

**Historic building recording
at Market House,
New Road,
Kidderminster,
Worcestershire,
DY10 1AE**

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20th July 2015
Revised 25th August 2015

WSM 66998

OASIS reference number martinco1-221663

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Historic building recording at Market House, New Road, Kidderminster, Worcestershire, DY10 1AE

Introduction

Historic building recording of a building known as Market House at New Road, Kidderminster, Worcestershire, DY10 1AE (SO 83240 76380; Fig 1) was undertaken at the request of Mr Don Cox according to a written scheme of investigation provided by Martin Cook BA MCIFA and approved by Mike Glyde, of Worcestershire Archives and Archaeology Service.

The project was undertaken in advance of the proposed alteration of the building (Wyre Forest District Council, planning ref 15/0119/FULL). A Level 3 project was undertaken.

Summary

The building is principally of a single phase, dating to 1871 when it was built, with alterations after 1959 when it was converted to form a branch of the Royal Air Force Association.

The main part of what may be regarded as the front elevation is executed in an Italian Renaissance style. There is a contemporary, single storey extension on its southern end. The building is executed in Flemish bond in red brick with yellow brick detailing. Arrises, lintels and sills are of stone. Decoration comprises stone shields with double chevrons in the centre of each pediment these being a representation of the coat of arms of Kidderminster Borough Council.

In the centre of the principal part of the elevation is a dedication stone and the roofs are of slate with clay ridge tiles.

The building provided accommodation for the business of the adjacent livestock market and domestic accommodation. It was possible to reconstruct the original interior arrangements and uses of the various rooms, although few, if any, original internal features survived. It is likely that these were removed with the building's conversion to a club in the late 1950s or early 1960s.

A summary will be published in West Midlands Archaeology.

The documentary material

Documentary research at the Worcestershire County Record Office took place on the 19th May 2015 and a search of the Historic Environment Record was received on the 10th June 2015. Further investigation for comparative material was carried out at the Bath and North-East Somerset and the Oxfordshire record offices.

Historic mapping

The earliest available map was the Kidderminster tithe map of 1829 (Fig 2.1). This shows New Street and Market Street but no details of any buildings. The area where Market House now stands was known as Brick Kiln Meadow. The 1st edition Ordnance Survey map of 1889 (Fig 2.2) shows the Market House, its associated stable and the adjacent cattle and vegetable market. The Ordnance Survey maps of 1902, 1924 and 1938 (Figs 2.2 and 2.3) show no significant changes.

The Worcestershire Historic Environment Record

An HER search was carried out on a 500m search area around the proposed development. The site itself, Market House, New Road (WSM 67006) is described as:

Erected in 1871. Red brick construction with buff coloured brick quoins. T-plan with Dutch gables and two Dutch gabled dormers. Stone window lintels and pediments. Single stack brick chimney in gable end. Plain tile roof. Mostly replacement UPVC windows.

In the immediate vicinity of Market House the following sites are recorded by century:

16th century

WSM 16987 2, 3, and 4 Marlborough Street

18th century

WSM 16986 17 and 18 High Street

19th century

WSM 12878 Corn Exchange
 WSM 12904 Chlidema Carpet Factory (site of)
 WSM 12905 Carpet Factory, Stour Vale Mills
 WSM 16964 The Worcester Cross Fountain
 WSM 16991 1 and 2 (Lloyds Bank), Vicar Street
 WSM 16993 The Town Hall, Vicar Street
 WSM 17258 Watson's Bridge across River Stour
 WSM 17259 Stour Vale Bridge across River Stour
 WSM 17261 Cape of Good Hope Bridge across River Stour
 WSM 35974 Factory Offices Built for Brintons Carpet Manufacturers
 WSM 35976 66 (Barclays Bank) Oxford Street
 WSM 36210 The Corn Exchange inn, New Road
 WSM 41526 The Swan public house, Vicar Street
 WSM 12894 Library, Museum and Institute, Exchange Street
 WSM 16965 Site of Pike Mills carpet factory, Green Street
 WSM 16966 Site of Carpet Works at Green Street
 WSM 19977 Site of Shed C at Brintons Carpet Factory
 WSM 33950 Site of Warehouse at Brintons' Carpet Factory
 WSM 34538 Tramway, Kidderminster and Stourport Electric Tramway Company
 WSM 36202 Site of Saw Mill and Timber Yard
 WSM 36205 Site of Public House, New Road
 WSM 36211 Site of Inn, New Road

20th century

WSM 33949 Site of Original Main Block, Waterside Mill carpet factory
 WSM 33951 Site of Shed G, Brintons' Carpet Factory
 WSM 38535 Probable Site of Tramway Shelter, Oxford Street

Archaeological work in the vicinity has identified mainly 19th century elements:

WSM 25984 Salvage recording observed deposits dating only to the late 19th or early 20th century

WSM 30865 Deposits were recovered attesting to the presence of an undated alluvial sequence, a post-medieval pond and 18th century back plot or garden features. Brick footings and floors relating to the 19th century Brintons Carpet factory were recorded together with the substantial remains of the 'Hercules' engine house constructed in 1879.

WSM 34072 Building Recording of Brintons carpet factory prior to a major redevelopment involving demolition of most of the factory.

WSM 40609 Building evaluation and recording: Brinton's Offices are a range of Grade II listed, Italianate, brick built, structures dating from 1876 and 1926. The buildings still contain a large number of original features from these dates. Hidden within the buildings was a small rectangular structure dating from around 1820 and a long building dating from the mid 19th century. This building was also brick built but using polychrome brickwork, giving a striped appearance. The 1820 building is probably the last surviving building from the first Brinton's carpet factory

Commentary

The subject of this project lies in a substantially 19th century landscape with a few survivals from the 16th century onwards.

The fieldwork

General

Fieldwork took place on the 15th June 2015. It comprised a walk-around survey, with as-existing architect's plans and elevations which were annotated with historic information relating to the construction and sequence of development of the building. Photographs were taken as appropriate.

Market House - description and commentary

General

Although much altered and with few original internal features, the building is substantially of a single phase. It was built (and remains) 'L' shaped in plan. Its most impressive elevation faces east onto New Street (Fig 3.1) and this must be regarded as its front elevation although its business, as a functional part of Kidderminster's cattle and vegetable market, was all conducted to its north-west (see below). This is reflected in the absence of any entrance in the east elevation.

The elevations

Phase 1 - 1871

East elevation

The principal part of the east elevation (Figs 3.1 and 5) is symmetrical and executed in an Italian Renaissance style, previously popular in the late 16th and early 17th centuries. There is a contemporary, single storey extension on its southern end. Both were executed in Flemish bond in red brick with yellow brick detailing. Arrises, lintels and sills are of stone. Decoration comprises stone shields with double chevrons in the centre of each pediment (Figs 3.1 and 13). These are a representation of the coat of arms of Kidderminster Borough Council (*Azure two Chevrons Or each charged with five Pellets between in chief two Shuttles chevronwise Or threaded Gules and in base a Bee volant Or*).

There are stars on the springing of the pediment coping (Figs 3.1 and 12). The top of each pediment is further enhanced with an iron finial (Figs 3.1 and 11). In the centre of the principal part of the elevation is a dedication stone (Figs 3.1 and 14):

KIDDERMINSTER
CATTLE MARKET
ERECTED 1871
SAMUEL TOVEY MAYOR

It also gives the names of the architect, J H Moore, and the building contractor, Goodman and Durmore.

The roofs are of slate with clay ridge tiles.

North elevation

All the principal features of the north elevation are the same as the east elevation (Figs 3.2 and 6). All of the lintels, however, have been replaced with concrete. Unlike the east, this elevation is a 'working' elevation and has two entrances, one now blocked. The surviving entrance in the centre of the elevation (now obscured by a wooden porch - see below - *Phase 2*) is the entrance to the domestic areas of the building. The other gave access to the north-west room from the exterior, without having to pass through the domestic apartments. This was the room devoted to the business of the market. This point will be returned to below (**Discussion**).

At the western end of the north elevation is a small, single storey, single cell structure, executed in Flemish garden wall bond with a slate roof. It has a small chimney in its north-west corner (Figs 3.2 and 8). It has a door divided in half at mid-height and was clearly a stable for the accommodation of the market superintendent's horse. The chimney would have served a small stove for the provision of hot water for cleaning the animal's tack.

West elevation

Similarly, all the principal features of the west elevation are the same as the east and north elevations (Figs 3.3 and 7), although the southern half of the elevation (that part of it behind the

stable and within a yard) is rendered in Flemish garden wall bond. Again, all of the lintels have been replaced with concrete

Phase 2 – after 1959

East elevation

No elements of the east elevation relate specifically to phase 2.

North elevation

The western doorway was blocked and a wooden porch was erected in front of the central doorway (Figs 3.2 and 6). These changes are believed to relate to the conversion of the building to the Royal Air Force Association (RAFA) Club (see below - **Discussion**).

West elevation

Apart from the porch already referred to above, a fire escape was erected in the yard, presumably associated with the RAFA Club (Figs 3.3 and 9).

The plans

Phase 1 - 1871

Ground floor – Room 1 (Figs 3.4, 15 and 16)

Room 1 is entered from the left-hand side of the hallway (Room 6) and has windows on its north and east sides. In phase 1 there was a continuous wall on its south side with a fireplace, now marked by the remains of the hearth (Fig 15). Being immediately adjacent to the principal entrance, it is likely that this was the 'sitting room' of the domestic accommodation.

Ground floor – Room 2 (Figs 3.4 and 17)

Room 2 has a window in its east side only (although it is possible that it had another in its south-west corner, converted to a serving hatch in phase 2) and was originally entered from a door in its north-west corner, at the foot of the original staircase; that door now blocked and a new staircase (phase 2 – see below) inserted across it. It had a fireplace in its south wall. Having direct access to the original kitchen (room 3) *via* a now blocked doorway, it is likely that this was the 'dining room' of the domestic accommodation.

Ground floor – Room 3 (Figs 3.4 and 18)

Room 3 had a window in its east and west sides and doors in its north (from room 2), south (giving access to the outside toilet; room 4) and west (giving access to the yard).

Ground floor – Room 4 (Figs 3.4 and 19)

This was approached *via* a doorway from room 3, by a doorway in its west wall and also, originally, from the yard. It had no windows but made use of a vent above its doorway to provide some illumination.

Ground floor – Room 6 (Figs 3.4, 24 and 25)

Room 6 is entered from a doorway in its northern end and originally gave access to rooms 1, 2 and 7 and also to the stair to the first floor. The original stair had to accommodate the original entrance to room 2 at its foot and must, therefore, have been steeper (Fig 25).

Ground floor – Room 7 (Figs 3.4 and 23)

Room 7 has a window on its west side only (over looking the market) and originally had doorways in its east side (to room 6) and in its north side giving access from the market without having to pass through the domestic accommodation. It had a fireplace on its south wall. This would have been the 'settling room' for the market where buyers paid the sums that they had bid for the animals and produce.

Cellar – Room 8 (Figs 3.5 and 20)

This rectangular space was used for coal.

Cellar – Room 9 (Figs 3.5 and 21)

This rectangular space was used as a larder and cool store.

First floor – Room 10 (Figs 3.6 and 27)

Room 10 is entered from the landing. The position of the original doorway would have been in its north-west corner but this has been lost. The room has a window in its north and east sides.

First floor – Room 11 (Figs 3.6 and 28)

Room 11 is entered from the landing. The room has a window in its east side and a former hearth in its south-west corner.

First floor – Room 12 (Figs 3.6 and 29)

Room 12 is entered from the landing. The room has two windows in its north side and a single window in its west side. There is a blocked fireplace in the south wall.

Phase 2 – after 1959

All the alterations of phase 2 were undertaken as part of the conversion of the building to form the RAFA Club.

Ground floor – Room 1 (Figs 3.4, 15 and 16)

The south wall and its associated fireplace was removed to form a large meeting/dining room.

Ground floor – Room 2 (Figs 3.4 and 17)

The north wall was removed to form a large meeting room for the RAFA Club. Its original doorways in its north-west and south-east corners were blocked, the former to accommodate a new staircase; the latter because alternative access to an enlarged kitchen (see below, room 5) was to be provided. The window in its south-west corner was remodelled to form a serving hatch.

Ground floor – Room 3 (Figs 3.4 and 18)

The original doorway in its north-east corner was blocked. The original doorway into the yard was opened-up to provide better access to the enlarged kitchen (room 5).

Ground floor – Room 5 (Figs 3.4 and 22)

An extension was erected in the original yard, providing an enlarged kitchen. This blocked the access to the toilet from the yard.

Ground floor – Room 6 (Figs 3.4, 24 and 25)

As noted above, the original staircase was replaced, presumably with one with modern rises and goings.

Ground floor – Room 7 (Figs 3.4 and 23)

The doorway in the north wall was blocked.

First floor – Rooms 13 (Figs 3.6 and 26)

The extension to the kitchen on the ground floor was of two stories, the upper floor of which provided additional toilet facilities.

Discussion

Phase 1: comparative material: buildings associated with livestock markets

Comparative information regarding a number of other livestock markets was collected. The appropriate county record offices for Bath (Bath and North-East Somerset), Oxford (Oxfordshire) and Rugby (Warwickshire) were consulted. Site visits were also made to the locations of the former markets in these towns where there were relevant surviving structures.

The best information came from Bath where the site of the market still exists as an open space with various surfaces and apparatus (cattle rings, stall divisions, etc) surviving around its periphery (Fig 4.1). Of particular interest was the market house, with a carved lintel over its entrance (CORN MARKET). This is shown on a large-scale map of the city (at an imperial scale but approximately 1:500), dated to 1818 and depicts a classically proportioned, double pile building in Bath stone at the entrance to the market.

The 2nd edition Ordnance Survey map of 1900 of the centre of Oxford shows the livestock market formerly held at Gloucester Green (Fig 4.2). In 1818 a cattle market was held at Carfax and was moved from there to Gloucester Green, where in 1835 it was re-established on a monthly basis. From 1860, when it was already developing as a general market, it was held fortnightly. The site was enlarged in 1877 when the prison was demolished and the market was rebuilt with money raised by mortgaging the tolls. It was fitted with pens and stalls in seventeen avenues with a settling-house in the centre (Cooper 1979). Unfortunately, no details of this 'settling house' could be located but it was clearly a substantial building, located in a prominent place in the market.

At Rugby, a similarly substantial building is shown, by the Ordnance Survey map of 1913, at the entrance to the former livestock market adjacent to Brownsover Mill Road (Fig 4.3). Fortunately, a postcard of this market, taken before 1906 (Fig 4.3), shows a solidly built rectangular building with a symmetrical front elevation and a substantial dormer carrying what appears to be a clock.

An architect's plan of 1890 shows a proposal for Worcester livestock market (Fig 4.4) in the area between Croft Road, The Butts, Croft Walk and the Worcester and Malvern Railway line. This shows an octagonal building, called the 'Business House' near the centre of the market. As with Oxford, no images of this building could be traced but by association with the examples above and from the example at Kidderminster, it may be presumed to have been intended to have some architectural pretension.

It is clear from the above examples that the Market House at Kidderminster was not an isolated example of excess of civic pride. The provision of an imposing building in which participants in market activities could conduct and conclude their business was widely considered to be essential in the 19th and early 20th centuries. The borough council clearly wished to be associated with the market as they applied their coat of arms to the various façades.

The arms are based upon the unofficial arms previously used by the Borough, which were adopted at some point in the 18th century, as they appear in that form in a cartouche on Doharty's 1753 map of the town. There seems little doubt that the Borough appropriated, with the substitution of bezants for plates, the existing arms of Kidderminster Inn, a house in Chancery Lane in London occupied by lawyers of the Court of Chancery. Kidderminster Inn had been built by Edmund Kedermister or Kidderminster of Langley Marish, Buckinghamshire around 1600, and he adapted his family coat of arms [*Azure two chevronels Or between three Bezants*] for the arms of the building. When the Corporation of Kidderminster, realising, it would seem, that the arms of Kidderminster Inn were an adaptation of those of the Kidderminster family, took details from both sources, e.g. the bezants from the family coat of arms and the four roundels per chevron from those of Kidderminster Inn. Another theory is that the black roundels added for difference may have been suggested by the red roundels in the arms of the See of Worcester.

The need for an imposing market building may have come somewhat late to Kidderminster. A cattle market had long been carried on in its streets, particularly Mill Street, High Street and Worcester Street. As early as 1857 the need for an enclosed cattle market had been accepted but nothing was done until 1870. In that year the site known as Clay Pools and fronting Caldwell Row (now Market Street) was offered for sale. 'Honest George' Holloway, an auctioneer and member of the council, obtained an excellent bargain when he purchased the site on behalf of the Corporation at 3 shillings per sq yd. In the same year he purchased a further area fronting New Road at 7s 6d per sq yd. Thus the site for the proposed cattle market became available and the first market was held there on October 26 1871 (Tomkinson and Hall 1975).

Phase 2: conversion to the RAFA Club

In June 1955 work began on a new cattle market which was built on an 8 acre site adjoining Comberton Hill. This market was opened on September 8 1959 (Tomkinson and Hall 1975). Subsequently, the former Market House was obtained by the Royal Air Force Association.

History of the Royal Air Force Association

In 1929, in the Sergeants' Mess at RAF Andover, three men named Vernon Goodhand, Joe Pearce and Warrant Officer Bartlett met to discuss the formation of a single organisation dedicated to the welfare of serving and ex-serving RAF personnel: one which would replace the many smaller

organisations that had grown to keep former servicemen in touch since the end of the First World War.

By 1930 a provisional committee had been formed called 'Comrades of the Royal Air Forces Association' and the first general meeting of the new organisation took place at the Queen's Hotel, Leicester Square, London. Air Ministry support for the Comrades came in 1933 when the Air Council officially recognised the organisation and Lord Trenchard accepted the Presidency. Throughout the early thirties the new Association made rapid progress, establishing benevolent schemes and distributing Christmas hampers to unemployed members. In 1936, King George VI gave his patronage – and the Association has been honoured with royal patronage ever since.

Following the outbreak of war in 1939, the Women's Auxiliary Air Force reformed, and the 'Women's Royal Air Force Old Comrades Association' (created in 1919) opened its membership to all ranks of the new female air service. In 1941, the two Old Comrades organisations for airmen and airwomen merged, resulting in a combined membership of nearly 20,000.

By 1943, with more than a million serving in the RAF, the organisation's name was changed to the 'Royal Air Forces Association'. A National Council, under the chairmanship of Air Chief Marshal Sir John Steel was formed to replace the Central committee of CRAFA. The foundations of the charity's present structure were laid during the remaining wartime years, and the Association was fully prepared for the consequences of demobilisation, which began in 1945.

In 1947 membership reached a peak with around 200,000 members with some 565 branches throughout the UK and in some overseas territories were established.

Assessment of the building's significance

The Market House is not listed but it is clearly of considerable local significance as it is the only remaining physical evidence of the site of Kidderminster's livestock market from 1871 to 1959. It also represents a move away from holding these markets in the streets of a town. In doing this, it is another example of the growth of civic pride during this period.

The Victorian era saw considerable expenditure on monuments to civic pride. The competitive ethic which drove so much business enterprise was channelled by local worthies into spending on opulent town halls and other civic buildings such as buildings to house market activities which were the source of much of the wealth of the time. By no means all of these structures were intended for the use of a propertied elite. Libraries, wash-houses, swimming baths and market houses were all funded as part of a determination to provide working people with the means to improve themselves.

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Internet sources

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http://www.bbc.co.uk/history/british/victorians/overview_victorians_01.shtml

http://www.civicheraldry.co.uk/worcs_ob.html

Acknowledgements

The author would particularly like to thank Mr Don Cox, Mike Glyde, Aisling Nash and Adrian Scruby of Worcestershire Archives and Archaeology Service for their kind co-operation.

Archive

The physical archive consists of:

- 1 Hard copy of the report
- 1 Hard copy of the brief
- 1 Hard copy of the written scheme of investigation

It will be deposited at Worcestershire County Museum, Hartlebury upon approval of the report.

The digital archive consists of:

- 1 text of the report (.doc format)
- 14 drawings (.bmp format)
- 28 photographs (.bmp format)

The digital archive will be deposited with the Archaeology Data Service.

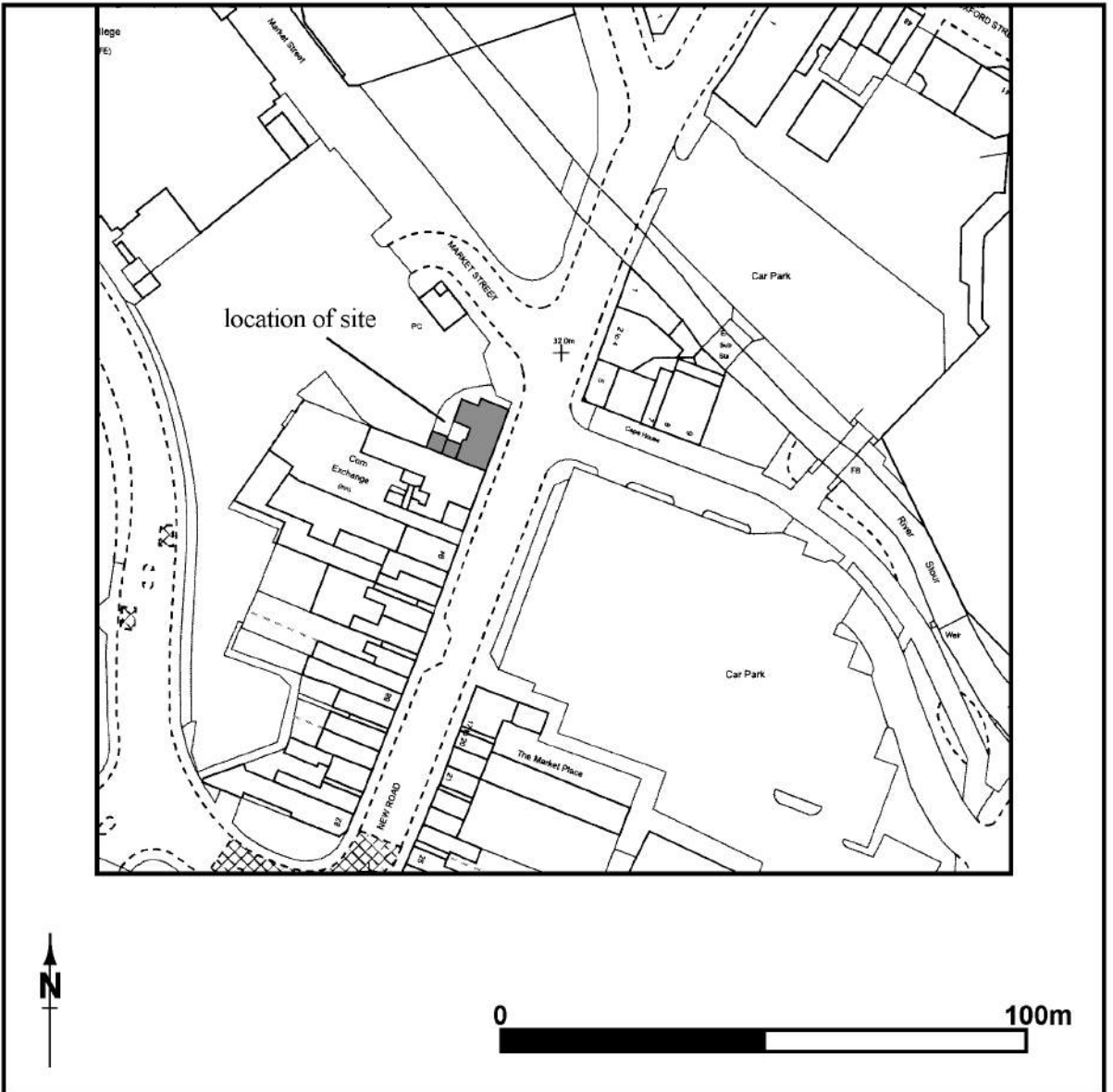


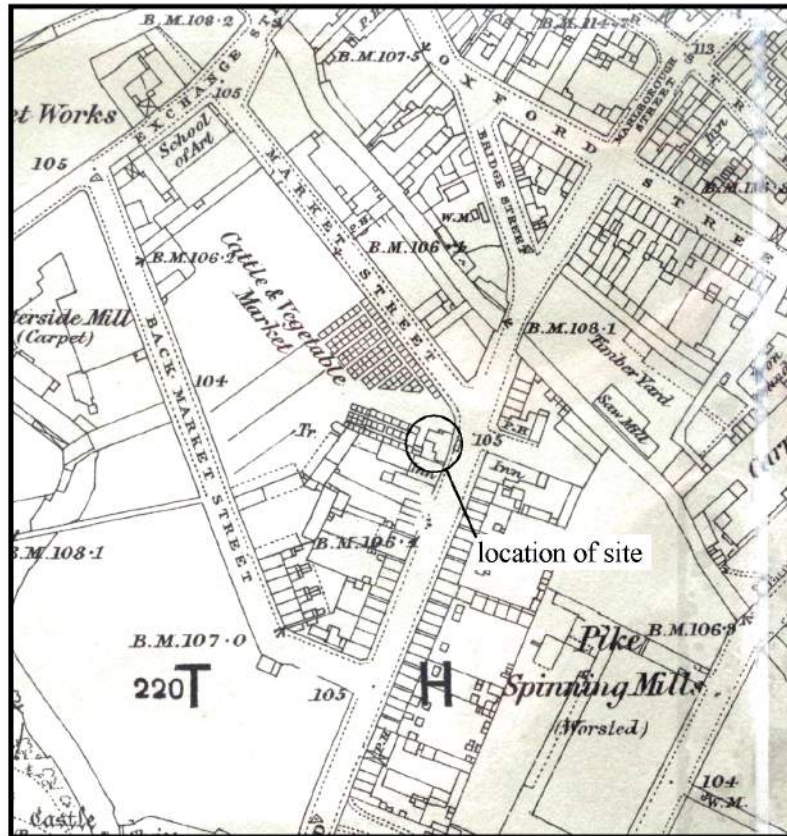
Fig 1: Location of site



not to scale

Fig 2.1: Kidderminster tithe map of 1829

1889



1902

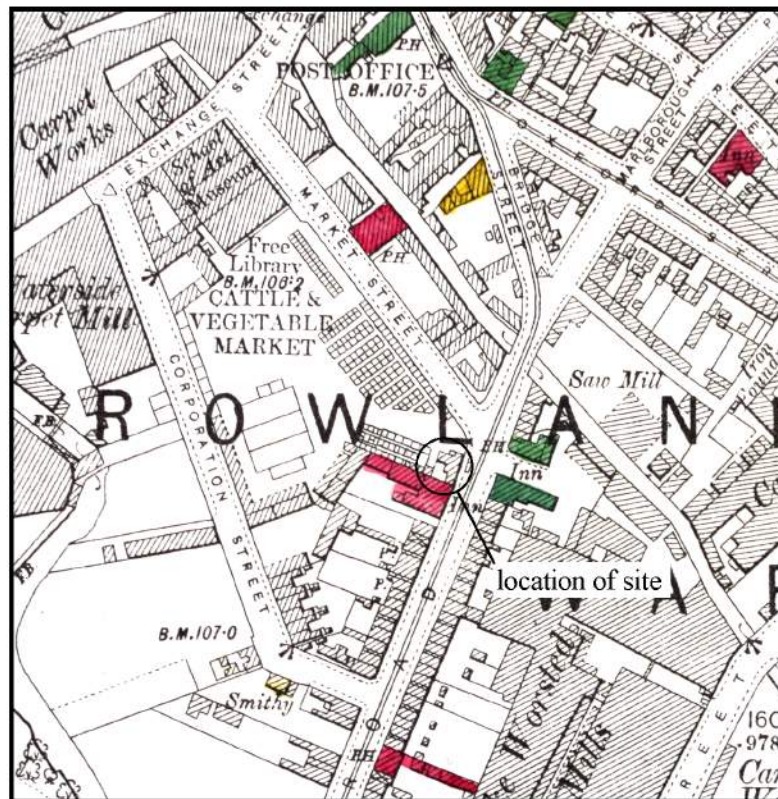
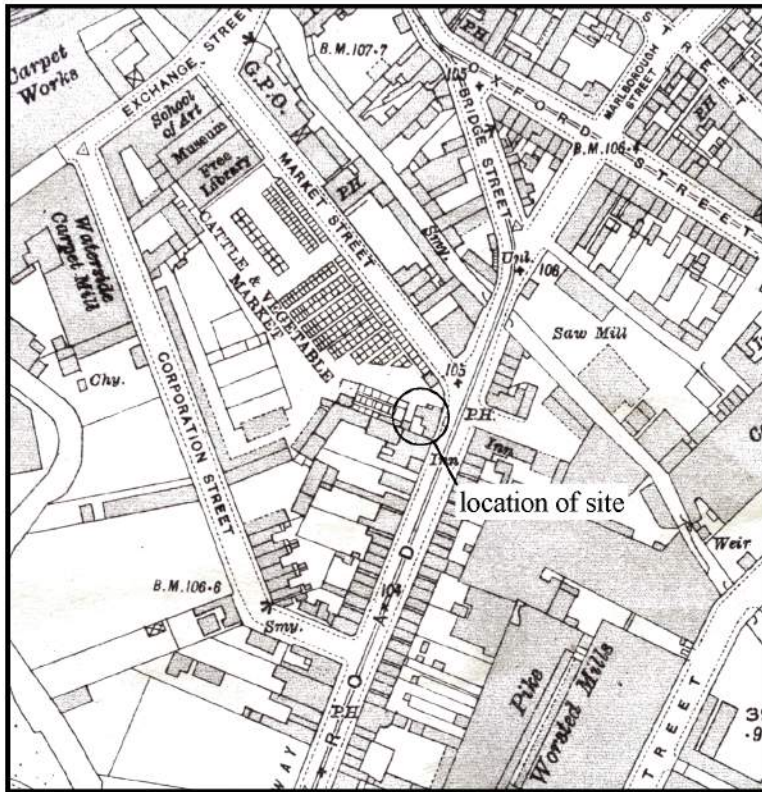


Fig 2.2: Historic mapping

1924



1938

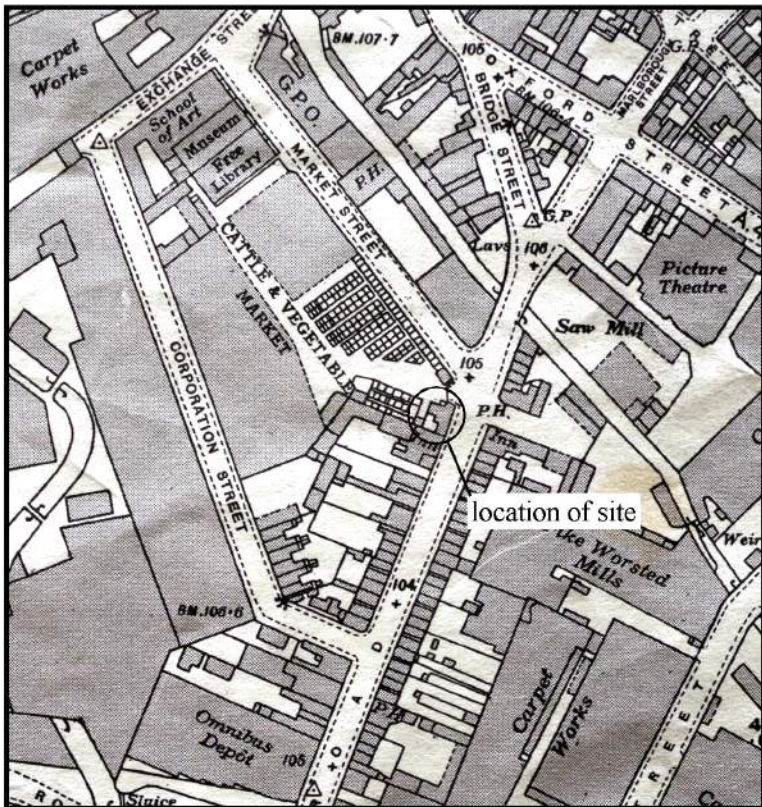


Fig 2.3: Historic mapping

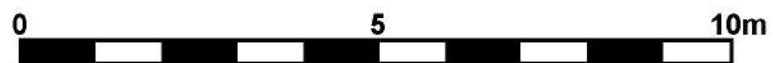
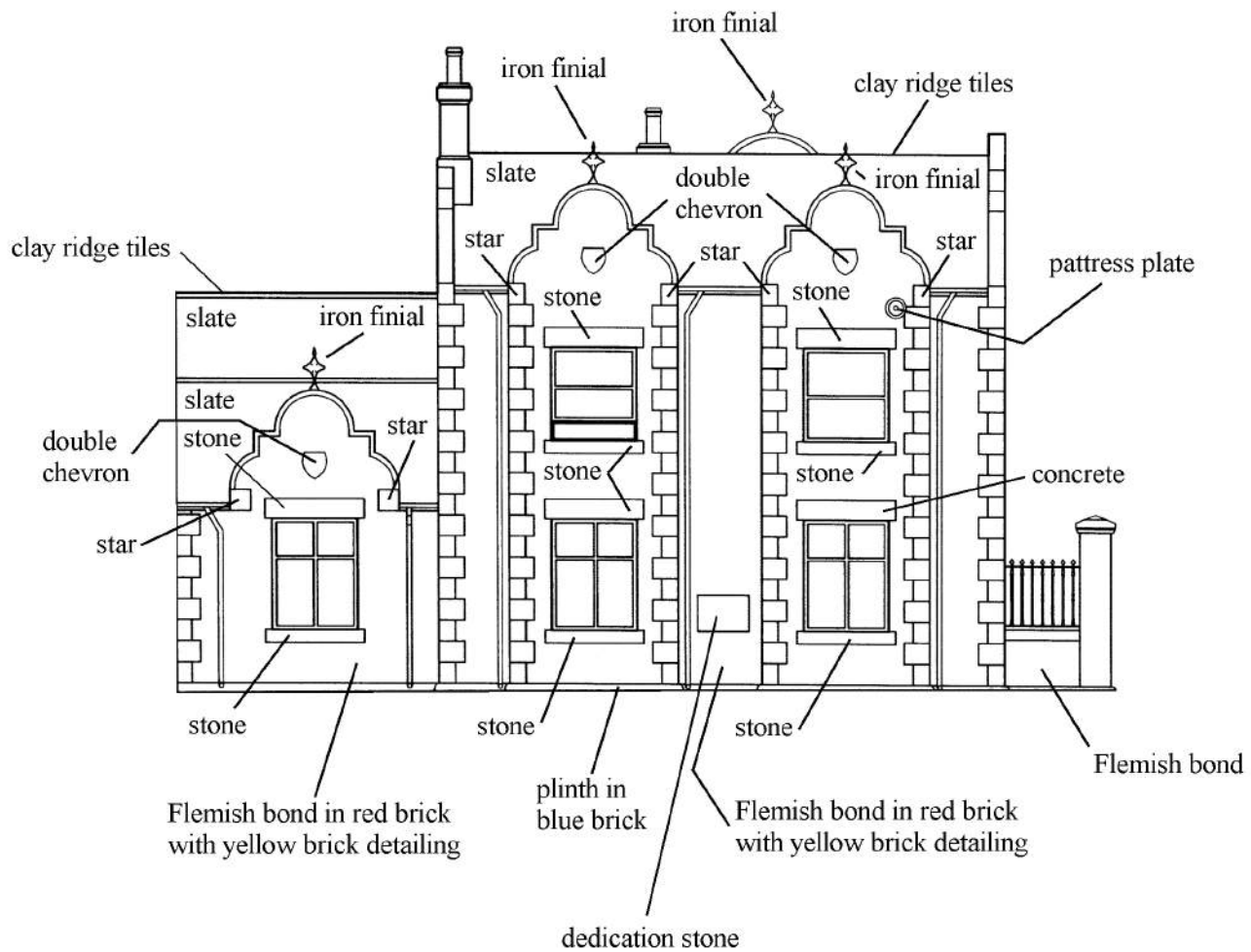


Fig 3.1: East elevation

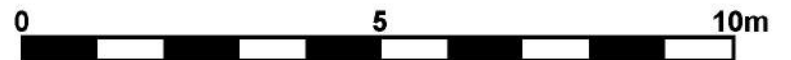
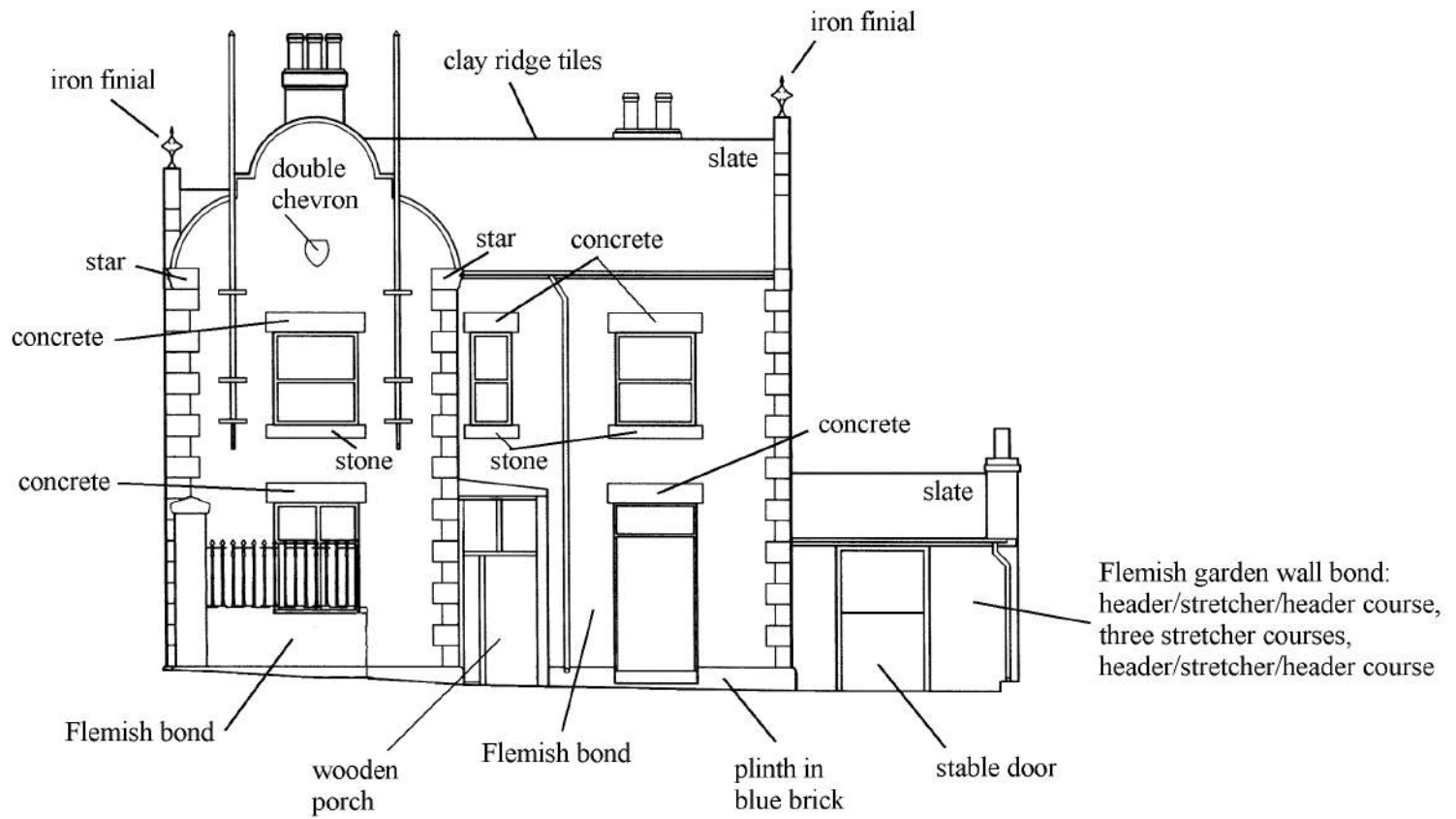


Fig 3.2: North elevation

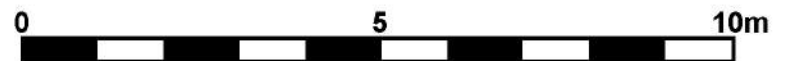
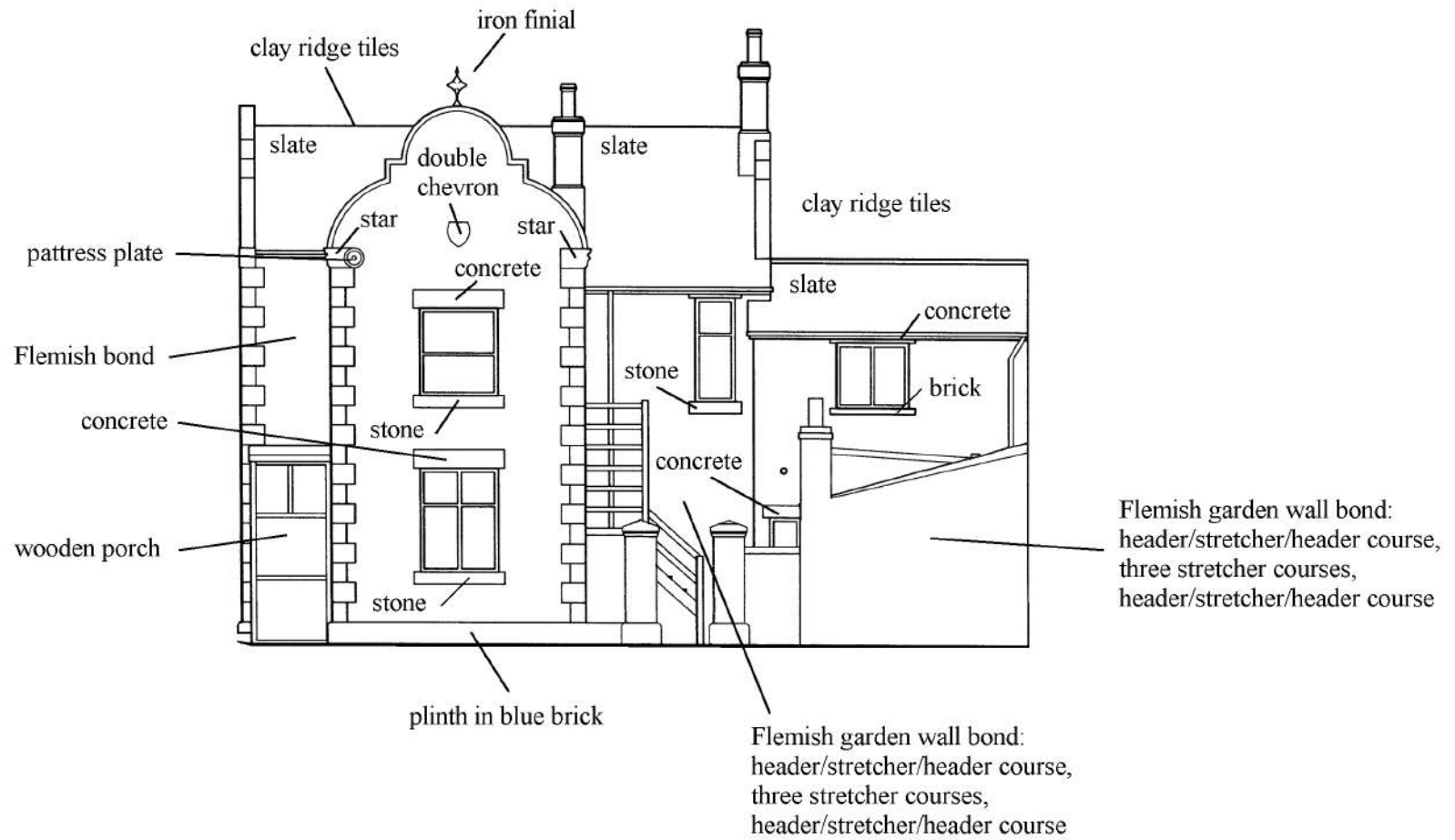


Fig 3.3: West elevation

- Phase 1: 1871
- Phase 2: after 1959

Fig 7 →

Fig 8 ↘

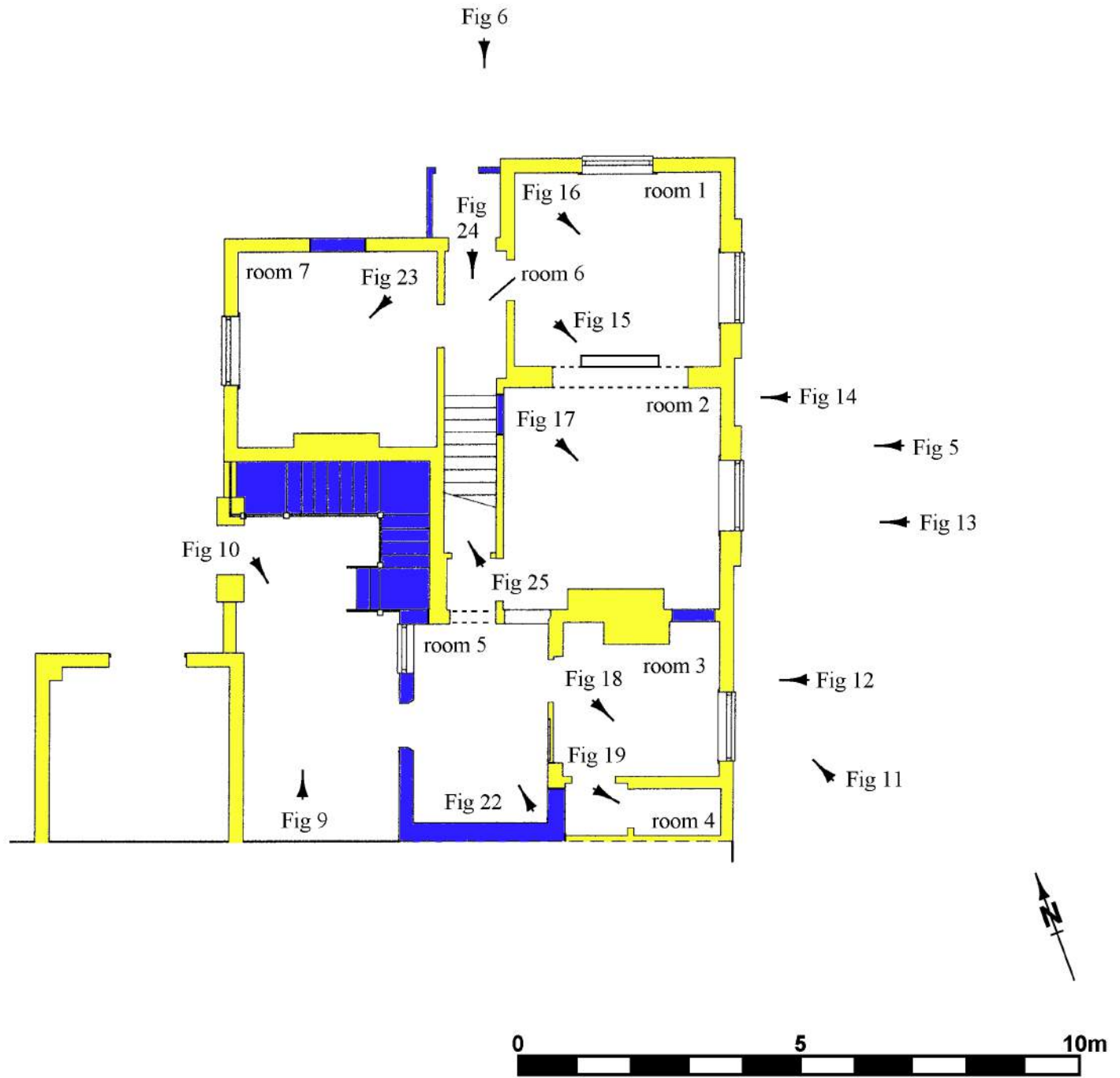


Fig 3.4: Ground floor

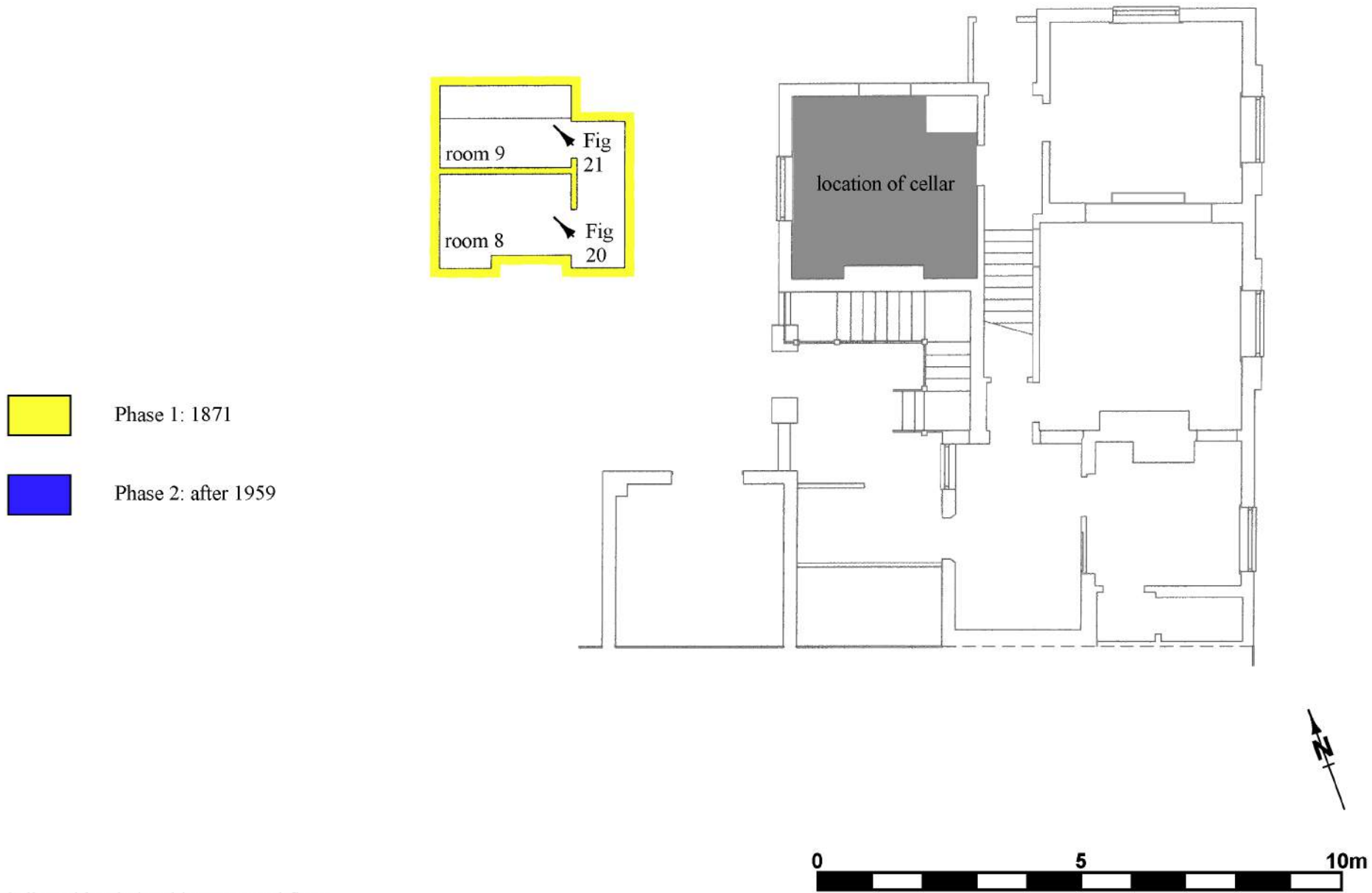




Fig 3.5: Cellar with relationship to ground floor

-  Phase 1: 1871
-  Phase 2: after 1959

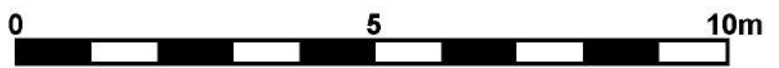
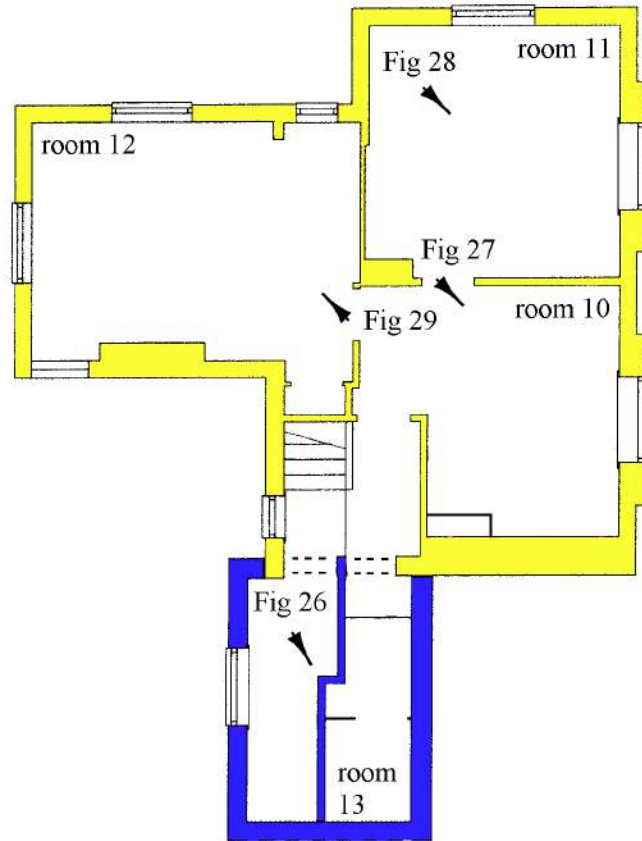
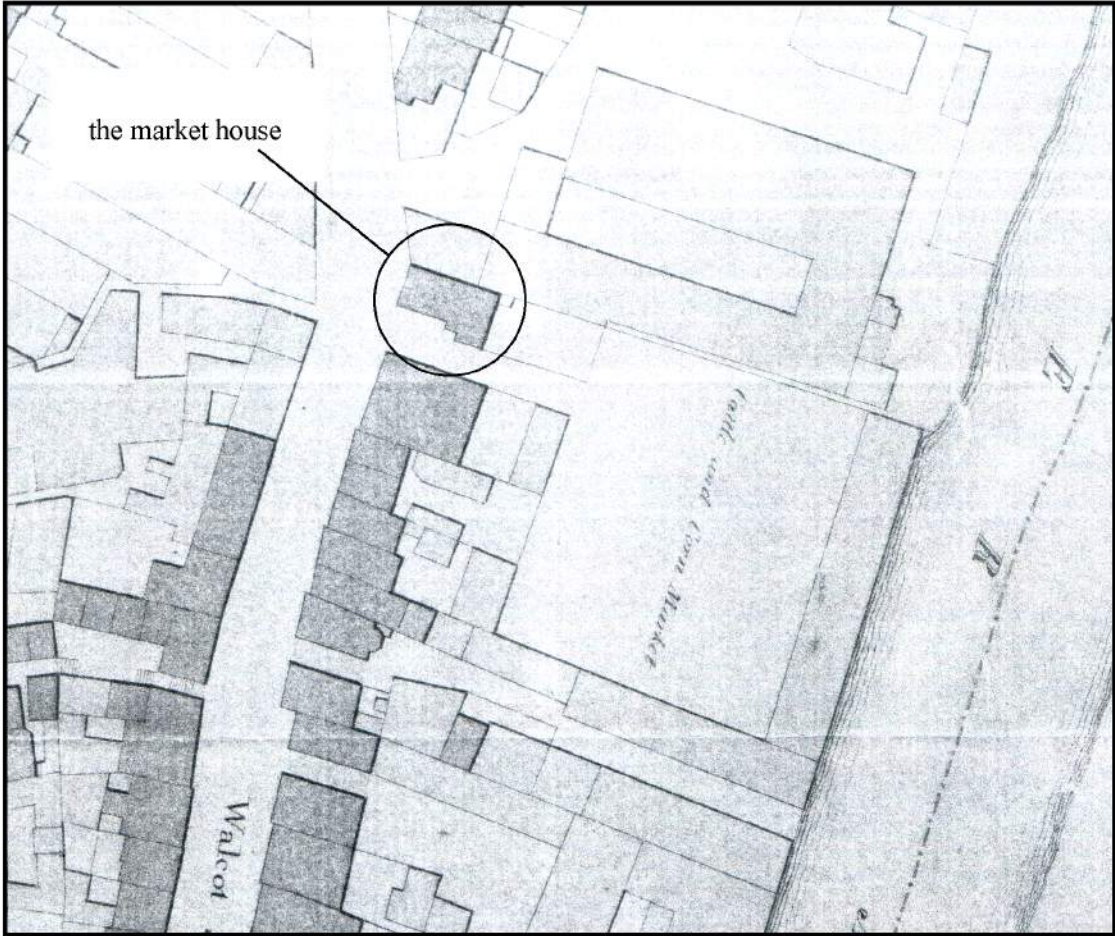


Fig 3.6: First floor



not to scale

The market house from the north-west



Fig 4.1: The livestock market and market house, Bath; 1818

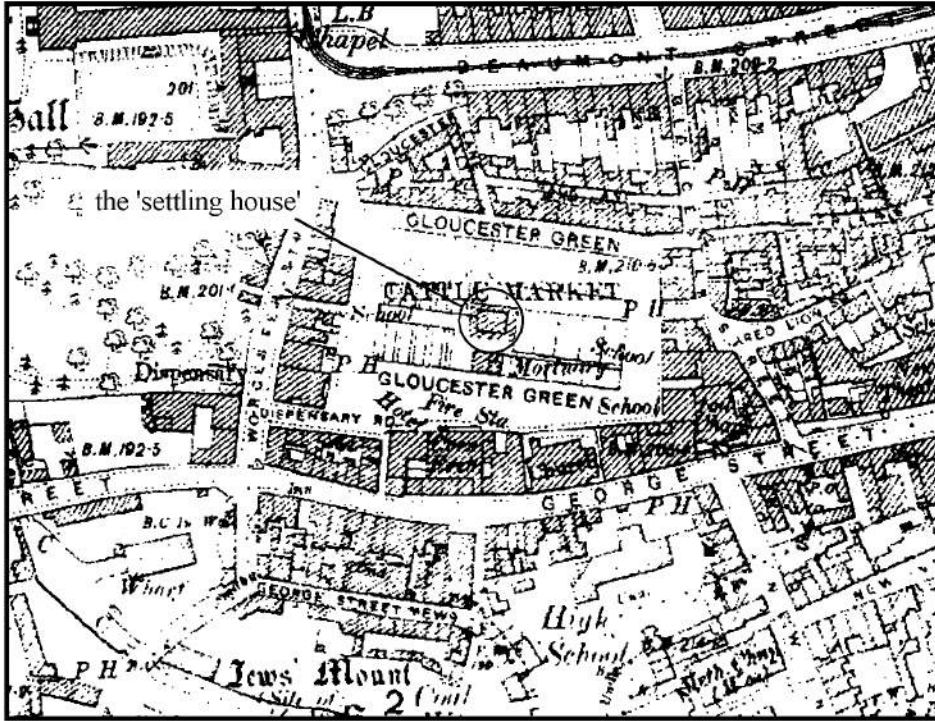
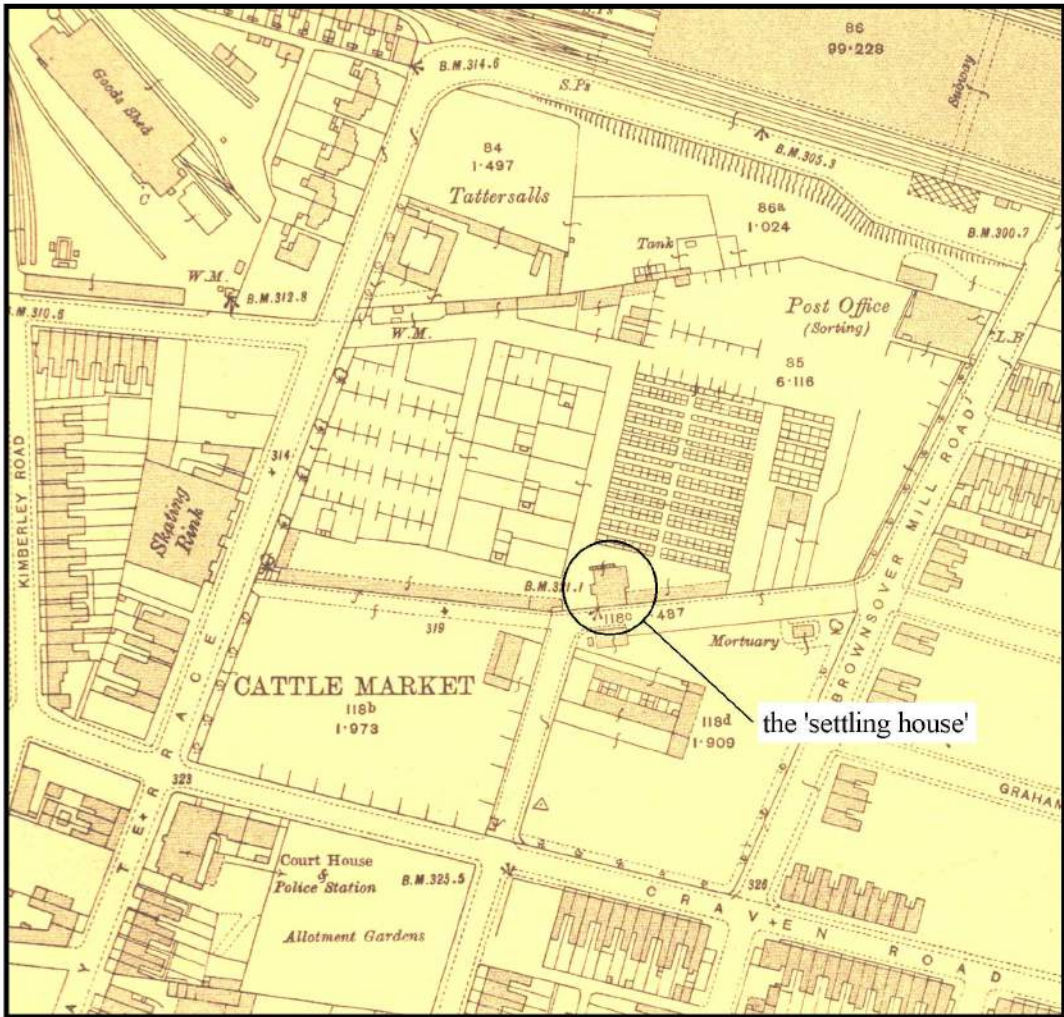


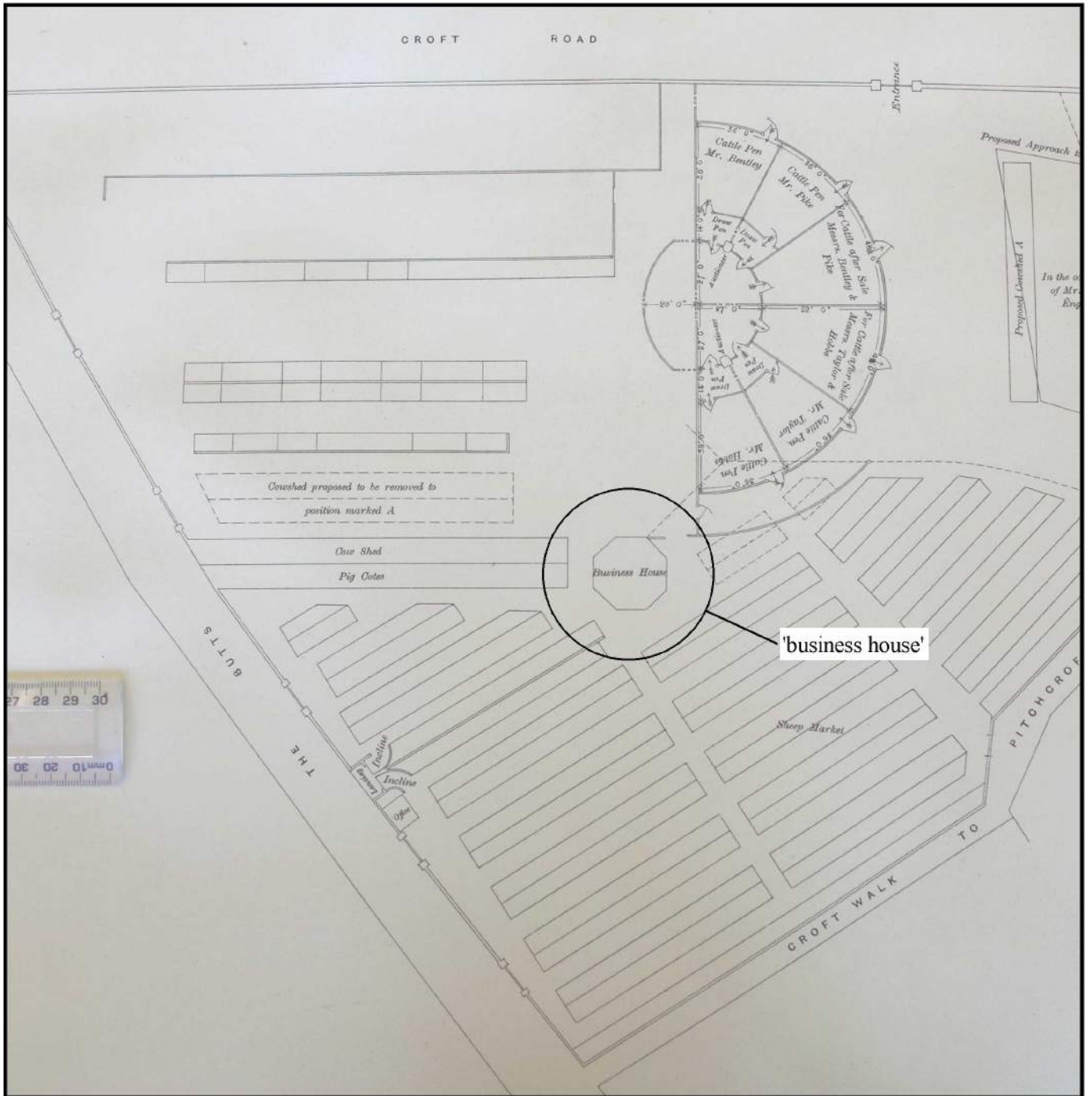
Fig 4.2: The 'settling house', cattle market, Gloucester Green, Oxford; 1900



The 'settling house', cattle market, Rugeley, before 1906



Fig 4.3: Cattle market, Rugeley



not to scale

Fig 4.4: Worcester livestock market, 1890, showing 'business house'



Fig 5: East elevation



Fig 6: North elevation



Fig 7: West elevation



Fig 8: Small stable behind west elevation

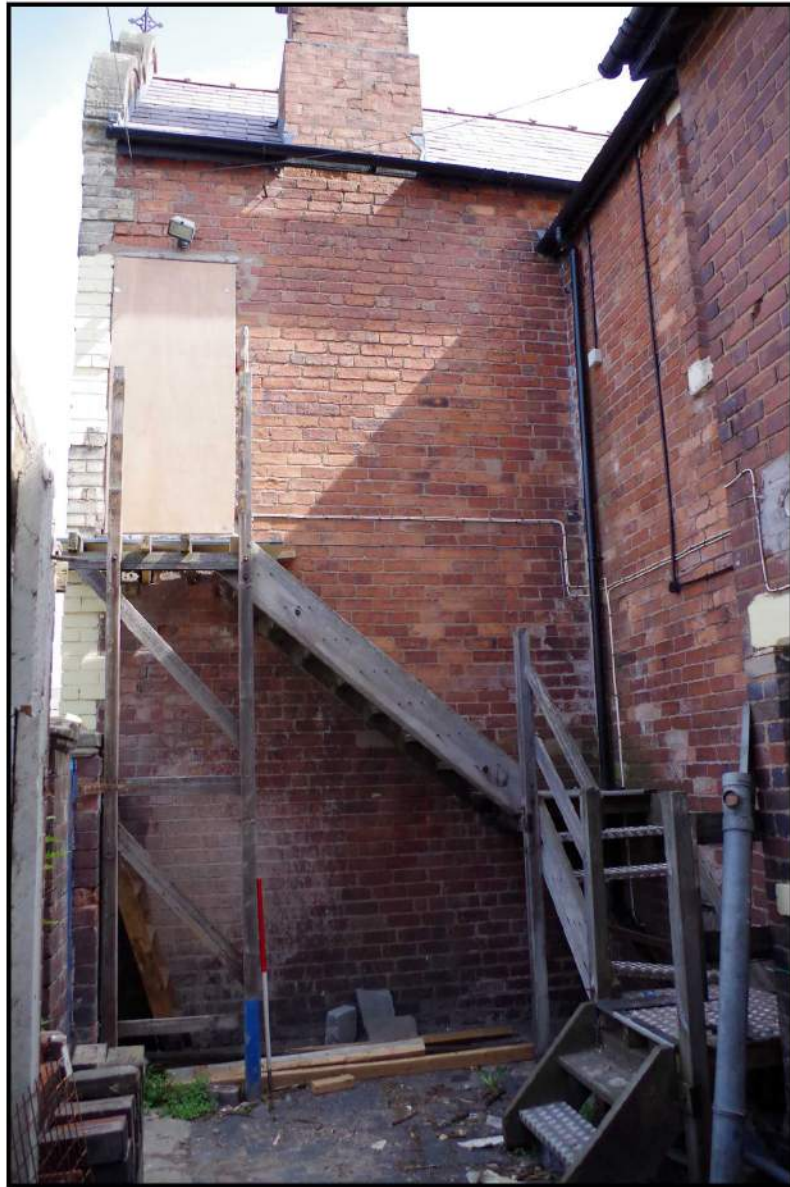


Fig 9: Yard looking north behind west elevation

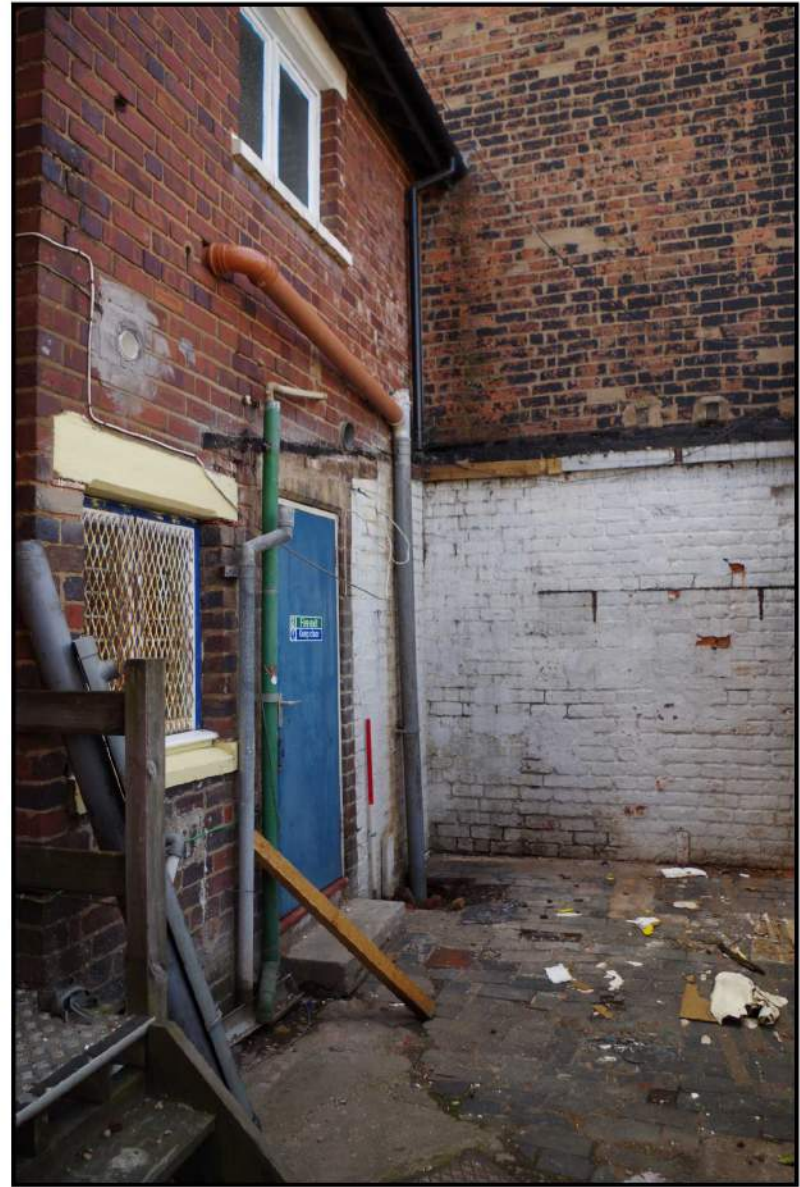


Fig 10: Yard looking south behind west elevation



Fig 11: Detail of iron finial on east elevation



Fig 12: Detail of decorated springing stone on east elevation



Fig 13: Detail of shield-shaped plaque (double chevron) on east elevation



Fig 14: Dedication stone on east elevation



Fig 15: Ground floor, room 1; position of former hearth



Fig 16: Ground floor, room 1; detail of wall cladding



Fig 17: Ground floor, room 2



Fig 18: Ground floor, room 3



Fig 19: Ground floor, room 4

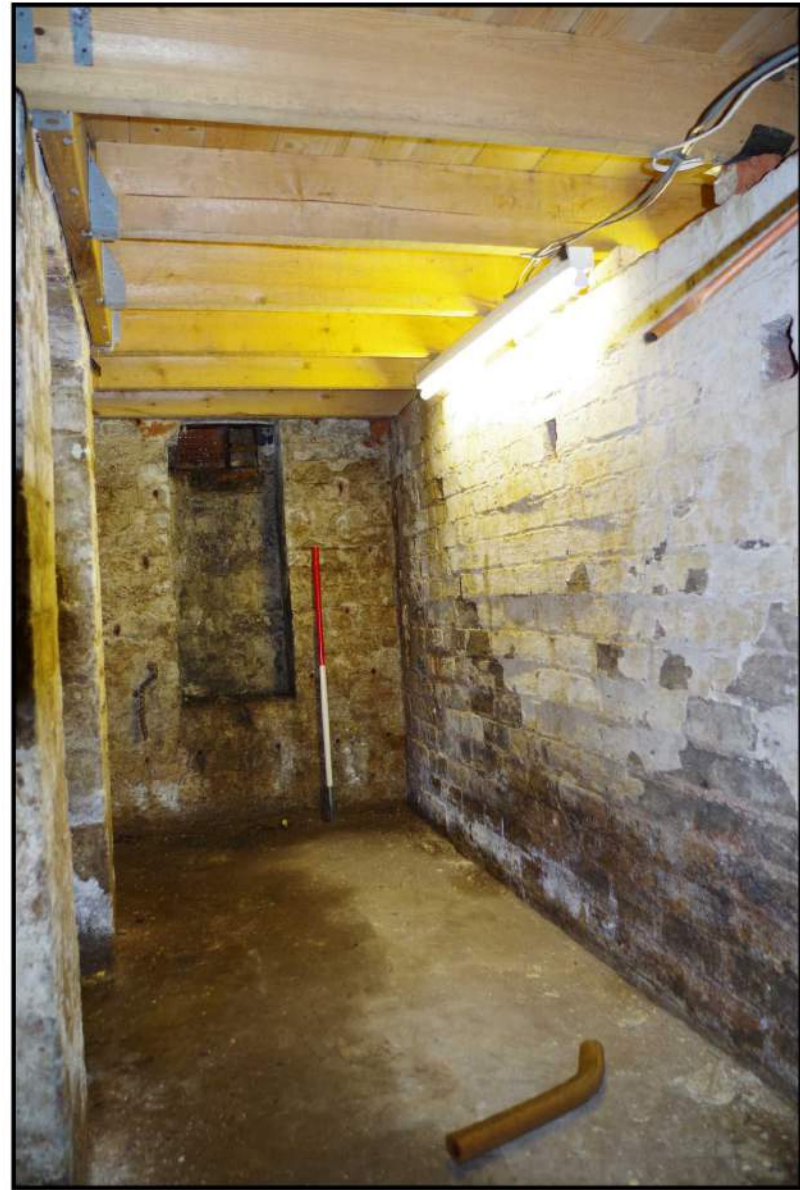


Fig 20: Cellar, room 8



Fig 21: Cellar, room 9



Fig 22: Ground floor, room 5



Fig 23: Ground floor, room 7

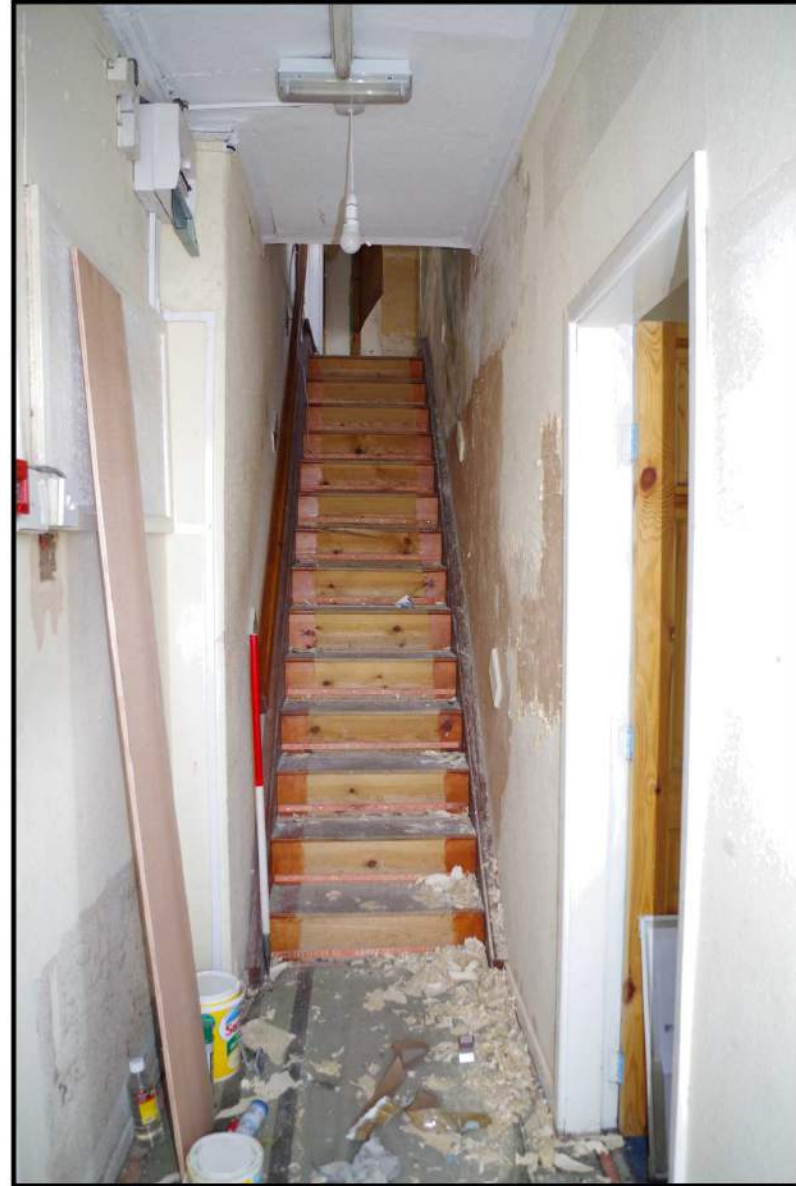


Fig 24: Ground floor, room 6, showing existing position of stair

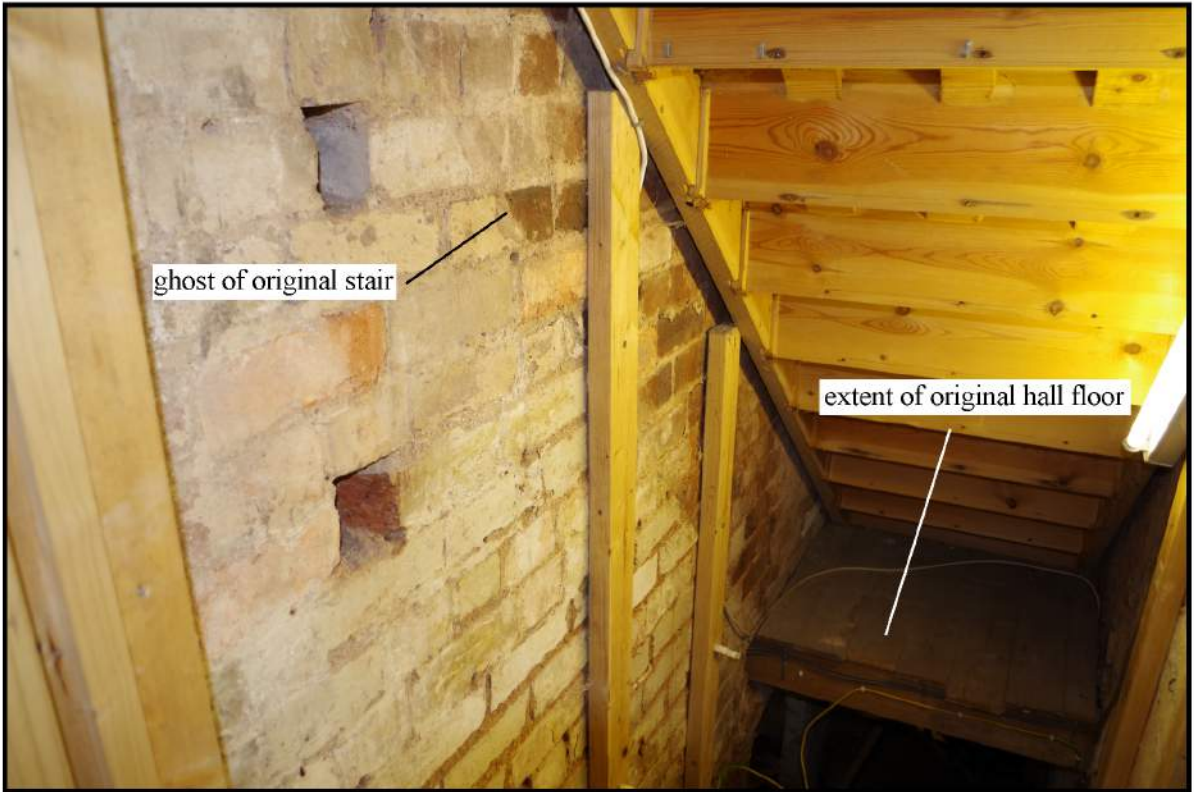


Fig 25: Ground floor, room 2; showing former position of stair and extent of room 6 floor



Fig 26: First floor, room 13



Fig 27: First floor, room 10



Fig 28: First floor, room 11



Fig 29: First floor, room 12



Fig 30: Roof space; showing common rafter roof with purlins



Fig 31: General view from north-west



Fig 33: General view from north-north-east

Appendix 1: The OASIS form

OASIS DATA COLLECTION FORM: England

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Market House Kidderminster - Martin Cook BA MCIfA

OASIS ID - martinco1-221663

Versions

View	Version	Completed by	Email	Date
View 1	1	Martin Cook	office@martinjcook.com	26 August 2015
View 2	2	Martin Cook	office@martinjcook.com	10 October 2015

Completed sections in current version

Details	Location	Creators	Archive	Publications
Yes	Yes	Yes	Yes	1/1

Validated sections in current version

Details	Location	Creators	Archive	Publications
No	No	No	No	0/1

File submission and form progress

Grey literature report submitted?	No	Grey literature report filename/s
Boundary file submitted?	No	Boundary filename
HER signed off?		NMR signed off?

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