representative section of basement area, looking north-west