

**Archaeological evaluation  
at Grove End Farm  
Henbrook Lane  
Upper Brailes  
Banbury  
OX15 5BA**

Martin Cook BA MCIfA  
Suzanne MacLeod BA

17th May 2018

Oasis ref martinco1-317136

Sundowner  
Circus Field Basin  
Stocklake  
Aylesbury  
HP20 1AP

07850 918755

# **Archaeological evaluation at Grove End Farm, Henbrook Lane, Upper Brailes, Banbury, OX15 5BA**

## **Introduction**

An archaeological evaluation was carried out at land within the curtilage of Grove End Farm, Henbrook Lane, Upper Brailes, Banbury, OX15 5BA (NGR SP 30528 39232; LB number 1024379; Fig 1) at the request of Mr and Mrs Clark, the client. This work was undertaken in response to a Notice of Decision from Stratford-on-Avon District Council (dated 31st January 2018, planning ref 17/02414/FUL) and in compliance with a written scheme of investigation provided by Martin Cook BA MCIfA, approved by Stratford-on-Avon District Council.

The archaeological evaluation was to comprise evaluation trenching followed by further work as appropriate and as agreed with Stratford-on-Avon District Council. The ClfA defines an evaluation as:

*... a limited programme of non-intrusive and/or intrusive fieldwork which determines the presence or absence of archaeological features, structures, deposits, artefacts or ecofacts within a specified area or site on land, inter-tidal zone or underwater. If such archaeological remains are present field evaluation defines their character, extent, quality and preservation, and enables an assessment of their worth in a local, regional, national or international context as appropriate.*

The purpose of the evaluation was to identify the presence/absence, character, extent, date, integrity, state of preservation and quality of any sub-surface archaeological deposits, in order to make an assessment of their merit leading to one or more of the following:

- no further work
- the formulation of a strategy to ensure the recording, preservation or management of the resource
- the formulation of a strategy to mitigate a threat to the archaeological resource
- the formulation of a proposal for further archaeological investigation within a programme of research

## **Summary**

An archaeological evaluation was carried out at land within the curtilage of Grove End Farm, Henbrook Lane, Upper Brailes, Banbury, OX15 5BA. Two significant archaeological features were located during this project, a post-medieval farmyard surfaced with stone and the fragmentary remains of a post-medieval farm building.

A summary will be published in West Midlands Archaeology.

## **The documentary material**

A very comprehensive desk-based assessment had already been undertaken by Archaeologica Ltd (Lisboa 2017, Appendix 3). It is not proposed to repeat the information presented in this document but reference will be made to it and its illustrations where appropriate.

## **The fieldwork**

### **General**

Fieldwork took place on the 25th and 26th April 2018. It comprised the excavation of two trenches (Fig 2), one 1.5m square (trench 1) and another 2.0m long and 1.0m wide (trench 2). Due to the small size of the trenches, all excavation was by hand with records (drawing, written description and

photographs) made as appropriate. A full description of the contexts is given in Appendix 1. Contexts are described in summary form below.

### **Description by phase (Figs 3.1, 3.2 and 3.3)**

#### *Phase 1*

The deposits of this phase comprised a layer of green-grey tenacious clay and yellow-buff sandy clay (contexts 107 and 207) in trenches 1 and 2.

#### *Phase 2*

In trench 1 the deposits of this phase comprised a compact stony layer with common brick and tile (context 101; Figs 3.1 and 4), bounded near its south-eastern side by large, flat stones (context 110; Figs 3.1 and 6) set vertically in a shallow slot (context 105) running approximately north-north-east to south-south-west. It was noticeable that this slot and the vertically set stones did not run parallel with the adjacent building to the south-east, a 19th century brick built extension but were in line with the south-east elevation of the stone-built 17th century or earlier thatched cottage. Associated with the slot in which the vertical stones sat was a circular feature (contexts 102 and 103; Fig 3.1).

In trench 2 the deposits of this phase comprised a linear arrangement of massive but unsquared stones (context 202; Fig 3.1) running east to west, sitting in a shallow cut (context 205; Figs 3.1 and 3.2). These deposits were associated with a sub-circular cut (context 204) filled with a mid-reddish-brown clay (context 203; Fig 3.1).

#### *Phase 3*

The deposits of this phase were confined to trench 1 and comprised a dark-grey-brown sandy clay with common brick and tile fragments (context 108; Fig 3.1) and a land drain (context 111; Figs 3.1 and 7). The fragments of brick in this fill were the same size as those of which the adjacent building, the 19th century brick built extension to the south-east is constructed. The cut for this feature was difficult to identify but it didn't penetrate the natural subsoil (context 107) on which the land drain sat.

#### *Phase 4*

The deposits of this phase were confined to trench 2 and comprised small to medium angular stone (context 206; Fig 3.1 and 3.2) which lay within the same cut (context 205) as the massive, unsquared stones (context 202). This small, angular stone appeared to have replaced the massive, unsquared stones.

#### *Phase 5*

In trenches 1 and 2 the deposits of this phase comprised a dark grey-brown sandy loam with common small angular stone (contexts 100 and 200). In trench 2 this was underlain by a grey-buff sandy clay with common small to medium angular stone (context 201; Fig 3.2).

## **The finds**

### **Results of analysis**

The complete finds report has been presented as Appendix 2.

#### *General*

The assemblage recovered from the site totalled 95 finds weighing 1313g (Appendix 2, Table 1), all of post-medieval and modern date. The material came from six contexts and using pottery as an index of artefact condition, the level of preservation was fair with the pottery displaying low-moderate levels of surface abrasion and having an average sherd size of 8.7g.

#### *Summary of artefactual evidence by period*

All the material was dated and quantified (Appendix 2, Table 1). The pottery was grouped and quantified according to general fabric class (Appendix 2, Table 2). Sherds were dated by their fabric type to their general period or production span.

#### *Post-medieval*

The post-medieval assemblage consisted of nine sherds of pottery. These included five sherds of a sandy oxidised ware with an orangey brown glaze (fabric SLM; contexts 100 and 201). None were

particularly diagnostic but those from context 201 were glazed internally, possibly indicating that they came from a bowl form. All could be dated to the 16th - 17th century.

The remaining sherds were of Midlands blackware (fabric MB02; context 100) and manganese mottled ware (fabric MANG; contexts 100 and 101), all of mid 17th -18th century date.

#### *Modern*

All the remaining material was modern and comprised 60 sherds of pottery, the majority coming from glazed table wares of late 18th -20th century date (fabric MGW; contexts 100, 101, 108, 200 and 201). Most of these fragments came from transfer decorated china dinner services but a small quantity of creamware was also identified. The remaining pottery included three fragments of mocha ware (fabric MO; contexts 101 and 201), two pieces of a Nottingham stoneware handle (fabric STE02; context 100) and two near complete stoneware ink bottles (fabric STE; contexts 100 and 101). In addition, a small amount of red earthenware flowerpot was also identified (fabric MISC).

Other finds included a complete small glass bottle (context 100), 20 shards from a larger, green pharmaceutical bottle (context 206), an unidentified iron tool (context 206), three bronze objects including a clock key (contexts 101 and 201) and an ebonite pipe stem (context 101).

#### *Significance*

The finds assemblage is consistent with what is known about the development of the site, with the earlier pottery contemporary with occupation of the stone-built thatched cottage and the modern material seemingly incorporated during the construction of a 19th century extension and subsequent use of the farmyard.

#### **Commentary**

Finds are typically used to provide a date for the deposits in which they are found. Usually, finds from a range of dates will be present in any given deposit. The usual practice is to adopt the latest date suggested by the finds as representing the deposit's date. This is referred to as the deposit's *terminus post quem* (*tpq*) or the date after which the deposit must have been laid down. This approach depends upon a number of assumptions, chief among which is that archaeological deposits are sealed and do not admit of later material finding its way into them. This is considered to be generally true. However, in certain circumstances, say when a deposit is particularly active (for example a farmyard), strict adherence to this approach may give an unduly recent date for the deposit's origin. Another factor that can result in an unduly recent date is when a type of pottery remains in use, unchanged, for a particularly long time. In the case of the current site, such deposits are the farmyard surfacing in trench 1 (context 101) and the fill of the land drain (context 108).

In these circumstances it is appropriate, when assessing the date of a deposit, for other factors to be taken into account. For reasons that will be explained and discussed below, an earlier date than that suggested by the find's *tpq* has been adopted for these two deposits.

#### **Interpretation (Figs 3.1, 3.2 and 3.3)**

##### *Phase 1: post glacial*

Contexts 107 and 207 are the natural undisturbed subsoil. The valley in which the village of Brailes lies, and the lower slopes of Brailes Hill, are formed of yellow and buff silty clay known as the Middle Lias silts (<http://www.bbc.co.uk/history/domesday/dblock/GB-428000-237000/page/3>).

##### *Phase 2: 17th - 18th century - trench 1*

In trench 1 the compact stony layer (context 101), is the former farmyard surfacing. It lies within a hollow which may, in part, be a natural depression formed by the activities of the farm. However, it is bounded on the side nearest the buildings by a kerb of large, flat stones (context 110) set vertically in a shallow slot (context 105). Clearly, at some point its condition was improved. It was noticed that this feature ran parallel, not with the adjacent building, which is dated between 1825 and 1840 (Paul Clark pers com), but with the south-east elevation of the stone-built 17th century (or earlier) thatched cottage. Therefore, it probably represents a layout of the farmyard which pre-dates the construction of the later range. Associated with the stone kerb and the edge of the farmyard was

a post hole (context 103). This is believed to be part of a fence between the farmyard and the farmhouse.

With regard to this relationship between the farmhouse and the farmyard, there was a considerable degree of unanimity amongst the 19th century agricultural pundits. Hunt and Crocker considered that the house should be so placed that it could overlook the yard, onto which all the buildings were to open, a plan which Loudon approved and Pitt followed in his designs. Dean considered that this arrangement produced better work, as the men were uncertain when they were being observed. Beatson, whilst accepting the general proposition, added that 'unless the ground and other circumstances, in every respect favour such a disposition, I would not invariably adhere to it'. The yard might be overlooked by the front or the back of the house, as is the case at Grove End Farm. In only a fifth of the examples did the house open directly onto the yard; a garden, small yard or drive provided a certain separation.

#### *Discussion regarding the date of these deposits*

From the layer forming the surface of the farmyard (context 101) came a total of 25 sherds of pottery. Of these, 23 could be as early as the late 17th to 18th century. This must be considered together with the orientation of the edge of the farmyard, which is clearly shown by a number of kerb stones and the slot in which they sat (contexts 104 and 105). This alignment runs better with the orientation of the mid to late 17th century cottage than with the early to mid 19th century extension. It was therefore felt that greater weight should be given to the potentially earlier date.

#### *Phase 2: 17th - 18th century - trench 2*

In trench 2 the linear arrangement of massive but unsquared stone (context 202) is probably the remains of the foundation of a substantial building fronting the contemporary farmyard. It is impossible to be certain but it seems likely that the recorded section of foundation lies near or at the eastern corner with the rest of the building lying to the west and south. However, it is also likely that only the foundation trench (context 205) survives for the greater part of the building (see below Phase 4).

#### *Phase 3: mid to later 19th century*

A land drain (contexts 108 and 109) was laid to the south-east of the farmyard.

#### *Discussion regarding the date of these deposits*

The pottery from this deposit has a long currency (late 18th to 20th century) and its *terminus post quem* has been assigned as modern. However, it was noticed that the fill of the land drain trench contained a considerable quantity of construction material (particularly brick) that is identical to that used in the adjacent building, dated to 1825-1840. The land drain itself, a number of clay pipes in short sections, is of a style typical of the 19th century. While none of this precludes a more modern date, it was felt that greater weight should be given to a date in the mid to later 19th century.

#### *Phase 4: 19th - 20th century*

A robber trench was dug to recover the massive foundation stones of the Phase 2 structure and its fill (context 206) and its fill could be dated to the 19th to 20th century. Presumably, at least part of this structure was still visible at or near contemporary ground level when this took place. The earliest map whose depiction of buildings can be relied upon is the Sheldon Estate map of 1867 (Appendix 3, fig 7). This does not show a building of any sort in the area of the phase 2 structure so it must have been ruinous or substantially demolished by this time.

#### *Phase 5: 1974 - present day*

Turf and a topsoil developed across the former farmyard when the last active farming occupier, Hubert Green, died.

### **Significance of the recorded deposits**

There is no Historic England Monument Class Description for post-medieval farmsteads. The significance of the recorded deposits has therefore been assessed with reference to the Secretary of State's Criteria for the scheduling of ancient monuments. Whilst scheduling is not being considered

in this case, these criteria provide a convenient and appropriate framework for considering the significance of any site. Only two deposits are considered to be significant: the farmyard (context 101) and the remains of a farmyard building (context 202). It is these that are considered below.

#### **Survival/condition**

The farmyard survives in good condition and is known to be extensive. Its sub-surface presence is a boon to the client who attributes his ability to operate garden machinery in adverse conditions to its presence.

The farmyard building has not only been demolished to ground level but it is likely that the majority of its foundation stones have been removed as well. What survives will be the 'ghost' of a building consisting of the foundation trench which was dug for the placing of the foundation stones. This 'ghost' is comparable to the scar left on the gable ends of buildings when an extension is demolished.

#### **Period**

Farmyards and farm buildings have no attributes that are particularly characteristic of the post-medieval period. Farmyards and farm buildings are just one of a wide variety of monument classes known from this time.

#### **Group value**

The farmyard and building deposits have group value with the adjacent cottage and its appurtenances.

#### **Rarity**

Farmyards and farm buildings are common survivals from the post-medieval period.

#### **Fragility/vulnerability**

The farmyard is a robust deposit and is not significantly threatened by the proposed development, most of which takes place on its periphery. Its sub-surface presence is a benefit to the client, enabling the operation of garden machinery in even adverse weather conditions.

The farm building has already been substantially destroyed by demolition and recovery of building materials for use elsewhere. It is likely that its plan form survives but this is not significantly threatened by the proposed development, most of which takes place on its periphery.

#### **Documentation**

There is no specific documentation relating to either the farmyard or of the farm building.

#### **Summary of significance**

Both the farmyard and the farm building can only achieve very limited local significance.

#### **Assessment of the need for further work**

Two significant archaeological features were located during this project (a post-medieval farmyard surfaced with stone and the fragmentary remains of a post-medieval farm building).

Ample dating evidence has already been recovered from the surfaced farmyard and enough has been excavated to show that the surfacing was carefully constructed, with the use of kerb stones around its edge, and that the surfaced yard was laid out with respect to the cottage and not the extension, adjacent to which the trench was excavated.

It is likely that very little of the post-medieval building survives as, prior to 1867, the date of the first map that did not represent buildings schematically, it must have been reduced to ground level or below, and subsequently even the foundation stones were removed, presumably for re-use elsewhere. It is likely that all that survives is a foundation trench (context 205 in Trench 2) that represents the outline of the former building. It is likely that the plan form of the building could be recovered but since the majority of the remains of this building lie outside of the proposed development area, they will therefore be preserved.

It would be worthwhile, when the development takes place, to investigate below the remaining foundation stones, which will be removed, to determine if any dating evidence is present. If so, then an update to this report would suffice for the appropriate recording of this information. Otherwise, it is considered that no further archaeological investigation is required as a condition of this development.

## **Bibliography**

Lisboa, I M G, 2017 *Archaeology desk-based assessment at Grove End Farm, Upper Brailes, Warwickshire*

*Morton, B, 2015 Warwickshire Historic Towns Project: Brailes Historic Character Assessment, Warwickshire Historic Environment Record, Warwickshire County Council*

Peters, J E C, 1969 *The development of farm buildings in western lowland Staffordshire up to 1880*

## **Acknowledgements**

The author would particularly like to thank Mr and Mrs Clark for their kind cooperation. In particular the historic researches that Paul Clark has undertaken in respect of his house and grounds were most helpful.

## **Archive**

The physical archive consists of:

- 18 Context sheets
- 1 Drawing
- 1 Hard copy of the report
- 1 Hard copy of the WSI

It will be deposited at Warwickshire County Museum, upon approval of the report.

The digital archive consists of:

- 1 Digital copy of the report (.doc format)
- 8 Illustrations (.bmp format)

It will be deposited with the Archaeology Data Service upon approval of the report.

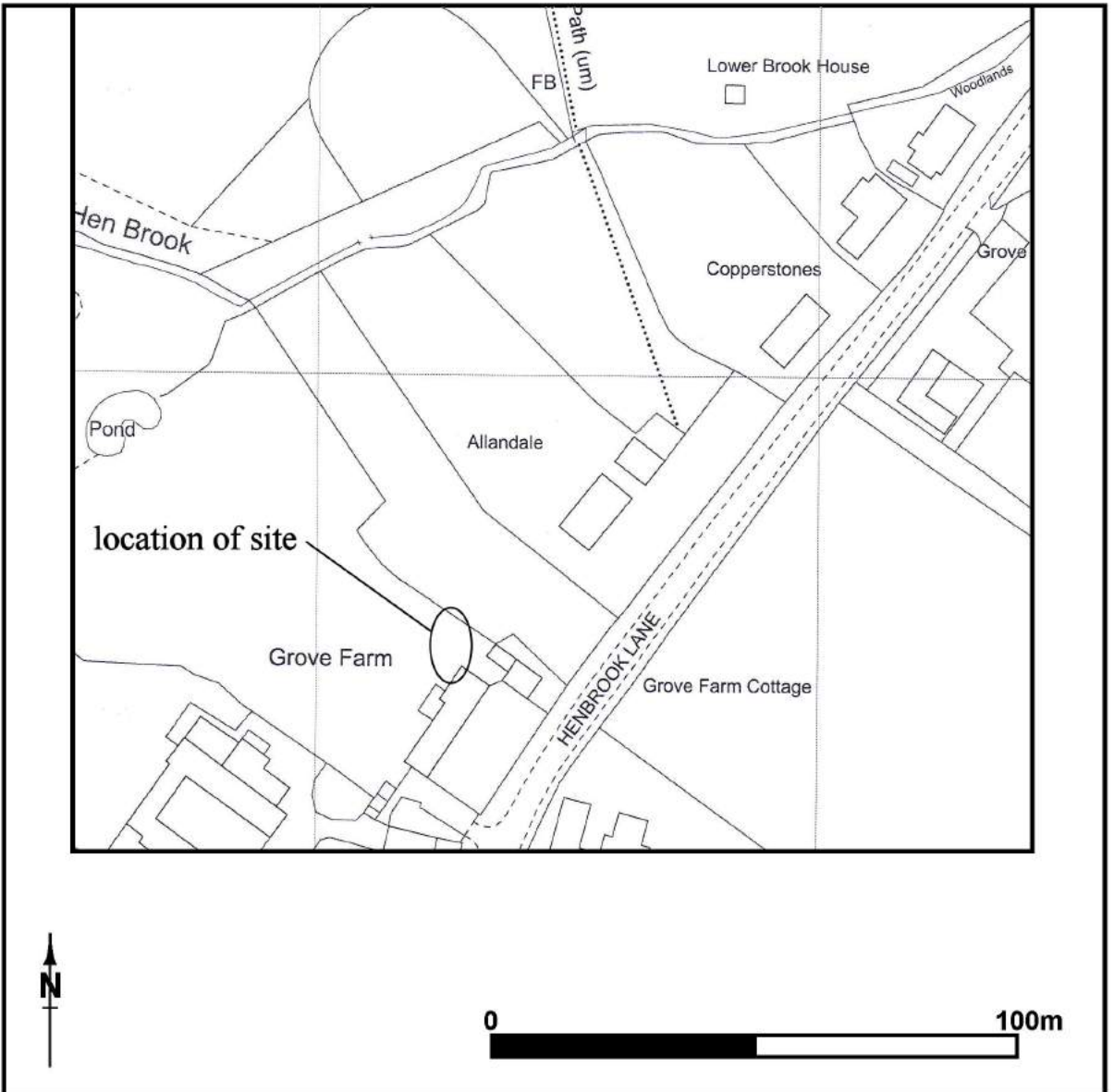
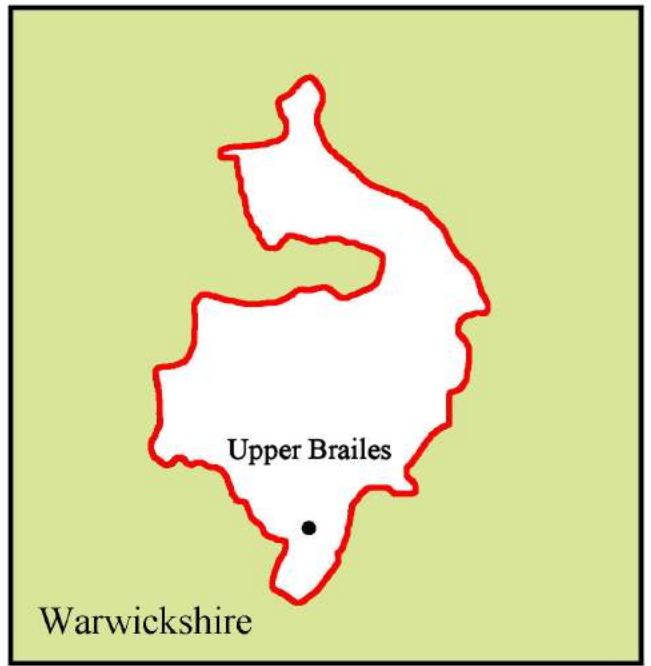


Fig 1: Location of site



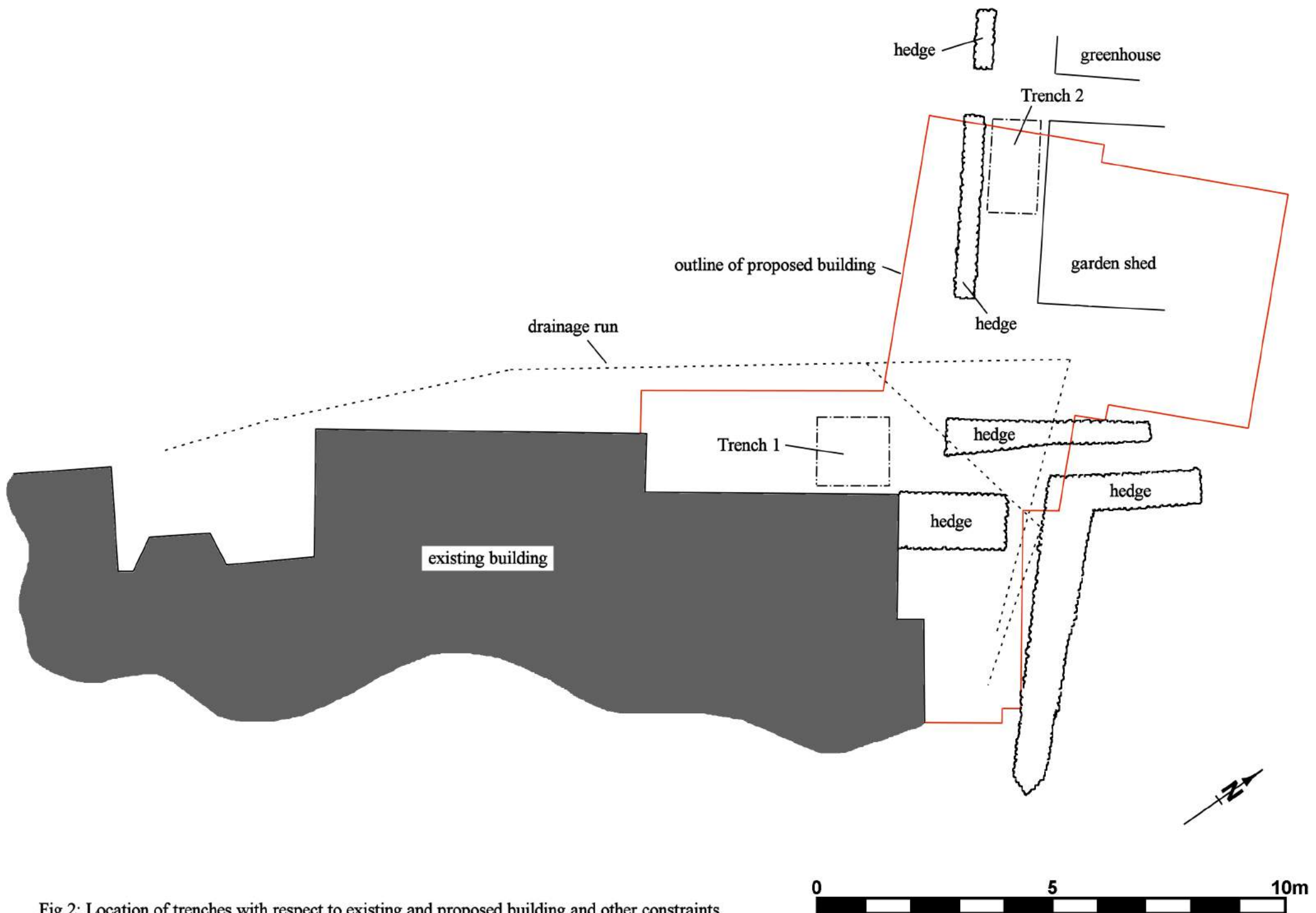
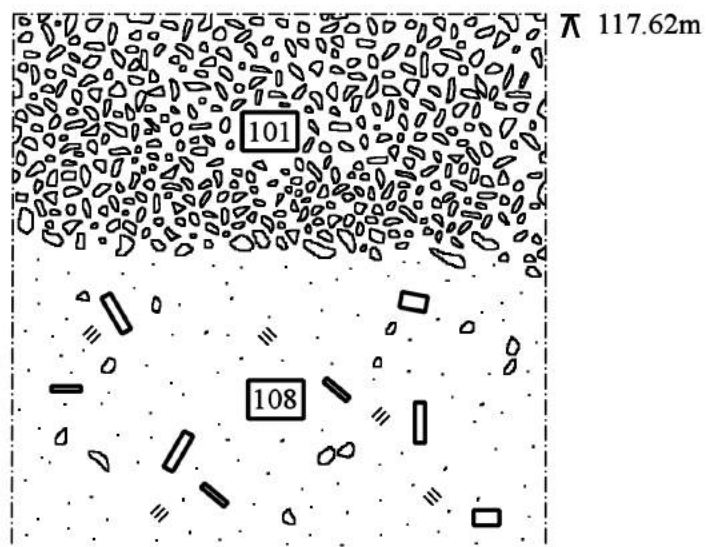


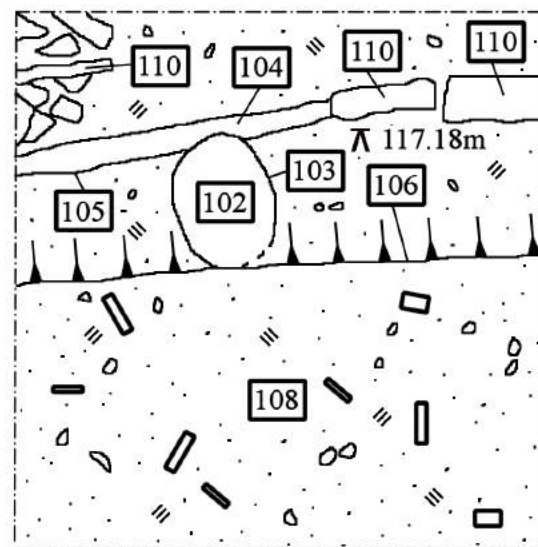
Fig 2: Location of trenches with respect to existing and proposed building and other constraints

### Trench 1

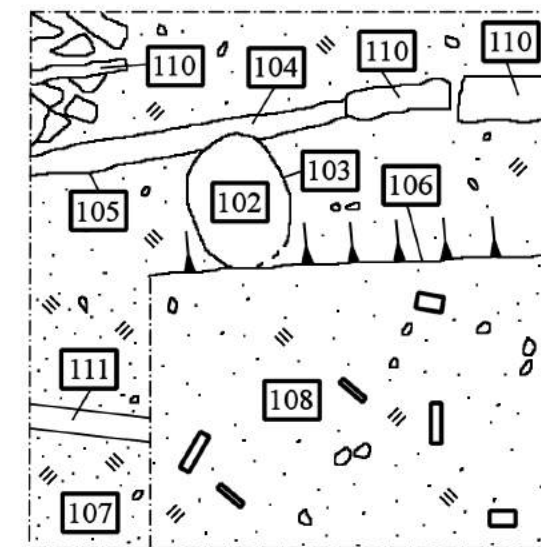
After removal of context 100



After removal of context 101

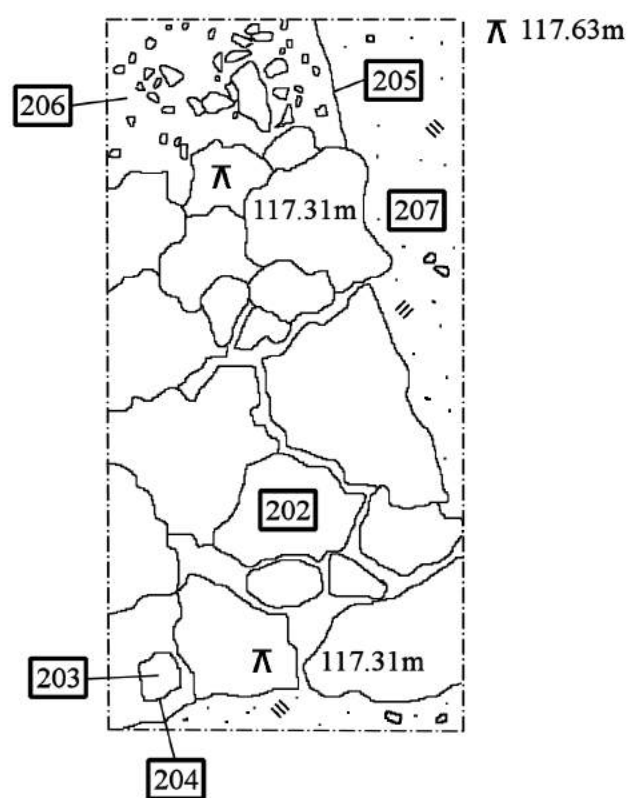


After (partial) removal of context 108



### Trench 2

After removal of context 201



After removal of context 206

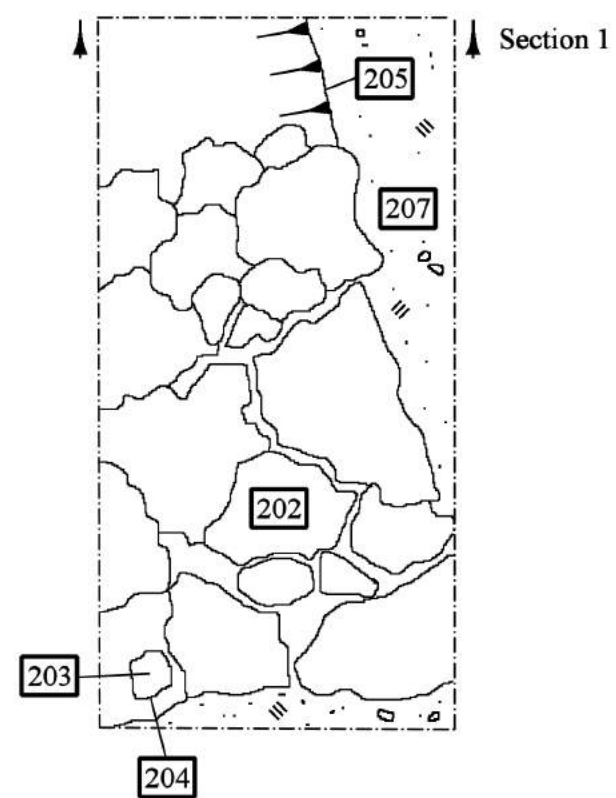
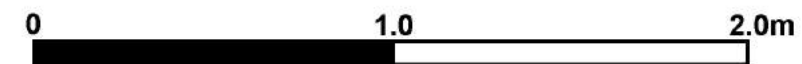


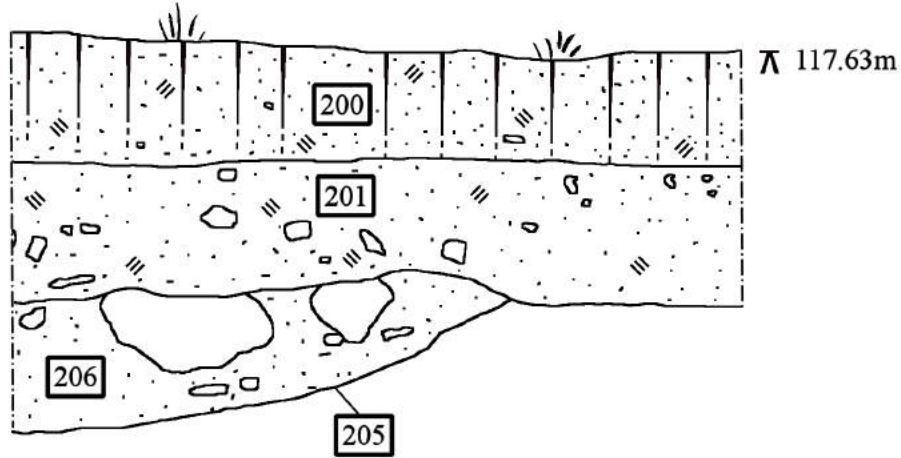
Fig 3.1: Trench plans



# Section 1

south-west

north-east











-  loam and/or topsoil
-  stones
-  sand/gravel
-  clay
-  bricks
-  ash and charcoal
-  limit of excavation
-  height above Ordnance Datum

Fig 3.2: Section of Trench 2



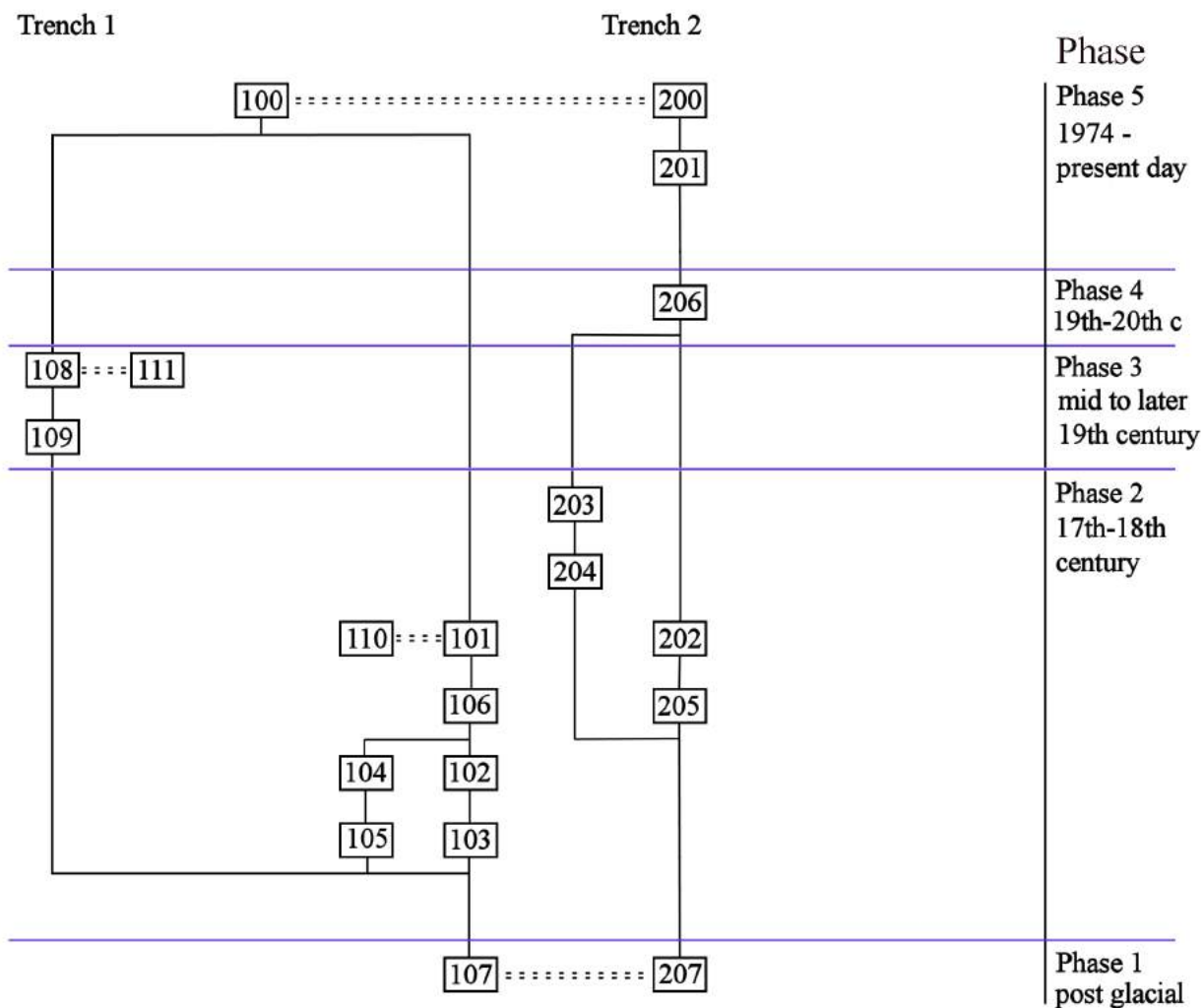


Fig 3.3 Harris matrix of trenches 1 and 2

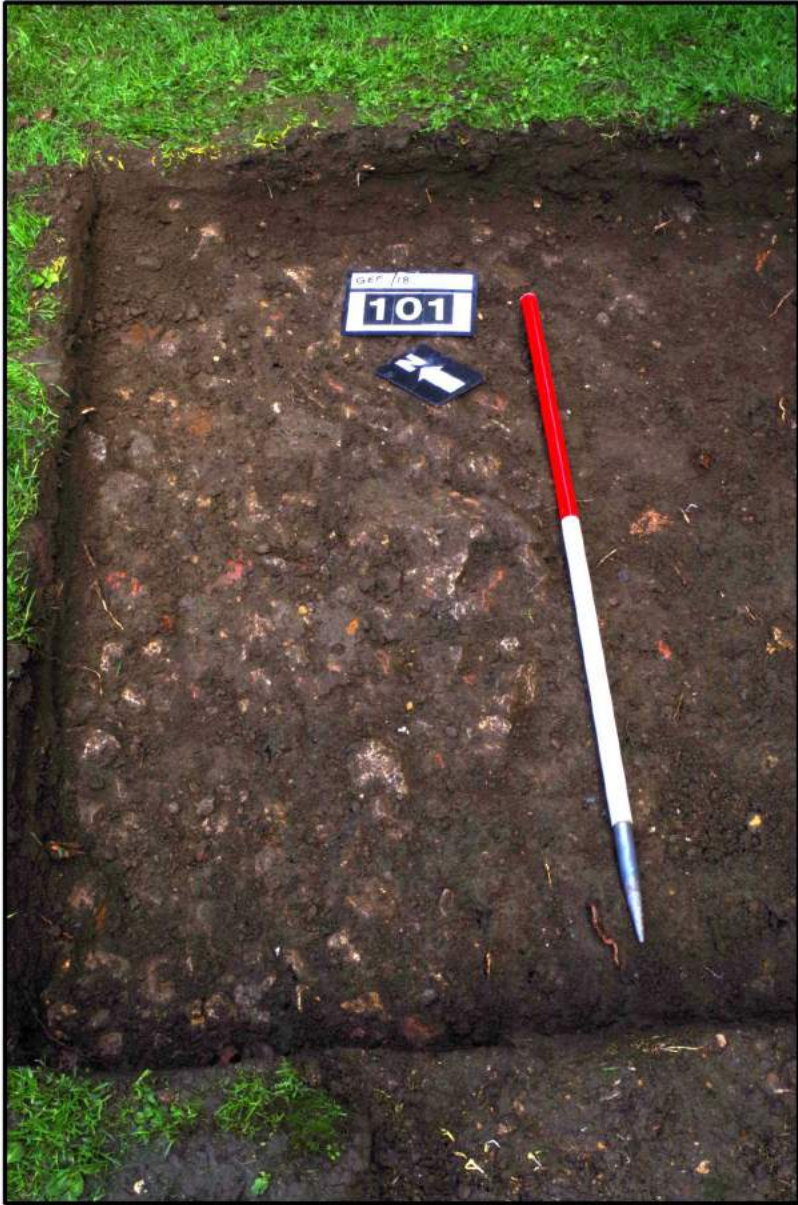


Fig 4: Context 101; yard surface



Fig 5: Context 202; stone footing



Fig 6: Context 106; cut or hollow containing yard surface (context 101). Also shows context 110; kerb stones to yard



Fig 7: Context 107; natural subsoil with context 111; land drain

## Appendix 1: List of the contexts

<b>Context number</b>	<b>Description</b>	<b>Interpretation</b>
100	Dark grey brown sandy loam with common small angular stone and common window glass. Brick fragments from this layer are the same size as arch bricks in immediately adjacent building	Turf and topsoil with construction debris
101	Compact stoney layer with common brick and tile	Surface of farmyard
102	Mid-grey brown sandy clay	Fill of 103
103	Sub-circular cut	Post hole
104	Mid-grey brown sandy clay	Fill of 105
105	Linear narrow slot	Slot for kerb stones
106	Linear cut	Cut, or hollow, for farmyard surfacing
107	Mixture of green-grey tenacious clay and yellow-buff sandy clay	Natural subsoil
108	Dark grey brown sandy clay with common brick and tile fragments	Fill of land drain
109	Rectangular section, flat bottomed cut	Land drain trench
200	Dark grey brown sandy loam with occasional to common charcoal flecks and occasional to medium angular stones	Turf and topsoil
201	Greyish buff sandy clay with common small to medium angular stone	Subsoil
202	Structure of large angular yellow sandstone	Footing for wall
203	Mid reddish-brown clay	Fill of 204
204	Circular cur	Post hole
205	Shallow, steep-sided linear cut	Foundation cut for 202
206	Small to medium angular stone	Fill of robber trench
207	Yellow-buff sandy clay	Natural subsoil



**Appendix 2: The finds report**

## Artefactual analysis by Laura Griffin

The finds work reported here conforms to the following guidance: for finds work by ClfA (2014), for pottery analysis by PCRG/SGRP/MPRG (2016), for archive creation by AAF (2011), and for museum deposition by SMA (1993).

### Aims

- To identify, sort, spot date, and quantify all artefacts;
- To describe the range of artefacts present;
- To preliminarily assess the significance of the artefacts.

### Method of analysis

All hand-retrieved finds were examined. They were identified, quantified and dated to period. A terminus post quem date was produced for each stratified context. The date was used for determining the broad date of phases defined for the site. All information was recorded on pro forma sheets.

For the purposes of this assessment, pottery sherds have not been quantified by specific fabric or form type but general composition of the group has been noted and is discussed with reference to the Warwickshire medieval and post-medieval pottery type series (Soden and Ratkai 1998).

### Results

The discussion below is a summary of the finds and of their associated location or contexts by period. Where possible, dates have been allocated and the importance of individual finds commented upon as necessary.

The assemblage recovered from the site totalled 95 finds weighing 1313g (see Table 1), all of post-medieval and modern date. Material came from six contexts and all of which could be dated 19<sup>th</sup>-20<sup>th</sup> century on the basis of the finds retrieved (Table 3).

Using pottery as an index of artefact condition, level of preservation was fair with pottery displaying low-moderate levels of surface abrasion and having an average sherd size of 8.7g.

period	material type	class	total	weight (g)
post-medieval	ceramic	pot	9	233
modern	ceramic	pot	60	365
modern	glass	vessel	21	512
modern	metal	bronze	3	64
modern	metal	iron	1	134
modern	rubber	pipe stem	1	5

*Table 1: Quantification of the artefactual assemblage*

## Summary artefactual evidence by period

All material has been dated and quantified (see Table 1). Pottery has been grouped and quantified according to general fabric class (Table 2). Sherds were datable by fabric type to their general period or production span.

### *Post-medieval*

The post-medieval assemblage consisted of nine sherds of pottery. These included five sherds of a sandy oxidised ware with an orangey brown glaze (fabric SLM; contexts 100 and 201). None were particularly diagnostic but those from context 201 were glazed internally, possibly indicating them to come from a bowl form. All could be dated 16<sup>th</sup>-17<sup>th</sup> century.

The remaining sherds were of Midlands blackware (fabric MB02; context 100) and manganese mottled ware (fabric MANG; contexts 100 and 101), all of mid 17<sup>th</sup>-18<sup>th</sup> century date.

### *Modern*

All remaining material was modern and included 60 sherds of pottery, the majority coming from glazed table wares of late 18<sup>th</sup>-20<sup>th</sup> century date (fabric MGW; contexts 100, 101, 108, 200 and 201). Most of these fragments came from transfer decorated china dinner services but a small quantity of creamware was also identified. Remaining pottery included three fragments of mocha ware (fabric MO; contexts 101 and 201), two pieces of a Nottingham stoneware handle (fabric STE02; context 100) and two near complete stoneware ink bottles (fabric STE; contexts 100 and 101). In addition, a small amount of red earthenware flowerpot was also identified (fabric MISC).

Other finds included a complete small glass bottle (context 100), 20 shards from a larger, green pharmaceutical bottle (context 206), an unidentified iron tool (context 206), three bronze objects including a clock key (contexts 101 and 201) and an ebonite pipe stem (context 101).

period	fabric code	fabric common name	count	weight (g)
Post-medieval	MANG	Manganese mottled ware	2	26
Post-medieval	MB02	Midlands blackware	1	102
Post-medieval	SLM	Late medieval/early post-medieval transitional	5	152
Modern	MO	Mocha ware	3	5
Modern	MGW	Modern glazed wares	51	187
Modern	STE	English stoneware	2	100
Modern	STE01	Nottingham stoneware	2	32
Modern	MISC	Earthenware flowerpot	2	41

*Table 2: Quantification of the pottery by fabric type*

## Significance

The finds assemblage is consistent with what is known about the development of the site, with the earlier pottery contemporary with occupation of the stone-built thatched cottage and the modern material seemingly incorporated during the construction of 19<sup>th</sup> century extension and subsequent use of the farmyard.

## Recommendations

No further work required.

context	material type	class	fabric	total	weight (g)	start date	end date	finds TPQ
100	ceramic	pot	MANG	1	4	L17C	18C	19-20C
100	ceramic	pot	MB02	2	55		18C	
100	ceramic	pot	MGW	21	80	L18C	20C	
100	ceramic	pot	SLM	1	4	16C	18C	
100	ceramic	pot	STE	1	72	19C	20C	
100	ceramic	pot	STE02	2	32	M18C	19C	
100	glass	vessel		1	67	19C	20C	
101	ceramic	pot	MANG	1	22	L17C	18C	19-20C
101	ceramic	pot	MGW	20	92	L18C	20C	
101	ceramic	pot	MISC	1	5	19C	20C	
101	ceramic	pot	MO	2	3	L18C	19C	
101	ceramic	pot	STE	1	28	19C	20C	
101	metal	bronze		1	12			
101	rubber	pipe		1	5			
108	ceramic	pot	MGW	5	2	L18C	20C	modern
200	ceramic	pot	MGW	3	8	L18C	20C	19-20C
200	ceramic	pot	MISC	1	36	19C	20C	
201	ceramic	pot	MGW	2	5	L18C	20C	19-20C
201	ceramic	pot	MO	1	2	L18C	19C	
201	ceramic	pot	SLM	4	148	16C	E17C	
201	metal	bronze		2	52			
206	metal	iron		1	134			19-20C
206	glass	vessel		20	445	19C	20C	

Table 3: Summary of context dating based on artefacts

## Bibliography

AAF 2011 *Archaeological archives: a guide to the best practice in the creation, compilation, transfer and curation*. Available at <http://www.archaeologyuk.org/archives/>

CIfA 2014 *Standard and guidance for the collection, documentation, conservation and research of archaeological materials*. Available at <http://www.archaeologists.net/codes/ifa>

PCRG/SGRP/MPRG, 2016 *A standard for pottery studies in archaeology*

SMA 1993 *Selection, retention and dispersal of archaeological collections*. Available at <http://www.swfed.org.uk/wp-content/uploads/2015/05/selectionretentiondispersalofcollections1-SMA.pdf>

Soden, I, and Ratkai, S, 1998 *Warwickshire medieval and post medieval pottery type series*, Northamptonshire Archaeology for Warwickshire Museum

**Appendix 3: The desk-based assessment**



**archaeologica**

Archaeologica Ltd  
7 Fosters Lane  
Bradwell  
Milton Keynes MK13 9HD  
tel: 01908 313000  
fax: 01908 313045

**ARCHAEOLOGY  
DESK -BASED ASSESSMENT**

**at**

**GROVE END FARM**

**UPPER BRAILES**

**WARWICKSHIRE**

**reference: 17/02414/FUL**

**AC 3257/1**

by

**Isabel M G Lisboa BA PhD**

**November 2017**

## **CONTENTS**

### **1.0 PLANNING BACKGROUND**

- 1.1 National Policy
- 1.2 Local context

### **2.0 THE SITE**

- 2.1 Location
- 2.2 Description
- 2.3 Topography and geology
- 2.4 Landuse
- 2.5 The Proposed Development

### **3.2 AIMS AND METHODOLOGY**

- 3.1 Aims**
- 3.2 Methodology**

### **4.0 DOCUMENTARY BACKGROUND**

- 4.1 Introduction
- 4.2 Written Evidence
- 4.3 Map Regression

### **5.0 HISTORIC ENVIRONMENT BACKGROUND**

- 5.1 Previous work in the Site and Grove End
- 5.2 Designated assets in the Site
- 5.3 Non-designated assets in the Site
- 5.4 Designated Assets in the Surrounds of the Site
- 5.5 Non-Designated Assets in the Surrounds of the Site
- 5.6 Landscape Character Assessment



## **6.0 ARCHAEOLOGICAL POTENTIAL OF THE SITE**

- 6.1 Archaeological potential
- 6.2 Impact Assessment
- 6.3 Impact of the proposed development
- 6.4 Mitigation

## **ILLUSTRATIONS**

- |           |   |
|-----------|---|
| Figure 1  | Location of the Site  |
| Figure 2  | Layout of the Site  |
| Figure 3  | Layout of the Existing and Proposed development               |
| Figure 4  | The known archaeology of the Site and surrounds from HER data |
| Figure 5  | The Sheldon map of 1580                                       |
| Figure 6  | The Site on the Sheldon Estate map of 1580 detail             |
| Figure 7  | The Site on the Sheldon Estate map 1867                       |
| Figure 8  | The Site on the OS map 1888                                   |
| Figure 9  | The Site on the OS map 1905                                   |
| Figure 10 | The Site on the OS map 1922                                   |
| Figure 11 | The Site on the OS map 1974                                   |
| Figure 12 | Detailed map regression                                       |
| Figure 13 | Aerial Survey transcript: Upper Brailes (RCHM)                |

## **APPENDICES**

**APPENDIX 1** Non- Designated Assets of the Site and its surrounds (HER)

**APPENDIX 2** Designated Assets of the Site and its surrounds

**APPENDIX 3** Historic England Listing for Grove End Farm

**APPENDIX 4** Supporting Statement Grove End Farm

## **1.0 PLANNING BACKGROUND**

### **1.1 National Policy**

- 1.1.1 National Planning Policy Framework (Department for Communities and Local Government March 2012) has the concept of sustainable development at its core for both plan-making and decision-taking. One of the 12 core policies states that planning should conserve heritage assets in a manner appropriate to their significance, so they can be enjoyed for their contribution to the quality of life of this and future generations.
- 1.1.2 The Planning Practice Guidance (2014) reiterates the NPPF guidelines and states that: “In determining applications, local planning authorities should require an applicant to describe the significance of any Heritage Assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the Heritage Assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include Heritage Assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.”
- 1.1.3 Under ‘Conserving and Enhancing the Historic Environment’ the Planning Practice Guidance states that: “being able to properly assess the nature, extent and importance of the significance of a heritage asset and the contribution of its setting, is very important to understanding the potential impact of a development potentially affecting a significant heritage asset”.
- 1.1.4 Paragraph 128 states that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum, the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.
- 1.1.5 Paragraph 129 states Local Planning Authorities should take into account the significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) when considering the impact

of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.

## **1.2 Local context**

- 1.2.1 Stratford-district government requested an archaeological desktop in their letter addressed to Mr Malcolm Timms date 30/8/2017 prior to registering the Application

## **2.0 THE SITE**

### **2.1 Location**

- 2.1.1 The Application Site, Grove End Farm, is located towards the southern edge of the hamlet of Upper Brailes fronting Henbrook Lane (Fig 1). The Development Site sits to the north and the rear of Grove End Farm, a Grade II listed building (see **Appendix 3**). It is set against a backdrop of hills and Hen Brook and more generally the hamlet of Upper Brailes
- 2.1.2 Brailes consists of two hamlets, Upper Brailes (MWA 2359) and Lower Brailes (MWA 2315) located within the parish of the same name near the boundary of Oxfordshire from which it is separated on the east by a ridgeway known as Ditch edge Lane and Beggar's Lane. The parish church is situated at Lower Brailes. The ground rises to the north along the main road towards Upper Brailes. Upper Brailes is a settlement with many red brick houses, with buildings two of which at least are of late 17th century date, though much altered.
- 2.1.3 The 19th century historical mapping including the 1st and 2nd edition OS mapping shows a linear pattern during the 19th century largely on the B4035. However the 1580 Sheldon map shows a more complex pattern, with a larger settlement overall, organised around several lanes. The map shows houses in Upper Brailes either side of what is now Henbrook Lane and also on another lane surviving as Hollow Hill (east of Brailes House) though here their distribution pattern lacks the regularity and close spacing perceptible along the High Street to the north where the spatial organisation of the houses and closes is akin to burgage plots. The RCHM aerial photography mapping shows the medieval landscape with a more extensive area of settlement and closes surrounded by the village's open fields.

### **2.2 Description**

- 2.2.1 The Application Site consists of a house, Grove End Farm and its curtilage. Grove End Farm is a Grade II Listed Building, is made of two blocks: a stone built 17th century or

earlier thatched cottage to the south and a 19th century brick built extension to the north. (Figs 2, 3)

- 2.2.2 The Development Site consists of grass, and two lines of conifers 3m tall. A sewer runs across the Development Site falling from the south and then heading westwards towards Henbrook Lane. The development Site forms only a small area of the curtilage of the Application Site (Fig 2). The Development Site abuts the 19th century part of the Grove End.
- 2.2.3 Documentary evidence and structural evidence suggest the Grove End Farm has never been divided into three cottages as the National List Description (**Appendix 3**) suggests. The available evidence suggests it has been within the Sheldon Brailes Estate until was sold shortly after the sale of their Upper Brailes estate in 1868, then described as a “Stone-built and slated farmhouse”. It has been much altered internally and in the external fabric.
- 2.2.4 The plan form of the house is of a traditional single main range, with evidence suggesting its early form was of central hall with in-line high and service bays at either end. The present two-bay slate range on the north end was constructed in approximately the 1840s and appears to occupy the site of the demolished service bay
- 2.2.5 Until 1982 the rear of the house was a farmyard with associated buildings. Most of these can be associated with the farm buildings listed in the 1868 auction sale and still visible in the photograph dated 1963. At that time a timber shed covered much of the site of the proposed extension.
- 2.2.6 The Site falls within the area of high archaeological sensitivity as identified in the Historic Environment Assessment (Fig 13)

### **2.3 Topography and geology**

- 2.3.1 The online geological mapping (BGS open data) indicates that the Site is underlain by Charmouth Mudstone Formation - Mudstone. No superficial deposits are recorded.
- 2.3.2 Brailes is a large parish bordering Oxfordshire to the south-east. It is a hilly parish and its highest point is along ridgeway, Ditchedge Lane and Beggar's Lane at just over 100m OD.
- 2.3.3 The Site is located on high ground, on a slope which drops towards the NNE towards the Hen Brook which flows to the west and north of the Site. Given the past landuse of the Site as a farmyard some of the present topography was created by infill following the end of the use of the area as a farmyard, including the infill of a farm track, and its conversion to grassland and orchard.

## **2.4 Landuse**

- 2.4.1 The 1580 Sheldon map shows a house in the area of the Application site set within a large close. The representation of the house is identical to all others and is not a depiction of the actual house then standing. In the late 19th century there was an outbuilding in the Development Site. Though part of the stone built house may date to the 17th century or earlier, the proposed extension would abut the 19th century extension.
- 2.4.2 Until 1982 the rear of the house was a farmyard with associated buildings. Most of these can be associated with the farm buildings listed in the 1868 auction sale (attached) as shown by mapping and aerial photographs. Up to 1982 a timber shed covered much of the site of the proposed extension.
- 2.4.3 Following the disuse of the farmyard the area was filled with soil and turned to grassland as the use of the farmhouse and plot became residential. Two leylandii hedges were planted now c. 3m tall. They sit in part of the area of the proposed extension (Development Site).

## **2.5 The Proposed Development**

- 2.5.1 The proposed development consists of an orangery to the east and a plant store to the north both abutting two sides of the 19th century brick built building. These will have trenched wall foundations. The Garden store will be a lighter building not necessitating substantial foundations (**Fig 3**). Further details are set out in **Appendix 4**.

## **3.0 Aims and Methodology**

### **3.1 Aims**

- 3.1.1 The aim of the report is to provide a summary of known archaeological information for the area, based on existing data, analysis of historic sources, aerial photographs and a site visit. The likely nature of archaeological deposits and features, which may be impacted upon by any proposed development is outlined. It follows best practice procedures produced by the Chartered Institute for Archaeologists (CIfA 2016) and contained in NPPF. This advice recommends identification of the likely presence and significance of any archaeological deposits or important elements of the historic environment including their setting at an early stage. Local plans tend to reflect this guidance

### **3.2 Methodology**

- 3.2.2 The Hertfordshire archives and the Local Studies collection were consulted for further records relating to the site. Information noted consists of early maps, documents and secondary sources. Aerial photographs transcriptions were obtained from Historic England in Swindon. The Environment Agency LiDAR imagery was examined.
- 3.2.3 Previously recorded archaeological information, as well as details of designated heritage assets in the Site and the vicinity of the site, is presented in Sections 5 and 6 of this report. The numbers used in the text are those issued by the NHER. The list of HER entries for the Site and its surrounds forms **Appendix 1**. The list of Designated Assets for the Site and its surrounds forms **Appendix 2**. A walkover of the Site and its surrounds was undertaken.
- 3.2.4 A summary of the known structures and historical features discusses the potential for hitherto undiscovered sub-surface deposits and evaluates the likely impact of the development of the site. An appropriate approach to further evaluation and mitigation is then recommended.

## **4.0 DOCUMENTARY BACKGROUND**

### **4.1 Introduction**

- 4.1.1 The two hamlets, Upper and Lower Brailes were once two discrete villages. Upper Brailes is a settlement with generally later standing buildings including many red brick houses. At least one building, Gate Inn, built of stone, may be of the 17th century (though subsequently much altered), and a cottage nearly opposite, has moulded mullioned stone windows of the 17th century. Near the north end on the east side of the road is another gabled stone house possibly of the 17th century with the pointed head of a 14th-century window of two trefoiled lights and a quatrefoil, probably from a church, reset in the gable. It is suggested on documentary and structural grounds that Grove End Farm is likely to have elements of least 17th century date, or even earlier, though it has been much altered including insertions from other buildings.
- 4.1.2 Brailes is unusually well documented through the survival of the Tudor Map, the Sheldon Estate map dated 1580. This map depicts the early post-medieval layout of the two hamlets, Upper and Lower Brailes. By then the hamlet had shrunk from its earlier medieval extent as attested by cropmarks and earthworks which survived extensively into the 1960's and which provide the basis for the elucidation of the extent of the medieval village, much larger than at present (Fig 13). It had slightly diminished in size by the late 16th century when the Sheldon Tudor map was surveyed. Upper Brailes is depicted in this map, which as will be discussed below had started to shrink from its medieval hiatus, a decline which had become more



pronounced by late 19th century. Upper Brailes is a shrunken medieval settlement (MWA 2315). The HER suggests that Upper Brailes was a medieval Borough confirmed by the 1267/8 Inquisitiones Post Mortem of W Maudit giving rents of burgesses (MWA 2315, 10).

- 4.1.3 The major change in the spatial organisation of the village came with the early enclosure starting in the late 15th century and into the 16th century, judging by the depiction of the landscape on the Sheldon map. Enclosure not only changed the face of the landscape with pasture taking over areas formerly occupied by the open fields of the village but it also led to the desertion of the habitation areas. In Brailes William Brown, presumably the king's servant of that name, was granted in 1485 the offices of bailiff of the lordship and keeper of the warren of Brailes and in 1491 destroyed a messuage and converted 12 virgates, of 16 acres each, of arable into pasture, putting 4 ploughs out of use and ejecting 16 persons (Salzman 1949)

## 4.2 Written Evidence

- 4.2.1 The place-name is recorded as 'Brailes' in 1086; thought to derive from the Celtic elements 'bre' (Hill) and 'les' or 'lis' (court, palace, residence of a chieftain) (Gover et al 1970), possibly suggesting a pre-early medieval origin.
- 4.2.2 The parish of Brailes is recorded as a pre-Conquest manor in the Domesday Survey of 1086. It was a large parish with 130 households, 100 villagers and 30 smallholders. The entry also mentions 12 slaves and 3 female slaves. It had land for 60 ploughlands, six lord's plough teams and 46 men's plough teams. Other resources included meadow (100 acres) and woodland covered 3 x 2 leagues. The parish also had a mill, valued 10 shillings. The water-mill was probably located on the Sutton Brook (VCH) .Brailes had a taxable value 46 geld units. Its value had increased from £17.5 in 1066 to £55 two decades later (Morris 1976 Ref 1,1) in addition to a render of 20 horseloads of salt (from Droitwich). It was a royal manor with a very large population. The survey is likely to refer to both Upper Brailes (MWA 2539) and Lower Brailes (MWA 2315) and also those at Winderton and Chelmscote for which there are no separate entries.
- 4.2.3 The manor of Brailes, which had been held by Earl Edwin in the Saxon period, was retained after the Conquest by King William. By 1130 it had been granted to the Earl of Warwick who in that year had to pay 200 marks 'ut rex perdonaret ei superplus' hidarum de manerio de Brailes'. It continued to be one of the chief demesne manors of the earls and descended with the earldom and the castle of Warwick, coming eventually to the Crown. In 1247 William Maudit and Alice his wife, heir apparent of the Warwick estates, granted that if Margery, sister and heir of Thomas, late Earl of Warwick, died without issue her husband John de Plessy might retain for life certain manors including Brailes. In the following year John and Margery obtained a grant of a market on Monday and a fair on the eve, day, and morrow of St. George in their manor of Brailes. The Market cross is just visible in the Sheldon Map of 1580 (Fig 6),

further discussed in section 5.2) within the market area, an open area at the crossroads of the main arteries through the village.

- 4.2.4 In December 1546 the manor was granted to Thomas Wymbish and the Lady Elizabeth Taylbois his wife, who next year made a conveyance of the manor-house, lands, water-mill, horse-mill, rabbit warren, and tolls of fairs and markets to William Sheldon and Mary his wife but this conveyance was not effective. By 1630 Ralph Sheldon was lord of the manor and it has continued to descend in this family (VCH 1949).

### 4.3 Map Regression

- 4.3.1 As a first step in considering the historic map evidence a search was made through a series of local and regional archives and libraries and a selection made on the basis of their coverage of the Application Site and its environs (see list of *Maps Consulted*).
- 4.3.2 The investigation was then divided into two levels. First the Application Site and its immediately adjacent area was examined in detail for any evidence which might indicate the presence of any archaeological or historic features within the Application Site or which would enable the interpretation of the archaeology of that site. Second, a somewhat wider ranging but less detailed examination of the general area was carried out for any significant historical evidence.
- 4.3.3 The earliest detailed map of the Site dates from 1580 (Sheldon map) and the next a detailed map is also the estate map dates from 1867 from an estate map. Brailes was not assessed under the 1836 Tithe Commutation Act and, in common with many early enclosures, a map was not created for the Brailes parliamentary Inclosure Act of 1784 (Kain et al 1995).
- 4.3.4 Of all the maps considered by far the most useful, from an archaeological and historical point of view, was the survey made in 1580 of Ralph Sheldon's estate (**Fig 4**). The Sheldon map is of quite a large scale and remarkably detailed for its time, and an important cartographic document. The Sheldon family held most of the parish of Brailes at the time. It is also of great significance for the study of the whole area of Brailes parish with exception of the area to the north of hamlet of Winderton which is not shown in detail. Winderton, as it did not belong to the Sheldons.
- 4.3.5 The 1580 map (**Fig 5**) was commissioned by Ralph Sheldon (1537-1613), son of the founder of the tapestry workshop at Barcheston. It shows the Sheldons' Brailes Estates. c. 1600 and bears the arms of the Sheldon family. The original map is 685mm high and x 838mm wide.
- 4.3.6 The shaded area of the map correlates well with Brailes parish boundaries. The Banbury to Shipston road is not clearly marked until it enters Holloway Hill at the lower centre left of the map after which it passes through Lower Brailes, past St. George's Church (blue roof), crosses Sutton Brook and on to College Green where it

takes a sharp turn to the right. After passing through Upper Brailes the road turns left down Fant Hill and then onto Shipston on Stour beyond the top centre edge of the map.

- 4.3.7 In scaling and plotting this map it rapidly became clear that it is quite accurate at a detailed local level but that there are distortions of direction and distance between individual features. It seems as though the map may have been assembled in a patchwork from many small local surveys, and that the patches have not always been positioned correctly relative to each other. Even if the distance and orientation are not particularly accurate it is possible to relate the different plots and dwellings, streams and roads in terms of their detailed shape and inter-relations and thus locate the present landscape and features onto the late 16th century map. Buildings are drawn stylistically.
- 4.3.8 The map shows hamlets of Upper and Lower Brailes and the surrounding fields, including areas of warrens and ridge and furrow. The buildings are shown in elevation with red roofs (save the church, which has a blue roof), and roads are left uncoloured. Arable fields are depicted in a brown and cream chequer-work showing the strip pattern, meadows and open grazing land in green with little bushy trees to indicate hedges and woods, brooks in blue (**Fig6**).
- 4.3.9 In Upper Brailes the map shows that the houses are spread along the main road with long linear burger type plots to the rear along the High Street to the north, though to the south, around Grove End for example his pattern differs, resembling a green type village around the Market and losing its geometric regularity. In 1580 Upper Brailes extended further to the west than at present. Lower Brailes also extended further to the west of the main road than at present. The extent of the villages as shown in the 16th century map is also shown in the aerial assessment (Priest and Dickson 2013) with cropmarks and earthworks visible to the west of Upper and Lower Brailes showing that for Upper Brailes the village extended to the west of Henbrook Lane. Neither the 1580 map or the aerial assessment show evidence of settlement to the east of the main road (other than roadside settlement).
- 4.3.10 The 1580 Sheldon Estate map shows the post-enclosure landscape, with some elements of the earlier medieval open fields surviving: these are shown as open stitches and as their direction varies, they are likely to represent the direction of the furrows. Woodland and trees in the village are also shown. The village had diminished from its full medieval extent as shown by the earthworks (Fig 13).
- 4.3.11 The Sheldon Estate map is difficult to interpret as many features including the overall scale and orientation of the map are significantly distorted. The buildings shown are believed to be stylistic rather than true images. However, there is sufficient correlation between the features shown in the Grove End area and the late 19th century maps to allow an accurate assessment of which buildings are represented on the earlier map. Comparison with the Sheldon Estate Map of 1867 map (Fig 7) shows a commonality in principal features such as the High Street, Holloway Hill towards Lower Brailes, and Sutton Lane. A road heading south from the

Market Place, the southwards prolongation of the High Street skirted the woodland to the west of the Site and ran towards Brailes Hill and beyond, running parallel to Sutton Lane, had disappeared by the late 19th century.

4.3.12 Many of the closes including a pale-like broken line boundary arcing from N to S to the west of the Site are mapped in the 1888 1st edition OS map as are close boundaries around the houses depicted in the Tudor map and next to them indicating a significant degree of fossilisation of the medieval boundaries of closes. The boundaries of the woodland (Grove) shown on the Tudor map were fossilised in the 19th century, when they delimited an area which includes a smaller area of woodland labelled in 1888 as "Old and New Covert". The Market at the junction of Holloway Hill, High Street, Henbrook Lane, Sutton Lane and the former lane towards Brailes Hillis shown as a open space divided by the lanes and marked by a Market Cross (Fig 6). Henbrook Lane is set along a N-S track on the same alignment as present to the market place. It stops well short of its late 19th century extent, perhaps because the land to the south did not belong to the Sheldon Estate.

4.1.13 The next detailed map is the Estate Map of 1867 (Fig 7) then still owned by the Sheldon Family. This map shows the farmhouse and outbuildings including over the area of the Development Site. In the following year the house was sold but the sale catalogue map is less detailed showing only the main buildings. The first detailed OS map dates from 1888 (OS 25") and shows that the broader area of the Henbrook Lane, between Grove End Farm and Grove House, as shown in the 1867 and 1868 maps had been narrowed and straightened. Within the Application Area outbuildings are shown including the area of the Proposed Extension. The Application Site was divided into the farm yard adjacent to the House and fields further to the west and north. The area away from the house was further divided and planted with trees between 1922 (Fig 10) and 1974 (Fig 11). Between 1974 and 1999 the boundary was removed resulting in the large open curtilage area which exists at present.

4.1.14 Grove End Farm is depicted in the 1580 south-west of the Market Place set in a polygonal plot. The comparison between the 1580 and the 1867 map shows that the line of the western boundary of the Market is shown as a footpath in the estate map of 1867. Grove End Farm sits to the west of the market in both maps. All houses are represented with symmetrical facades and chimneys all identical so they are not accurate representation of the houses. This area of Upper Brailes seems to consist of old closes different in character from the burgage type plots in the north of the settlement. The Site has a particularly large plot suggesting it may have been a farmhouse.

4.3.15 On Henbrook Lane three houses are shown next to the Market, forming a 'U'. This irregular shape survived into the second half of the 19th century as an L shaped eastern edge of Henbrook Lane as shown in 1867 and 1868 maps. A house is shown on the Application Site parallel to Henbrook Lane, in the same orientation as the older stone built building which forms the western part of Grove End Farm. It is set within a large polygonal plot which abuts another plot (with no house) to the south. It could well be a depiction of the stone built part of Grove End farm or its

predecessor. The plot to the south is shown on the aerial photographs 1955 (V 080202) and 1966 (ANA 90) as a series of closes suggesting that the plot associated with Grove End Farm had already been enclosed and used for pasture by 1580 as was the case with the SW corner of Upper Brailes (which thus preserved the earlier field system features).

## **5.0 HISTORIC ENVIRONMENT BACKGROUND**

### **5.1 Previous work in the Site and Grove End**

- 5.1.1 No archaeological investigations are known from the Site. A 0.6x 0.6m x 1.2 m deep pit was hand-dug on the edge of the Development Site for structural investigation (Fig 3, brown square). The pit was examined in the course of the Site visit affected in connection with this Desktop. It showed no evidence of archaeological deposits and the landowner recovered no artefacts from it. The deposits in the pit consisted of c 0.2 m of topsoil (loamy dark brown, about the same of made ground, a layer of brownish grey clay with occasional stone, overlying yellowish brown clay with occasional medium sized stones (natural) - **Plate 1**. No earthworks were visible in the Development Site.
- 5.1.2 In the Grove End area of Upper Brailes two sets of archaeological intrusive investigations are known: at Grove End House, 200m to the south of the Site, evaluative trial trenching (EWA889) consisting of two small trial trenches, 2m x 1m were excavated within an area of proposed development. No archaeological features were identified and three sherds of medieval pottery were recovered from the exposed soil (unstratified). Subsequent archaeological observation failed to identify archaeological deposits/features.
- 5.1.3 A programme of archaeological observation at Henbrook House EWA9376, to the south of Grove End metres to the south of the Site, recorded a possible path was recorded running north-south. A single prehistoric flint flake, possibly from a knife blade was recovered from the top of the old ploughsoil along with a sherd of 17th/18th century pottery again all unstratified.
- 5.1.4 At SP 3052 3939, 150m to the NW of the Site, on the higher land to the north of Hen Brook, a magnetometer survey was carried out (EWA9751) in an area labelled "burnt orchard" in the 1867 map.
- 5.1.5 To the east of the Site at Brailes House no medieval or earlier remains were encountered in the course of a programme of archaeological observation (MEW 10430).

### **5.2 Designated assets in the Site**

5.2.1 Grove End Farm is a Grade II Listed Building. Some elements of the older stone built house may have at least sixteenth-century if not fifteenth-century origin. The plan form of the house is of a traditional single main range, with evidence suggesting its early form was of central hall with in-line high and service bays at either end. The present two-bay slate range on the north end was constructed in approximately the 1840s and appears to occupy the site of the demolished service bay. The listing is in Annex 3.

### **5.3 Non-designated assets in the Site**

5.3.1 No non-Designated Assets are shown in the HER in the Application Site or Development Site.

5.3.2 The Site falls within the area of medieval settlement (MWA 2359) as shown in the NMP air photography transcription (Fig 13). The Site sits in an area of high archaeological sensitivity for remains of the medieval settlement (Carter N and Mac Quarrie 2012 Fig 5.4).

### **5.4 Designated Assets in the Surrounds of the Site**

5.4.1 There are 20 Grade II listed Buildings (see **Appendix 2**) in Upper Brailes including Grove End Farm, as well as buildings of local interested listed in HER (**Appendix 1**).

5.4.2 The Scheduled Monument in the Study Area is the Castle Hill Motte sits nearly 1 Km to the north, east of the village. The motte is sited on a natural knoll whose summit has been reshaped to some extent and artificially raised to create the flat-topped mound. It measures approximately 24m across its top with traces of a low bank around its outside edge and is surrounded by a 2.5m wide ditch. The motte stands on an oval-shaped platform which has been formed by modifying the sides of the hill to create a levelled area around the motte. Immediately to the north, west and south west is a further terraced area which, together with the platform, are believed to have formed a series of outworks around the motte the main significance of this monument lies in the buried deposits in the motte and its setting makes a contribution to its significance principally the fields surrounding the motte. More generally its setting is informed by the village of Upper Brailes, but the proposed development would not affect the significance of this Designated Asset of the highest importance.

### **5.5 Non-Designated Buried Assets in the Surrounds of the Site**

5.5.1 A total of 52 heritage assets (excluding buildings) lie within 1 Km of the village. These are listed in Annex 1 and shown in Fig 4.

### **Prehistoric**

- 5.5.2 A possible Neolithic long barrow has been identified from aerial photographs to the north of the study area (MWA 2321) as suggested by the place name 'Long-arrow Field'. There is however no corresponding aerial photographic evidence to support the presence of the barrow.
- 5.5.3 To the east of the High Street towards the north of Upper Brailes, A possible ditch, containing a fragment of probable saddle quern and Neolithic rejuvenation flake, was recorded during observation on a site in Upper Brailes. A flint knife was recovered in the course of metal detecting t( MWA25520) near the Castle in the north of the village.

### **Late Bronze Age/ Iron Age**

- 5.5.4 The WHER records settlement activity has been recorded, including a possible Bronze Age pit alignment to the west of Henbrook Lane (MWA 13079). A possible prehistoric ditch (MWA 12516) during separate archaeological investigations in the east of Upper Brailes. These finds may be residual, but they do show prehistoric activity in the vicinity.
- 5.5.5 Near the pit alignment area (MWA 13079) an area of possible settlement (MWA 13080) has been revealed by geophysical survey with ring ditches and pits, suggesting a multi-phase site probably dating, on typological grounds, from the late Iron Age as well as falling within the area of the medieval settlement of Upper Brailes, as shown by earthworks, thus indicating multi-phased settlement.

### **Roman**

- 5.5.6 Romano-British ceramics and coins and two area of Romano-British settlement have been identified to the in the eastern part of Upper Brailes.
- 5.5.7 The possible site of a Roman settlement is known from 500m east of Castle Hill Lane where fragments of Roman pottery, tile and glass have been found on this site and the remains of a stone floor have been excavated (MWA2318).
- 5.5.8 Romano-British ceramics and coins have been found within the study area during limited excavation on the east side of the High Street (MWA 2322) near the Castle, where two ditches were also excavated but no stratified dating evidence was found, in an area where Roman coins are known as isolated finds (MWA 2332, 2326). Coins often result from chance losses while small numbers of Roman sherds are congruent with manuring. Most of the finds Isolated metal detectorist finds are known from Upper Brailes. An area of Romano-British settlement has been identified to the east of Upper Brailes (MWA 2318). The nearest Roman findspots from the vicinity of Site are metal detectorist finds from east of Henbrook Lane (MWA10072) which include a bracelet and a brooch. Towards Lower Brailes there are more numerous findspots from detectorist activity (e.g MWA 2331).

### **Medieval**

- 5.5.9 A large number of earthworks within Upper Brailes have been mapped as part of the South East Warwickshire and Cotswolds HLS Target Areas National Mapping Programme. Individual areas have often been mapped and are included within the whole HER monument boundary for the medieval settlement. These include: MWA 2359, an area of Medieval settlement is visible as earthworks on aerial photographs. The site comprises a series of probable boundary banks suggesting at least five probable crofts, a probable building, a pair of hollow ways and a pond. At least two of the boundary banks and the pond overlies or cut four associated blocks of ridge and furrow.
- 5.5.10 MWA 2359 represents an extensive area of Medieval settlement visible as earthworks on aerial photographs taken between 1947 and 2001, though some areas of the earthworks have been levelled on aerial photographs taken in 2007. The site is extensive and complex, and comprises at least 40 building platforms at least 30 crofts which are divided by around 50 hollow ways and boundary banks. The most complex and best preserved earthworks are located between Grove End and Cawley's Covert, though the earthworks also extend up the main north-south oriented road.
- 5.5.11 The earthworks at Brailes are complex and the NMP has plotted them (Fig 13). Some earthworks have been left outside of the HER settlement boundary as, although they do exist, they appear to be outside of the known crofts and tofts. These are normally the occasional bank, hollow way or pond. The NMP plotting gives a very good impression of the complexity and good survival of both Upper and Lower Brailes. It presents a coherent depiction of the medieval settlement, more extensive than depicted in the 16th century map, with houses and their closes organised around the road/track layout, banks probably relating to the small area of woodland (grove) shown in Sheldon's map to the south of the Site, and around the settlement and closes the fields of the settlement including extensive area of furlongs, shown as upstanding or ploughed ridge and furrow.
- 5.5.12 In the late medieval/early post-medieval period the Sheldon map shows that the houses at Upper Brailes are spread along the main road with long linear plots resembling burgage type plots to the rear along the High Street in the north of the village. In the south, around Grove End for example, this pattern is absent, resembling a green type village and lacking its geometric regularity and rhythm of the plots to the north. Upper Brailes, in common with many villages in the area is likely to have reached its maximum population and extent prior to the 14th century. After the 14th and 15th with the increase in wool trade and wealth, Upper Brailes is likely to have shrunk both geographically and demographically. The full extent of the medieval village can be gathered from the late 19th century and earthworks and cropmarks visible from the air and apparent in the aerial photographs especially prior to 1960. In the 1945-1960 photographs ridge and furrow, house closes and platforms, wood closes and probably cattle closes are apparent in aerial photography. To the south of the Henbrook Lane there was a grove which corresponds to banks consisted with woodland banks, and presumably the *raison d'être* of the Grove End place-name.



- 5.5.13 In spite of the a number of archaeological intrusive investigations undertaken in the area of settlement shown in see Historic Environment Assessment the results have been meagre.
- 5.5.14 Trial trenching at Myrtle Cottage in area that was a plot of a medieval house identified two medieval layers containing significant concentrations of unabraded Medieval pottery. The total of 70 sherds recovered during the evaluation, the largest assemblage record in Brailes (MWA 29828)
- 5.5.15 At Grove End House, an evaluation was carried out in 1991 which recovered three sherds of medieval pottery (Oxford Archaeological Unit 1991), but revealed no significant archaeological features (MWA 7250).
- 5.5.16 In 2007 archaeological evaluation and subsequent observation at land adjacent to Midcot, Upper Brailes, revealed a cultivation soil containing probably 11th-century pottery, and probable linear features, a pit and post hole with 11th- to 13th-century pottery. The pottery in the posthole was thought to be residual, and no definitely medieval structural evidence was found. An undated ditch roughly following the present southern boundary may have been a medieval or early post-medieval predecessor. The absence of later medieval and early post-medieval pottery suggested abandonment of the site or perhaps conversion to pasture in the 14th century (Rann, 2009).
- 5.5.17 Burials and a building were located in the 19th century (MWA 2325) at Radnall Bush may be of medieval date given the lack of grave goods in close proximity to earthworks indicating settlement.
- 5.5.18 Extensive former open fields, noted for their ridge and furrow surrounding the settlement and the closes adjacent to the houses have been mapped by RCHM on the basis of aerial photographs around the shrunken medieval settlement (MWA 14439, 19841 in Grove End and 2359, 30069, 6436, 18832, 19840, 19883). A stock enclosure is recorded at MWA 19439. Ditches and gullies which predate a ridge and furrow system were identified during investigations in Sutton Lane (MWA 30069).
- 5.5.19 The main road through the village marks the line of a Salt Road or salt track from Droitwich (MWA 8672), which may have been in use during the medieval period.
- 5.5.20 An archaeological evaluation carried out by the OAU on land adjacent Henbrook Lane, at Grove End House Upper Brailes revealed no archaeological features and three sherds of medieval pottery. A watching brief carried out by Warwickshire Museum found no medieval finds and no archaeological features. The sherds could be the result of manuring.
- 5.5.21 A motte and bailey castle sits to the east of the village at Castle Hill and is a Scheduled Ancient (MWA 2311) Monument (SM 21630).

### **Post-medieval**

- 5.1.22 At Stonecroft Farm an evaluation in 1992 revealed no evidence for medieval occupation (MWA 7231) but several 19th-century pits were identified.
- 5.5.23 There is evidence of a post-medieval toll road, established from 1781, that ran between Banbury and Barcheston via Brailes (MWA 4828).

### **Undated**

- 5.5.24 Archaeological work carried out in 2003 at Pleasant View, Upper Brailes, MWA9681 revealed a ditch of unknown date during the excavation of a trial trench prior to the erection of a new dwelling.

## **5.6 Landscape Character Assessment**

- 5.6.1 The Site is set in HEA5 Brailes (Upper and Lower) ACO 2012

## **6.0 ARCHAEOLOGICAL POTENTIAL OF THE SITE**

### **6.1 Archaeological potential**

- 6.1.1 Documentary (Sheldon map 1580 and sale catalogue of 1868) and structural evidence suggest the Grove End Farmhouse has never been divided into three cottages as the List Description suggests. Evidence suggests it has been within the Sheldon Brailes Estate until was sold shortly after the sale of their Upper Brailes estate in 1868, then described as a “Stone-built and slated farmhouse”.
- 6.1.2 Until 1982 the rear of the house was a farmyard with associated buildings. Most of these can be associated with the farm buildings listed in the 1868 auction sale (attached). An aerial photograph of 1963. shows the Site as a Farm. At that time a timber shed covered much of the site of the proposed extension.
- 6.1.3 The plan form of the house is of a traditional single main range, with evidence suggesting its early form was of central hall with in-line high and service bays at either end. The present two-bay slate range on the north end was constructed in approximately the 1840s and appears to occupy the site of the demolished service bay.
- 6.1.4 The present house may or may not be the house shown on the late 16th century Sheldon map south of the Market. The Application Site certainly falls within the area of the medieval village of Upper Brailes. The house shown on the Tudor map may overlay an earlier building. The Application Site is not in the area of burgage plots known from the northern part of Upper Brailes and the Sheldon map shows it to have a more rural character.

6.1.5 The Application Site in general and the Development Area in particular have the potential for medieval deposits. It is likely that remains of an earlier medieval house is present under or in close proximity to the older part of the house (stone built) and could well have sat in the footprints of the Victorian building (brick built). It is possible but not highly likely that in the medieval period the plot of the house would be littered with rubbish pits, given its rural character. Pits and gulleys/ditches of medieval and post-medieval might have been present in the plot.

## **6.2 Impact Assessment**

6.2.1 The area of the Development Site is located adjacent to a Victorian extension to the 16th/17th century stone built house. The foundations of the Victorian house are likely to have been slightly larger than its footprint. Furthermore a sewer runs in a S-N direction across the footprint of the proposed extension, deeper in the northern end where the proposed extension is to be built. It then runs at a right angle in a W-E direction towards Henbrook Lane, in the other part of the extension. This area to the north of the Victorian building is also affected by the roots of the 3m tall line of leylandii (Fig 14) which has roots likely to be 1.4-1.6m wide and 0.6m deep. The timber shed to the north is unlikely to have any impact on underlying deposits.

6.2.2 Prior to the planting of grass and leylandii the area was used (up to 1982) as a farmyard. This is likely to have truncated superficially the underlying deposits.

6.2.3 It is thus likely that some degree of truncation is present across the whole of the Extension Site while the area of the sewer and the leylandii this impact is likely to be more severe, so that only the lower levels of negative features (if present) would survive. The north-eastern part of the extension, plant store sits in an area where an outbuilding is shown in the late 19th century maps. It is likely to have been significantly negatively affected in the 20th century by the mixture and sewer running across the middle and the closely packed line of leylandii. The Orangery is less impacted, though still partly affected by the sewer and a second area of leylandii hedge.

## **6.3 Impact of the proposed development**

6.3.1 The proposed development consists of an extension with trench foundations for the wall except for the Garden Store. In view of the sloping ground and the proposed raft foundation a degree of ground reduction is necessary. The wall foundation and raft would have a negative impact on potential buried archaeological deposits if they are present.

6.3.2 The areas of higher impact

## **6.4 Mitigation**

- 6.4.1 The Site falls in the area of a house plot of early post-medieval date and probably of medieval date as well. It is therefore located in an area of high archaeological sensitivity.
- 6.4.2 The development consists of an extension for an orangery and garden store and covers a relatively small area which is likely in part to have been negatively affected by the present development (see section 6.3).
- 6.4.3 The Historic Environment Assessment of Local Service Villages, Stratford on Avon District (Carter and MacQuarrie 2012) recommends in paragraph 4.5.17 that "within the area of high sensitivity a programme of predetermination assessment is required. Such work could comprise a detailed desk based assessment", (which is addressed in the present document) and/or programme of evaluation trenching. Mitigation may be required depending on the results of the initial assessment work.
- 6.4.3 A programme of evaluative trial trenching consisting of 2 trenches 1.5mx1.5m each to be placed on undisturbed part of the Site is to be undertaken prior to evaluation. This will mean that information will be gathered while not being so destructive that it compromises further mitigation work if significant archaeology is encountered in the course of trial trenching. The details and methodology of the trial trenching will be drawn up in Written Scheme of Investigation will be submitted for approval to the Local Planning Authority .

## References

- Carter N and Mac Quarrie 2012 *Historic Environment Assessment Of Local Service Villages, Stratford-On-Avon District, County Of Warwickshire 4 Historic Environment Assessment*
- Dyer, C, 1996 Rural Settlements in Medieval Warwickshire, *Transactions of the Birmingham and Warwickshire Archaeological Society* 100, 117–132.
- English Heritage 2006 Management of Research Projects in the Historic Environment (MoRPHE)
- Gethin Bryn 2013 Myrtle Cottage, Upper Brailes, Warwickshire Archaeological Evaluation Archaeology Warwickshire Report No 1340
- Gover, J E B, A Mawer and F M Stenton 1936 *The Place Names of Warwickshire*, English Place Name Society.
- Hoyle Jon 2006 *Historic Landscape Characterisation Gloucestershire: The Cotswolds Area of Outstanding Natural Beauty. The Wye Valley Area of Outstanding Natural Beauty*. Gloucestershire County Council
- Hunt, J, 2011 The Medieval Period, in Watt, S (ed.) *The Archaeology of the West Midlands: A Framework for Research*, Oxbow Books, Oxford.
- Kain et al, The Tithe Maps of England & Wales, 1995
- Priest R and Dickson A 2013 South East Warwickshire and Cotswolds Higher Level Stewardship Target Areas: A Report for the National Mapping Programme.
- Oxford Archaeological Unit 1991 *Grove End House, Upper Brailes: Archaeological Evaluation*, Oxford.
- Pratt, E, and Rann, C, 2009 *Archaeological Observation at Land Adjacent to Midcot, Upper Brailes, Warwickshire*, Warwickshire Museum Report 0915.
- Warwickshire County Council Landscape Architects 2016 Upper and Lower Brailes a landscape Study.
- Salzman L. F ed. 1949 *Victoria County History: A History of the County of Warwick: Volume 5, Kingston Hundred*
- Turner, Hilary L., (2001), "An Early Map of Brailes: 'Fit Symbolographie' ", *Warwickshire History*, Volume XI, pp. 182-193

## Maps

- Sheldon Estate Map* 1580 WRO ref. X246 and CR3231
- Sheldon Estate map*. 1867 WRO Ref. CRO CR 1253/5
- a sale catalogue map* 1868 WRO Ref. CRO CR 1507/13
- Ordnance Survey 25inch County Series 1<sup>st</sup> edition. Part of Warwickshire sheet 54.4* 1888
- Ordnance Survey 25 inch County Series 1<sup>st</sup> revision. Part of Warwickshire Sheet 54.4* 1905
- Ordnance Survey 25 inch County Series 2<sup>nd</sup> revision. Part of Warwickshire Sheet 54.4* 1922

Grove End Farm, Brailes Desktop

*Ordnance Survey 1:10000 County Series 2<sup>nd</sup> revision. Part of Warwickshire Sheet 360541431974*

## **FIGURES**



Figure 1 Location of the Site

Grove End Farm,  
Henbrook Lane  
Upper Brailes  
Oxfordshire



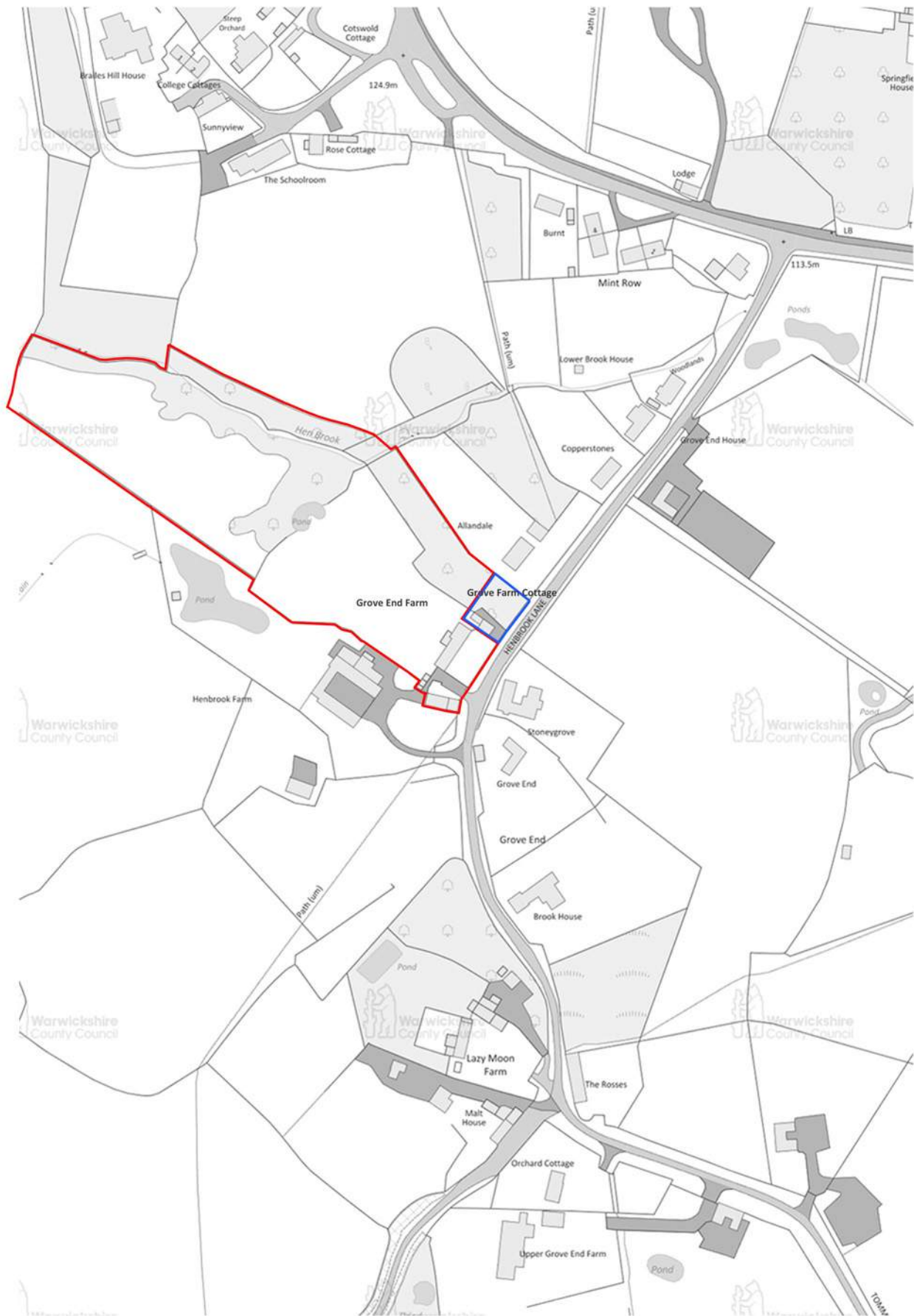


Fig 2 Location Plan

Grove End Farm, Henbrook Lane, Upper Brailes. OX15 5BA  
NGR SG 30526 39233

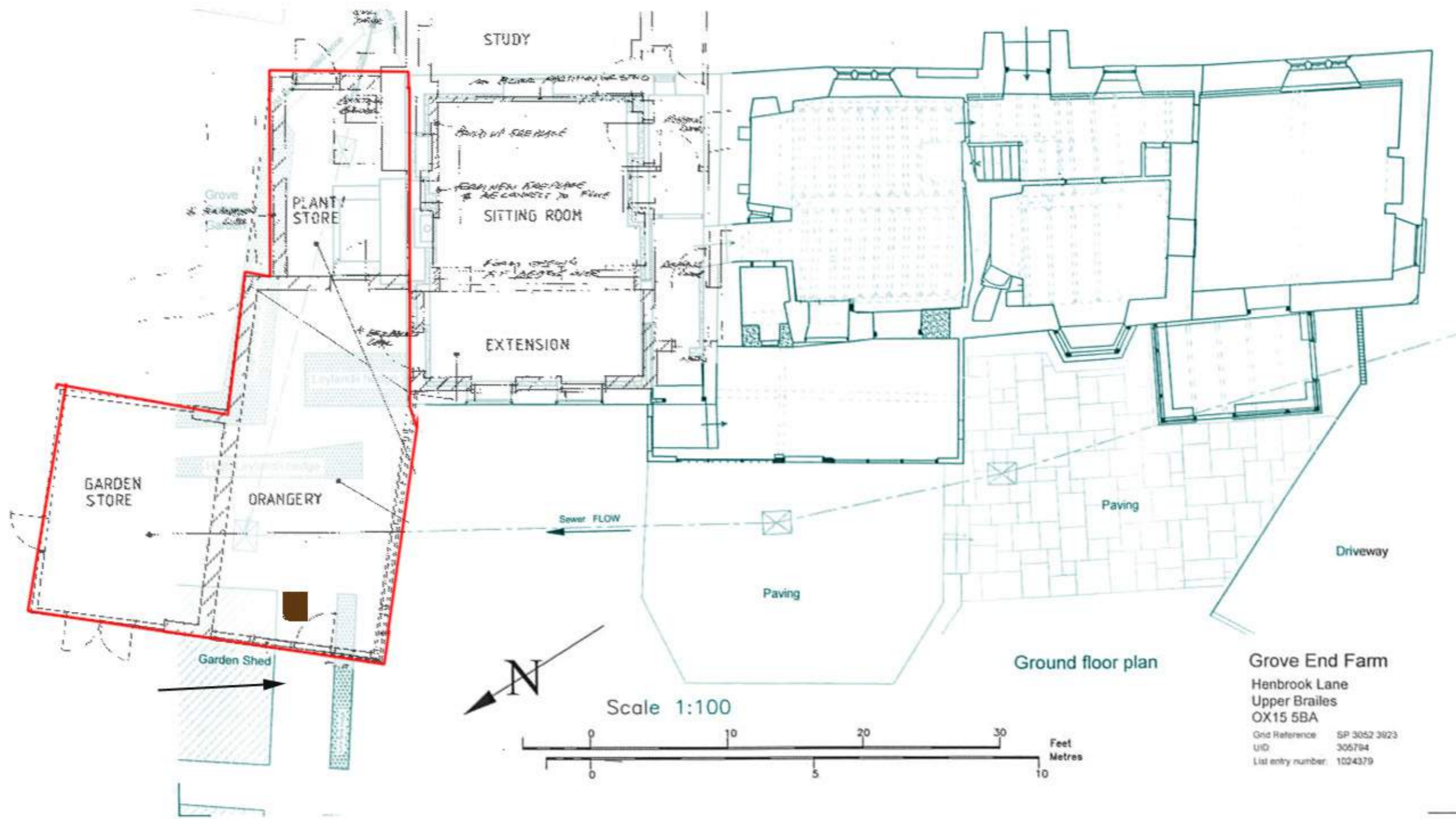


Figure 3 Existing (green) and proposed development (black)





Figure 5 The Site shown in the context of Brailes mapped in the 1580 Sheldon map

**Grove End Farm**  
 Henbrook Lane  
 Upper Brailes  
 OX15 5BA  
 Grid Reference SP 3052 3923



Figure 6 The Site on the Sheldon Estate map of 1580 detail

**Grove End Farm**

Henbrook Lane  
Upper Brailes  
OX15 5BA

Grid Reference SP 3052 3923

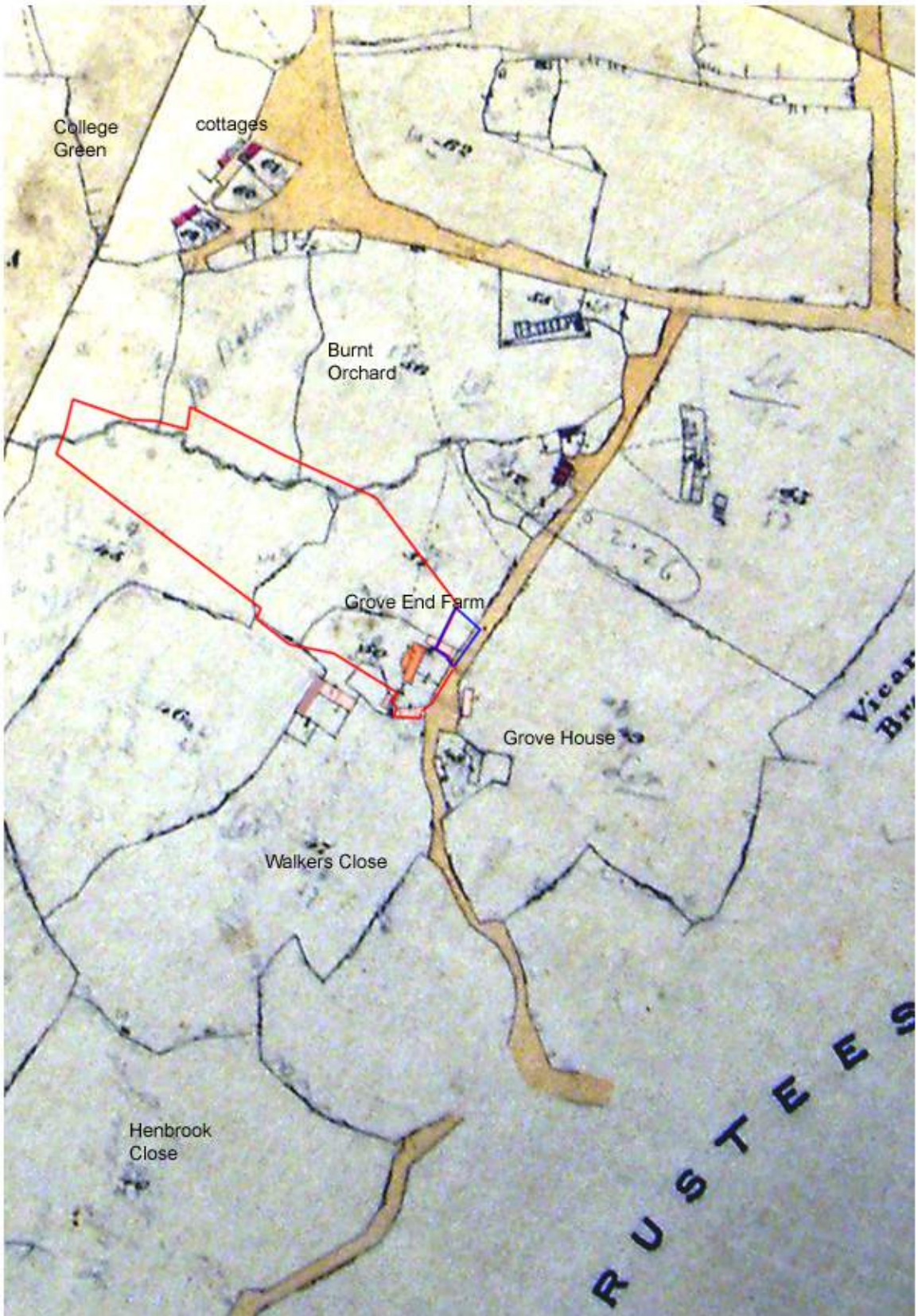


Figure 7 The Site on the Sheldon Estate map 1867

Grove End Farm

Henbrook Lane

Upper Brailes

OX15 5BA

Grid Reference SP 3052 3923

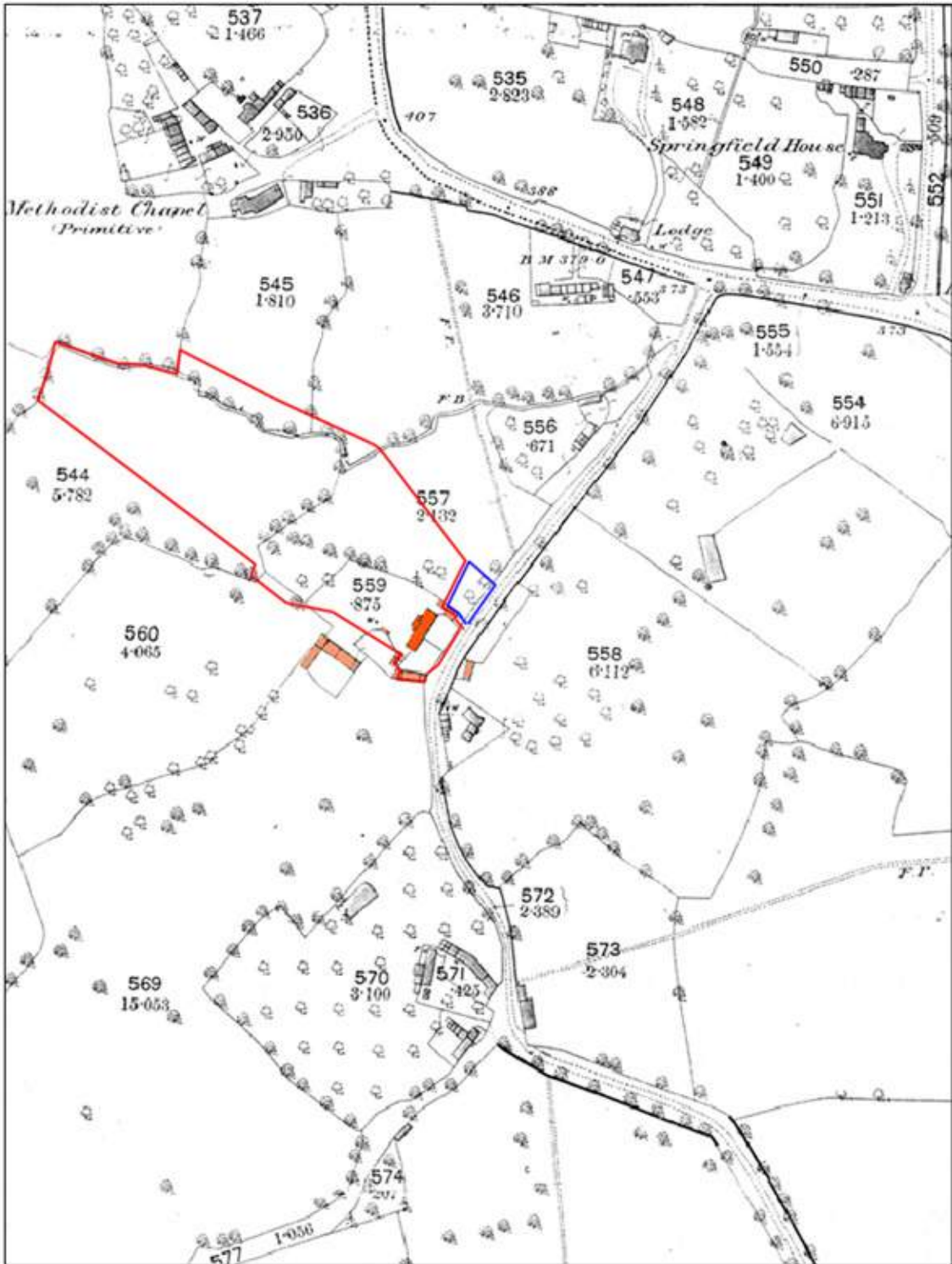


Figure 8 The Site on the OS 25" OS map 1888

Grove End Farm  
 Henbrook Lane  
 Upper Brailes  
 OX15 5BA  
 Grid Reference SP 3052 3923

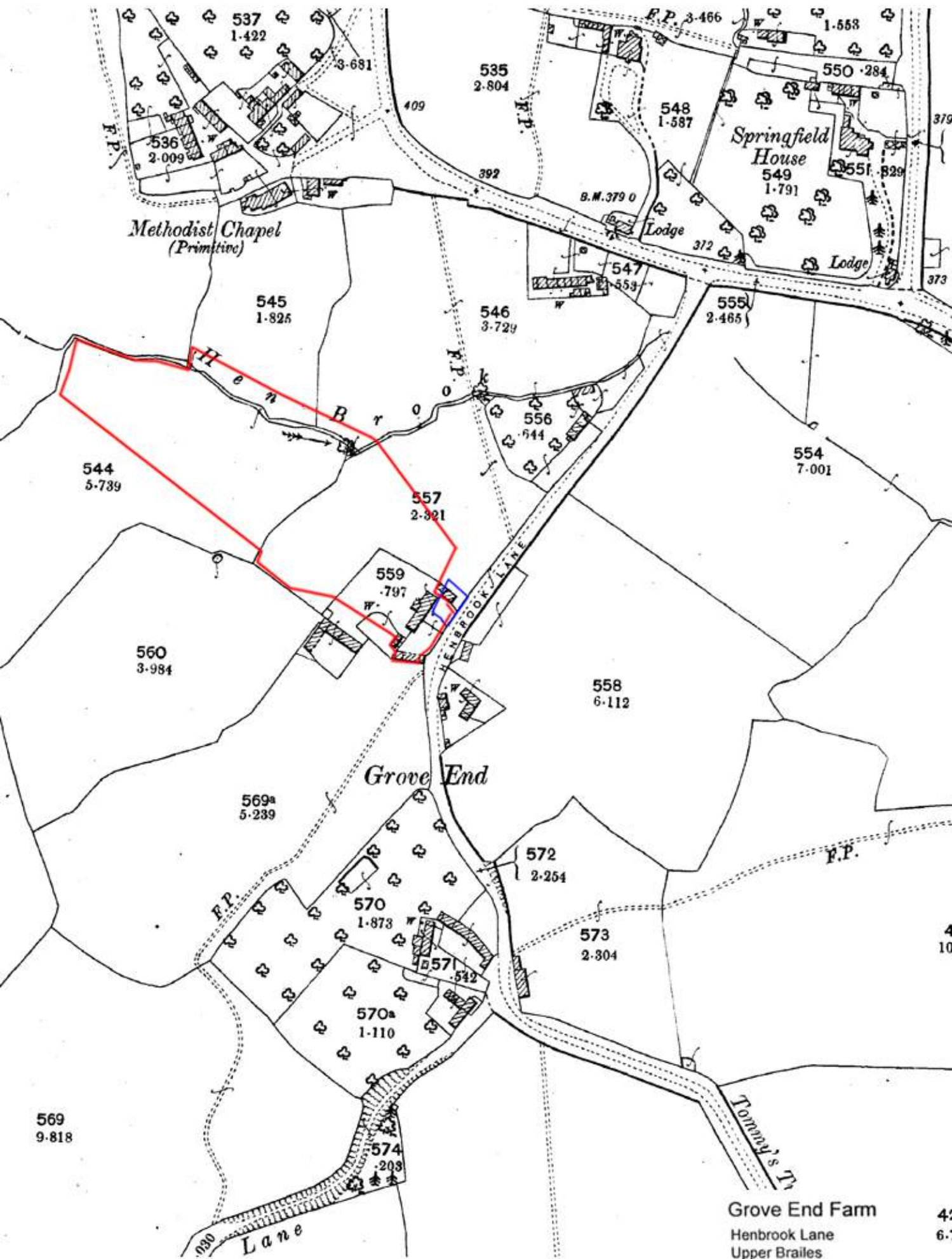


Figure 9 The Site on the OS 25" OS map

Grove End Farm  
 Henbrook Lane  
 Upper Brailes  
 OX15 5BA  
 Grid Reference SP 3052 3923



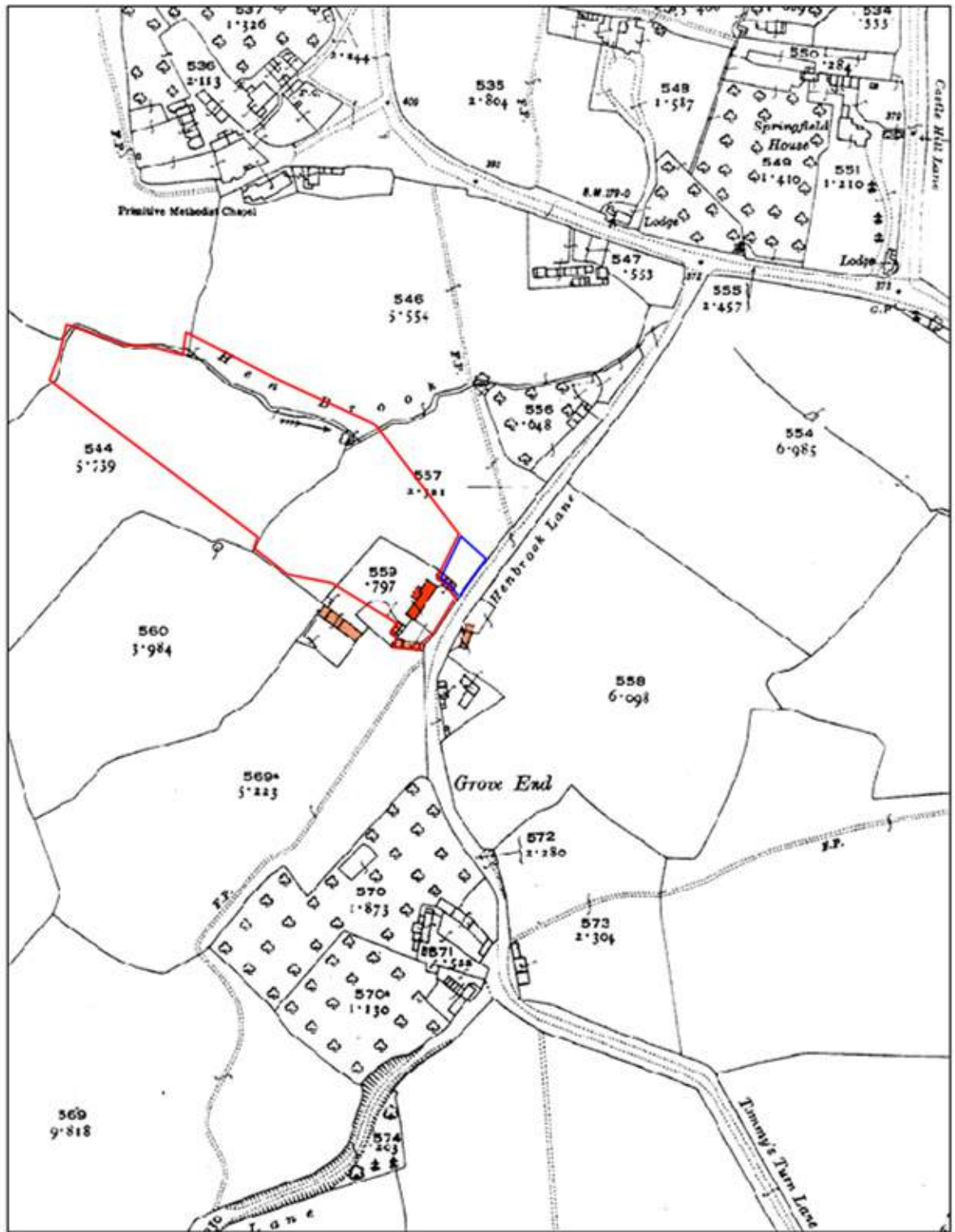


Figure 10 The Site on the 25" OS mpa 1922

**Grove End Farm**

Henbrook Lane  
Upper Brailes  
OX15 5BA

Grid Reference SP 3052 3923

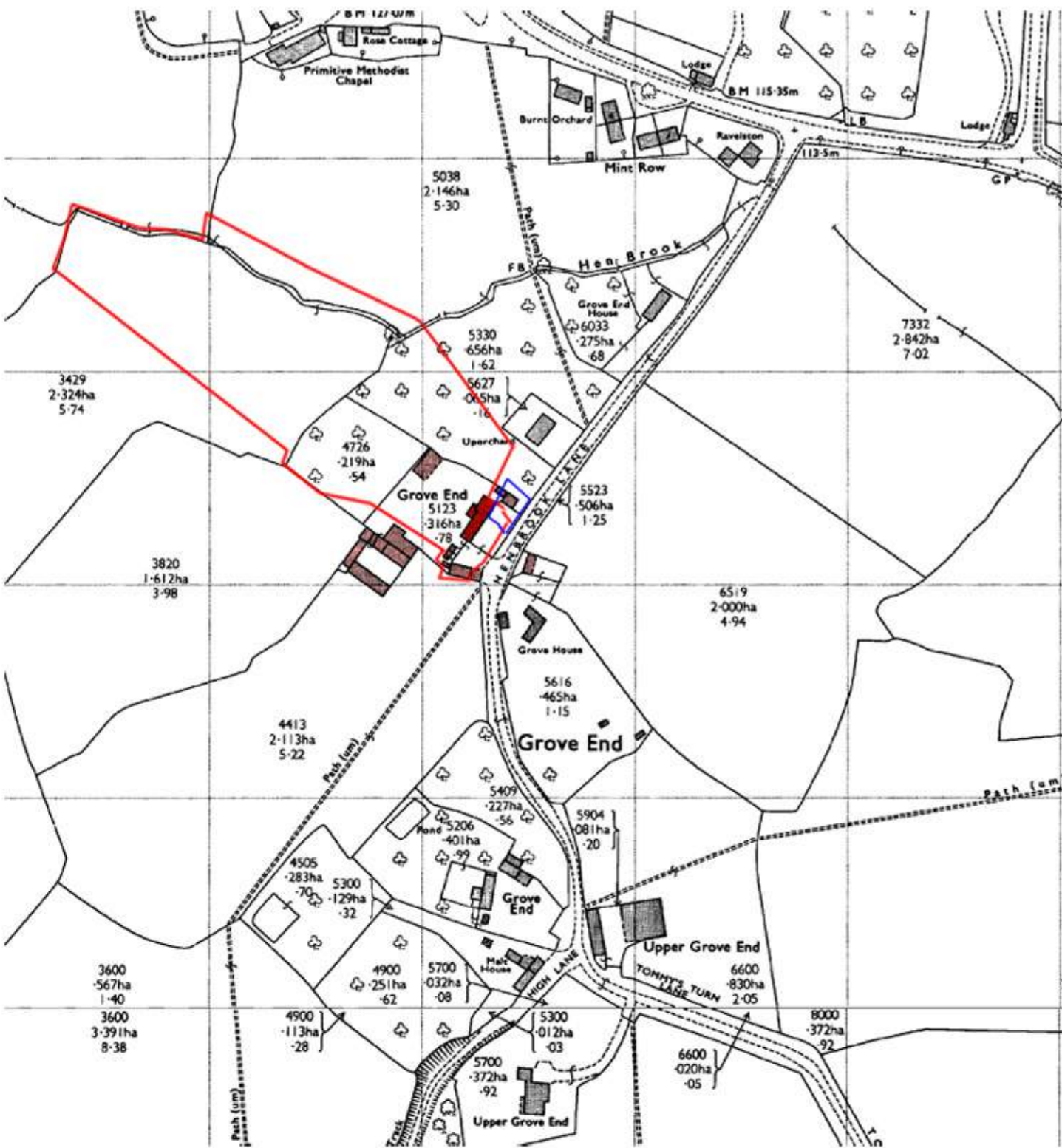
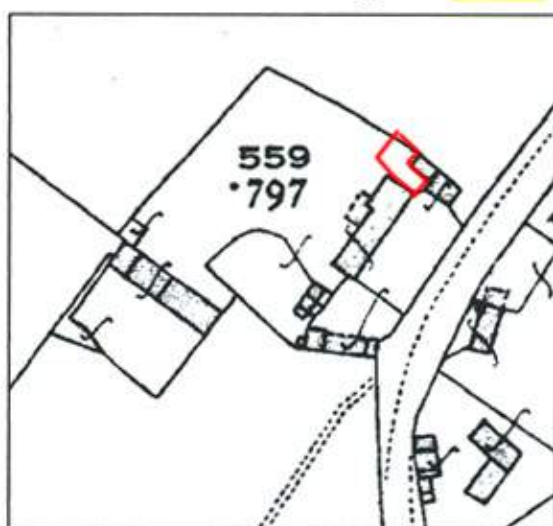


Figure 11. The Site on the OS 1 to 2500 map of 1974

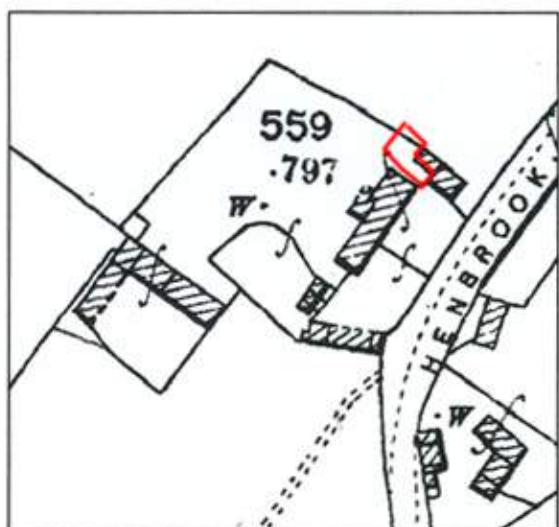
**Grove End Farm**  
 Henbrook Lane  
 Upper Brailes  
 OX15 5BA  
 Grid Reference SP 3052 3923



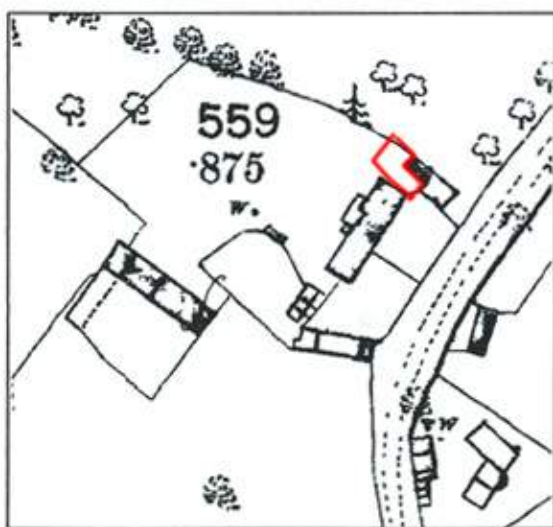
1974



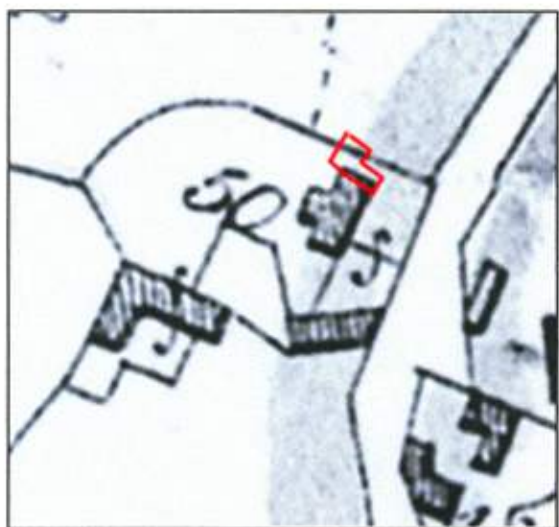
1922



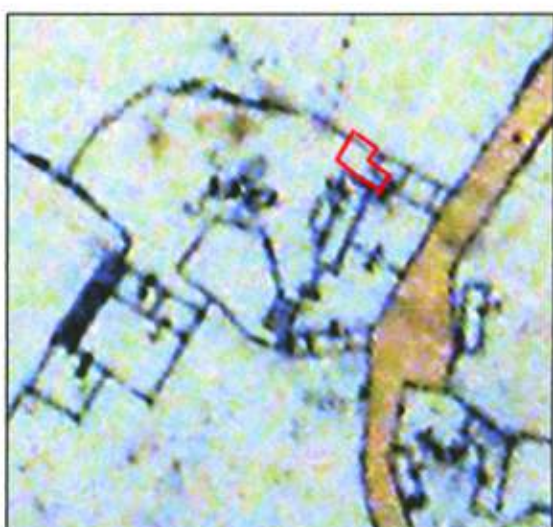
1905



1888



1868



1867

Figure 12 Map regression of the Site

**Grove End Farm**  
 Henbrook Lane  
 Upper Brailes  
 OX15 5BA  
 Grid Reference SP 3052 3923

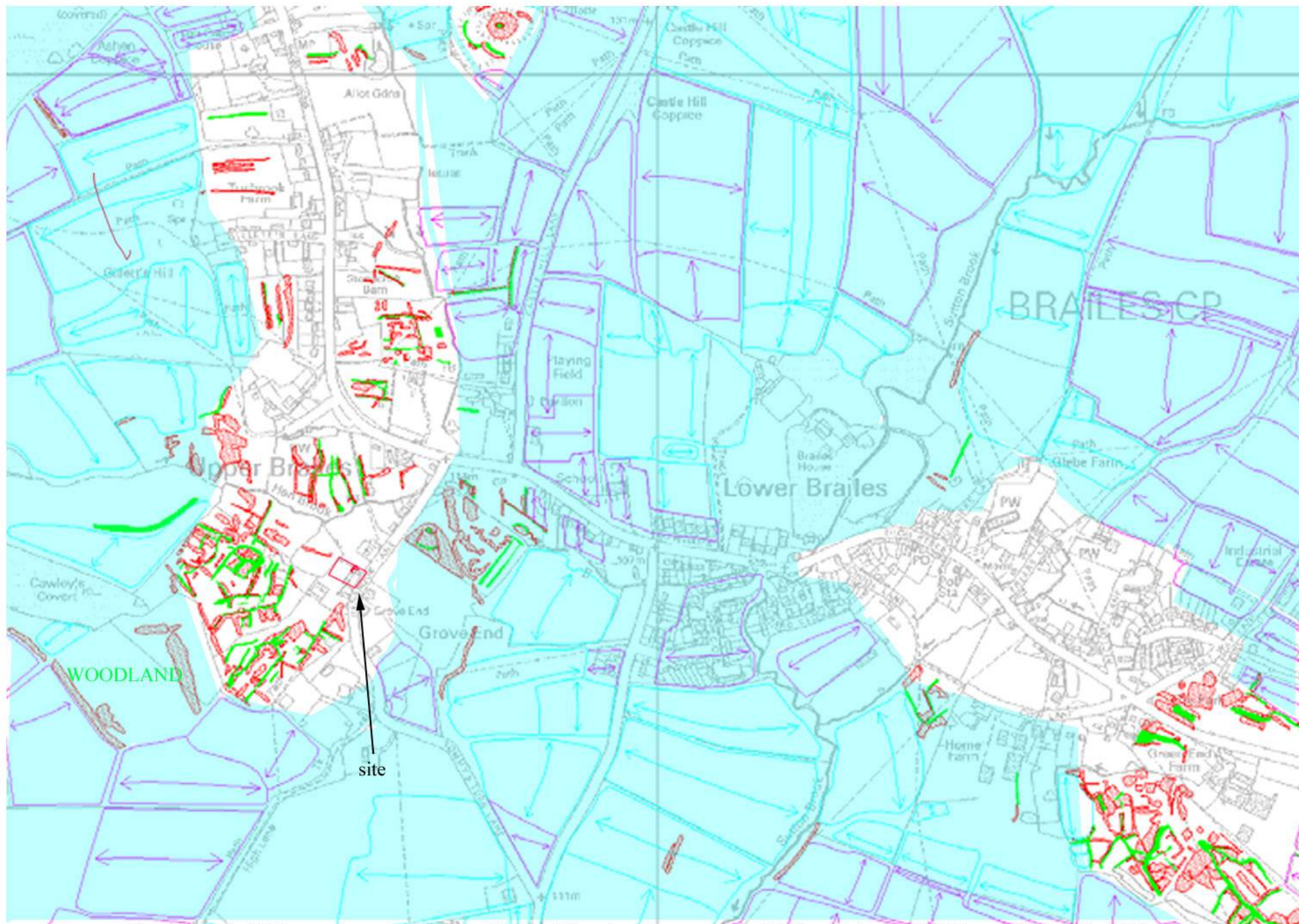


Figure 13 Aerial Survey transcript from the National Mapping Programme for Brailes (Priest and Dickinson 2013m Fig 4.20) showing the settlement and adjacent closes (white) and fields (light blue wash). Red=banks. and Green = ditches

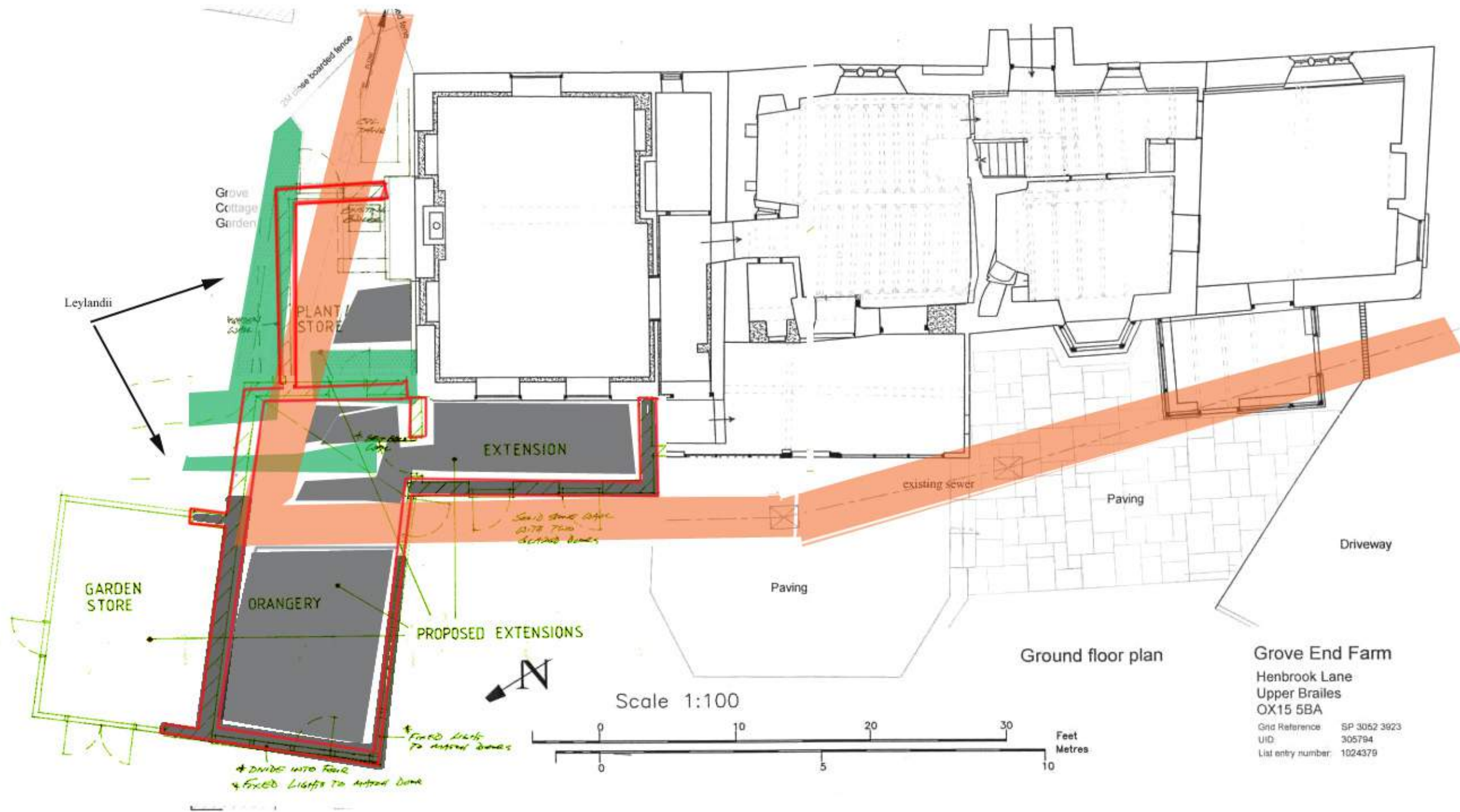


Figure 14 Areas of eExisting impact : sewer (orange) leylandii (green); . Area of future impact: grey.



PLATE 1

Sheet1

**APPENDIX 1**

**NON DESIGNATED ASSETS IN THE SITE**

MonUID,	PrefRef	Record Name	Summary	MonType	Period	
MWA25245	MWA25245	FS Brailes (Romano-British) Field 422	Romano-British artefacts found during metal detecting	FINDSPOT	Romano-British	SP 30807 39823
MWA25247	MWA25247	FS Brailes (Romano-British) Field 517	Romano-British artefact found during metal detecting	FINDSPOT	Romano-British	SP 30653 39764
MWA25252	MWA25252	FS Brailes (Post Mediaeval) Field 517	Post Mediaeval artefacts found during metal detecting	FINDSPOT	Post-medieval	
MWA25520	MWA25520	FS Brailes (Late Neolithic to Early Bronze Age) Field 509	Late Neolithic to Early Bronze Age artefact found during metal detecting	FINDSPOT	Late Neolithic to Early Bronze Age	SP 30683 40023
MWA25523	MWA25523	FS Brailes (Mediaeval to Post Mediaeval) Field 481	Mediaeval to Post Mediaeval artefact found during metal detecting	FINDSPOT	Medieval to Post-medieval	
MWA25584	MWA25584	FS Brailes (Mediaeval) Field 477	Mediaeval artefacts found during metal detecting	FINDSPOT	Medieval	SP 30019 40394
MWA10072	MWA10072	FS Find of Roman items in Brailes parish	Find of Roman items to the east of Henbrook Lane, Upper Brailes.		Romano-British	SP 30650 39299
MWA12516	MWA12516	MON Possible Prehistoric Ditch, Upper Brailes	A possible ditch, containing a fragment of probable saddle quern and Neolithic rejuvenation flake, was recorded during observation on a site in Upper Brailes. These finds may be residual, but they do show prehistoric activity in the vicinity.		prehistoric/neolithic (residual)	SP 3051 3986
MWA17884	MWA17884	FS Brailes (Mediaeval)			medieval	SP 3080 3993
MWA18272	MWA18272	FS Brailes Fields 426 & 427 Romano-British finds	A series of Romano-British artifacts found during metal detecting.		Romano-British	SP 308 390 (point)
MWA18407	MWA18407	FS BRAILES (Field 422) Post Mediaeval finds	A series of Post Mediaeval artifacts found during metal detecting.		Post-medieval	

Sheet1

MWA18832	MWA18832	MON	Medieval finds to South West of The Castle, Upper Brailes	Medieval metal detector finds in the area to the South West of MWA2311 The Castle, Castle Hill, Upper Brailes and largely within MWA6436 Ridge and Furrow Cultivation in Brailes Parish	medieval	SP 30 39
MWA18844	MWA18844	FS	Brailes Field 290/421 Junction Romano-British finds	A series of Romano-British artifacts found during metal detecting.	Romano-British	SP 30 40 (point)
MWA18885	MWA18885	FS	Brailes Field 256 Romano-British finds	A series of Romano-British artifacts found during metal detecting.	Romano-British	SP 310 397
MWA19934	MWA19934	MON	Sutton (AKA Hen) Brook Bridge	Late C18 road bridge over Sutton (AKA Hen) Brook, Brailes		
MWA2312	MWA2312	FS	Findspot - Roman pottery	Findspot - fragments of Roman pottery were found 200m west of Castle Hill, Upper Brailes.	Romano-British	SP 3040 4040
MWA2322	MWA2322	FS	Findspot - Roman finds	Findspot - Roman coins, fragments of pottery and tile were found 200m west of Castle Hill Lane, Upper Brailes, during excavations.	Romano-British	SP 3060 3990
MWA2326	MWA2326	FS	Findspot - Roman coin	Findspot - a single Roman coin was found 200m west of Castle Hill Lane, Upper Brailes.	Romano-British	SP 3060 3980 (
MWA2330	MWA2330	FS	Findspot - Post Medieval coins	Findspot - a Post Medieval token and a coin were found 100m east of the chapel at Upper Brailes.		
MWA2331	MWA2331	FS	Findspot - Roman items in Lower Brailes	Findspot - Roman items in Lower Brailes	Romano-British	SP 3100 3900
MWA2332	MWA2332	FS	Findspot - Roman bronze coin	Findspot - a single Roman coin was found 200m west of Castle Hill Lane, Upper Brailes.	Romano-British	SP 3060 3980
MWA24015	MWA24015	FS	Brailes (Mediaeval) Field 481	Mediaeval artefacts found during metal detecting	medieval	SP 30641 40430
MWA24017	MWA24017	FS	Brailes (Mediaeval) Field 422	Mediaeval artefacts found during metal detecting	medieval	SP 30786 39775
MWA25079	MWA25079	FS	Brailes (Late Iron Age) Field 489	Late Iron Age artefact found during metal detecting	Iron Age	SP 29680 40011



Sheet 1

MWA7059	MWA7059	FS	Findspot - Medieval & Post Medieval metal finds	Findspot - various finds of Medieval and Post Medieval date, including buckles, a strap end and a trade token, were found 500m north of the church at Lower Brailes.	medieval to post-medieval	
MWA7136	MWA7136	FS	Findspot - Post Medieval finds	Findspot - various finds of Post Medieval date, including clay pipe bulbs, a bronze button and a harness fitting, were found east of Henbrook Lane, Upper Brailes.	post-medieval	
MWA7250	MWA7250	MON	Medieval pottery, Grove End House, Upper Brailes	Findspot - three fragments of Medieval pottery were found during archaeological work west of Henbrook Lane, Upper Brailes.	medieval	SP 3060 3931
MWA8148	MWA8148	FS	Findspot - Roman Assorted Finds	Findspot - several coins and a bronze object, possibly a strap end, of Roman date were found 500m north of Lower Brailes.	Romano-British	SP 3130 3990
MWA9340	MWA9340	FS	Medieval Coins from Springfield Farm, Lower Brailes.	Findspot - Medieval Flemish jettons and a bronze hinge were found on Springfield Farm, Lower Brailes.	medieval	
MWA13003	MWA13003	MON	Brailes villa group gardens	Two villas: Springfield House and one other, unnamed. Both with lodges, pleasure grounds, mixed planting.	modern	
MWA13079	MWA13079	MON	Possible pit alignment at Henbrook Lane, Brailes	Two rows of circular features were picked up by a geophysical survey. Whilst they could represent former fence lines there is no known evidence for this. The features could therefore form prehistoric pit alignments.	Iron Age	SP 3049 3941

Sheet1

MWA13080	MWA13080	MON	Multi-phase settlement at Henbrook Lane, Brailes	An area of possible settlement at Henbrook Lane in Brailes was identified by geophysical survey. The characteristics of the features and the extant earthworks suggest a multi-phase site, perhaps dating from the prehistoric to medieval periods.	Iron Age to medieval	SP 3052 3939
MWA18832	MWA18832	MON	Medieval finds to South West of The Castle, Upper Brailes	Medieval metal detector finds in the area to the South West of MWA2311 The Castle, Castle Hill, Upper Brailes and largely within MWA6436 Ridge and Furrow Cultivation in Brailes Parish	medieval	SP 3129 3944
MWA19431	MWA19431	MON	A possible medieval or post medieval trackway visible on air photos.	A possible medieval or post medieval trackway mapped from air photos.	medieval to post-medieval	SP 3001 3878
MWA19439	MWA19439	MON	A possible post medieval stock enclosure visible on air photos.	A possible post medieval stock enclosure mapped from on air photos.	post-medieval	SP 3053 3856
MWA19840	MWA19840	LND	Surviving ridge and furrow on the east edge of Upper Brailes.	Six fields of ridge and furrow. Identified from NMP data and modern air photos.	medeval to modern	SP 3010 3967
MWA19841	3006	LND	Surviving ridge and furrow running south and east from the centre point of Upper and Lower Brailes.	Twenty six fields of ridge and furrow. Identified from NMP data and modern air photos.	medeval to modern	SP 3129 3944
MWA19883	MWA19883	LND	Surviving ridge and furrow 190m SW of Manor Farm.	One field of ridge and furrow. Identified from NMP data and modern air photos.	medeval to modern	SP 3021 4019
MWA19884	MWA19884	MON	A series of banks and ditches and Ridge and Furrow cultivation between Brailes Castle and Upper Brailes.	A series of earthworks mapped as part of the NMP project but not considered shrunken settlement earthworks.	medeval to modern	SP 3066 4014

Sheet1

MWA2311	MWA2311	MON	The Castle, Castle Hill, Upper Brailes	Castle Hill, a Medieval motte and bailey castle. The remains of the castle motte are visible as an earthwork. The site is located 200m west of Castle Hill Lane, Upper Brailes.	medieval to post-medieval	SP 3074 4006
MWA2315	MWA2315	MON	Lower Brailes Shrunken Medieval Settlement	The site of the Medieval shrunken village of Lower Brailes. The site is visible as earthworks. It is situated 300m south of the church at Lower Brailes.	medieval	SP 3074 4006
MWA2318	MWA2318	MON	Roman Settlement 200m S of Vicarage Barn, Brailes.	The possible site of a Roman settlement. Fragments of Roman pottery, tile and glass have been found on this site and the remains of a stone floor were found when archaeologists dug a test pit. The site is located 500m east of Castle Hill Lane, Upper Br	Romano-British	SP 3143 4001
MWA2325	19841	MON	Site of Undated Settlement at Cawley's Covert	The possible site of a settlement of unknown date suggested by earthworks. Burials have also been found at the site, suggesting the presence of a cemetery. The site is located at Cawley's Covert.	undated	SP 3003 3927
MWA2340	MWA2340	MON	Imperial period drinking fountain, Upper Brailes	A drinking fountain and water pump dating to the Imperial period. They are situated on Fant Hill, Upper Brailes.	modern	
MWA2359	MWA2359	MON	Site of Shrunken Settlement at Upper Brailes	The site of a Medieval shrunken village at Upper Brailes. Evidence for the shrunken village is visible in some areas as earthworks.		SP 3047 3969
MWA2363	MWA2363	MON	Possible Cropmark E of Roundhill Farm, Upper Brailes	A linear feature that is visible as a cropmark on aerial photographs. It is of unknown date and is located on Fant Hill.	undated	SP 2987 4014

## Sheet 1

MWA30069	MWA30069	MON		Ditches and gullies which predate a ridge and furrow system were identified during investigations in 2015. The features were undated but it is likely that they are of a medieval date.	pre medieval and medieval	SP 3082 3905 (
MWA6436	MWA6436	MON	Ridge and Furrow Cultivation in Brailes Parish	The remains of Medieval or later ridge and furrow cultivation in the parish of Brailes, some of which survives as an earthwork. In other areas it is visible on aerial photographs.	medieval to modern	
MWA6436	MWA6436	MON	Ridge and Furrow Cultivation in Brailes Parish	The remains of Medieval or later ridge and furrow cultivation in the parish of Brailes, some of which survives as an earthwork. In other areas it is visible on aerial photographs.	medieval to modern	SP 30 39
MWA8462	MWA8462	MON	Brailes House grounds	Grounds and gardens which date to the Imperial period. The gardens include a kitchen garden, walks, lakes and a crinkle-crankle or serpentine wall. The gardens are associated with Brailes House.	modern	SP 31280 39462
MWA9681	MWA9681	MON	Undated ditch at Pleasant View, Upper Brailes.	Undated ditch recorded during the excavation of a trial trench. The site is located at Pleasant View, Upper Brailes.	undated	
MWA4828	MWA4828	MON	Turnpike road from Banbury to Barcheston via Brailes	The route of a toll road during the Imperial period running between Banbury and Barcheston via Brailes.		
MWA8672	MWA8672	MON	Saltway through Shipston and Brailes	A trackway or saltway of Medieval date. The trackway ran through Shipston and Brailes.		
<b>buildings</b>						
MWA29809	MWA29809	BLD	Ronans Lea Lodge, Upper Brailes	Domestic detached 2 storey stone building ,C19, still in use.		

## Sheet 1

MWA29810	MWA29810	BLD	Rose Cottage and Barn, Brailes	Domestic 2 storey detached stone building.
MWA29811	MWA29811	BLD	College Cottages	2 storey brick terraced C19 house
MWA29812	MWA29812	BLD	Steep Orchard, Brailes	2 storey detached stone house, C17
MWA29813	MWA29813	BLD	Cotswold Cottage, Upper Brailes	Detached 2 storey brick house, C19
MWA29814	MWA29814	BLD	Cotswold Cottage Barn, Upper Brailes	Detached 2 storey brick barn, C19
MWA29815	MWA29815	BLD	Sunnyside , Old Sunny & Windy Corner Cottages, Upper Bailes	2 storey brick terraced houses
MWA29816	MWA29816	BLD	Windy Corner Shed, Upper Bailes	Detached single storey brick barn
MWA29817	MWA29817	BLD	Stonecroft Barn, Upper Brailes	Detached 2 storey stone and brick, C19, barn, now in domestic use
MWA29818	MWA29818	BLD	Sunny Meade, Upper Brailes Stonecroft Shed, Upper	Single storey semi-detached stone, C18, domestic building
MWA29819	MWA29819	BLD	Brailes	Detached 2 storey brick barn, C19
MWA29820	MWA29820	BLD	Meadow View Garage, Upper Brailes	Single storey detached brick barn partially rebuilt
MWA29821	MWA29821	BLD	Weaver's Cottage, Upper Brailes	Semi-detached 2 storey stone house, C17
MWA 2318	MWA29822	BLD	Feldon House, Upper Brailes	2 storey semi-detached brick house, C19
MWA29823	MWA29823	BLD	Honeysuckle Cottage, Upper Brailes	Detached 2 storey brick, C19, house
MWA29824	MWA29824	BLD	Little Owl Cottage, Upper Brailes	Detached 2 storey brick house, C19
MWA29825	MWA29825	BLD	Tusbrook Farm, Upper Brailes	Detached 2 storey stone/brick , C19, house
MWA29826	MWA29826	BLD	Tusbrook Farm Barn, Upper Brailes	Detached single storey brick ,C19, barn
MWA29827	MWA29827	BLD	Tusbrook Farm Terrace, Upper Brailes	2 storey terrace of brick farm buildings, C19, now in domestic use
MWA29828	MWA29828	BLD	Myrtle Cottage, Upper Brailes	2 storey semi-detached rendered brick house, C19

## Sheet 1

MWA29829	MWA29829	BLD	The Old Brewery, Upper Brailes	3 storey brick terraced brewhouse , C19, now in domestic use
MWA29830	MWA29830	BLD	Collets Piece, Upper Brailes	2 story semi-detached brick house, C19
MWA29831	MWA29831	BLD	Gate Inn Cottage, Upper Brailes	2 storey brick terraced house, C19
MWA29832	MWA29832	BLD	Ivy House, Upper Brailes	Semi-detached 2 storey brick house, C19
MWA29833	MWA29833	BLD	West View Cottage, Upper Brailes	2 storey stone terraced house, C17
MWA29834	MWA29834	BLD	Midcot, Upper Brailes	2 storey terraced stone house, C18
MWA29835	MWA29835	BLD	Gable End, Upper Brailes	3 storey terraced stone house, C17
MWA29836	MWA29836	BLD	The Paddocks Barn, Upper Brailes	Single storey detached stone barn, C18
MWA29837	MWA29837	BLD	The Old Farmhouse Barn, Upper Brailes	Detached 2 storey stone barn, C18
MWA29838	MWA29838	BLD	Hill Lane Barn, Upper Brailes	Detached 2 storey stone barn, C18, now in domestic use
MWA29839	MWA29839	BLD	The Cottage, Upper Brailes	2 storey brick terraced farm building, C19, now in domestic use and 3 storey brick terraced farm building, C19, now in domestic use
MWA29840	MWA29840	BLD	High Russet, Upper Brailes	2 storey terraced stone house, C19
MWA29841	MWA29841	BLD	Wheelwrights Barn, Upper Brailes	C19, 2 storey semi-detached brick wheelwright's workshop probably with domestic facilities
MWA29842	MWA29842	BLD	Willard, Upper Brailes	Single storey detached stone farm building, C19
MWA29843	MWA29843	BLD	Threeways, Upper Brailes	2 storey semi-detached stone farm building, C19
MWA29844	MWA29844	BLD	The Old Barn House, Upper Brailes	2 storey semi-detached stone farm building, C19, in domestic use
MWA29845	MWA29845	BLD	The Old Barn House Shed, Upper Brailes	Single storey detached stone agricultural shed, C19
MWA29846	MWA29846	BLD	Six Bells Cottage, Upper Brailes	2 storey detached stone/brick house, C19

## Sheet1

MWA29859	MWA29859	BLD	Upper Brailes, Wales Cottage	C17 detached 3 storey stone house.
MWA29860	MWA29860	BLD	Upper Brailes, Sunny Cottage	Detached 2 storey brick house built in 1861.
MWA29861	MWA29861	BLD	Upper Brailes, Sunny Cottage shed	C19 detached single storey stone farm building.
MWA29862	MWA29862	BLD	Upper Brailes, Forge Cottage	C19, 2 storey semi-detached brick house.
MWA29863	MWA29863	BLD	Upper Brailes, Castle Cottage	C18 semi-detached 2 storey stone house
MWA29864	MWA29864	BLD	Upper Brailes, High Gorse	C19 detached 2 storey rendered brick house
MWA29865	MWA29865	BLD	Upper Brailes, Ferndale	C19 detached 3 storey brick and stone house
MWA29866	MWA29866	BLD	Upper Brailes, Cedar Villa	C19 semi-detached 2 storey brick house
MWA29867	MWA29867	BLD	Upper Brailes, Rose Hill Cottage	C19 semi-detached 2 storey brick house, partially rendered
MWA29868	MWA29868	BLD	Upper Brailes, Fanthill Cottages	C19 2 storey brick terraced houses.
MWA29869	MWA29869	BLD	Upper Brailes, The Old Forge	C19 single storey detached brick workshops
MWA29870	MWA29870	BLD	Upper Brailes, The Barn	C18 detached 2 storey stone barn C19 detached single storey farm building in stone
MWA29871	MWA29871	BLD	Upper Brailes, Barn shed	
MWA29872	MWA29872	BLD	Upper Brailes, Barns	C18 semi-detached single storey stone barn
MWA29873	MWA29873	BLD	Grove End, Woodlands	C19 detached 3 storey stone house.
MWA29874	MWA29874	BLD	Grove End, Grove Farm Cottage	C19 detached 2 storey stone farm building
MWA29875	MWA29875	BLD	Grove End, Grove End Farm garages	C19 detached 2 storey stone barn
MWA29876	MWA29876	BLD	Grove End, Grove End Farm Shed	C19 detached single storey brick shed
MWA29877	MWA29877	BLD	Grove End, Grove End shed	Detached single storey stone farm building

## Sheet 1

MWA29878	MWA29878	BLD	Grove End, Henbrook Farm	C19 detached 2 storey stone farm building
MWA29879	MWA29879	BLD	Grove End, Malt House	C18 detached 2 storey brick and stone malt house
MWA29880	MWA29880	BLD	Grove End, Lazy Moon	C17 detached 3 storey stone house
MWA29881	MWA29881	BLD	Grove End, The Rosses	C18 detached 2 storey stone farm building
MWA29947	MWA29947	BLD	Lower Brailes, Mowbray to Bakery Cottages	C17 terrace of 2 storey stone dwellings
MWA29948	MWA29948	BLD	Lower Brailes, Old Post Cottage	House from 1633, C19 terraced 2 storey brick house as Post Office and associated cottage
MWA29949	MWA29949	BLD	Lower Brailes, Bow Cottage	C18 terraced 2 storey brick house
MWA29950	MWA29950	BLD	Lower Brailes, Hillside House	3 storey red brick terraced house built in 1844
MWA29951	MWA29951	BLD	Lower Brailes, Bank House	Terraced 3 storey C19 red brick house
MWA29952	MWA29952	BLD	Lower Brailes, Northview Cottage Garage	2 storey terrace C19 stone garage
MWA29953	MWA29953	BLD	Lower Brailes, Blenheim	3 storey brick terraced C19 house
MWA29954	MWA29954	BLD	Lower Brailes, Winderton Cottage	2 storey rendered C19 terrace house
MWA29955	MWA29955	BLD	Lower Brailes, St. Helens	3 storey terrace C19 brick house
MWA29956	MWA29956	BLD	Lower Brailes, Chauntider	C17/C18 terrace 2 storey stone house
MWA29957	MWA29957	BLD	Lower Brailes, April Cottage	C17/C18 terrace 2 storey stone house
MWA29958	MWA29958	BLD	Lower Brailes, Stuart Cottage	2 storey end of terrace C17 stone house
MWA29959	MWA29959	BLD	Lower Brailes, Corner Cottages	C19 semi-detached 2 storey stone houses
MWA29960	MWA29960	BLD	Lower Brailes, The Old School House	C19 detached 2 storey brick school house
MWA29961	MWA29961	BLD	Lower Brailes, The Moorlands	C19 terrace 2 storey rendered brick house



## Sheet1

MWA29962	MWA29962	BLD	Lower Brailes, Wild Thyme Cottage	C19 rendered terrace 2 storey house
MWA29963	MWA29963	BLD	Lower Brailes, Bredon	2 storey rendered C19 terrace house
MWA29964	MWA29964	BLD	Lower Brailes, Archway	2 storey C19 rendered terrace house
MWA29965	MWA29965	BLD	Lower Brailes, Stella & Jasmine	2 storey C19 red brick terraced house
MWA29966	MWA29966	BLD	Lower Brailes, Ferndale	C20 rendered terrace 2 storey house
MWA29967	MWA29967	BLD	Lower Brailes, Barn	2 storey detached C19 brick and stone agricultural building
MWA29968	MWA29968	BLD	Lower Brailes, Hillside Cottage	2 storey detached C19 brick industrial building
MWA29969	MWA29969	BLD	Lower Brailes, Holly Cottage	C19 detached 2 storey stone house
MWA29970	MWA29970	BLD	Lower Brailes, Miller's Cottage (stone)	2 storey C19 stone terraced house
MWA29971	MWA29971	BLD	Lower Brailes, Miller's Cottage ( brick)	2 storey C19 terraced brick building
MWA29972	MWA29972	BLD	Lower Brailes, Avoncote	2 storey C19 terrace brick house
MWA29973	MWA29973	BLD	Lower Brailes, The Cottage	2 storey C19 terrace brick house
MWA29974	MWA29974	BLD	Lower Brailes, Bridge Cottage	2 storey semi-detached C19 stone house
MWA29975	MWA29975	BLD	Lower Brailes, Old Coach House	2 storey C19 detached rendered house
MWA29976	MWA29976	BLD	Lower Brailes, Hurdles	Detached single storey C19 stone industrial building
MWA29977	MWA29977	BLD	Lower Brailes, Rivendell House	Semi-detached 2 storey C19 brick agricultural building
MWA29978	MWA29978	BLD	Lower Brailes, Nook Farm	Detached 2 storey brick house, built in 1858
MWA29979	MWA29979	BLD	Lower Brailes, Nook Cottage	2 storey detached C19 brick house
MWA29980	MWA29980	BLD	Lower Brailes, Nook Farm Barn	2 storey detached C19 brick farm building
MWA29981	MWA29981	BLD	Lower Brailes, Woodbine	3 storey C19 rendered house, with single storey outbuildings

Sheet1

MWA2338 MWA2338 BLD Brailes House

Brailes House, a house dating to the Post Medieval period. It possibly stands on site of an earlier manor house. The house is situated in Orchard Close, Brailes.

SP 3129 3944

**APPENDIX 2  
DESIGNATED ASSETS IN THE SITE AND ITS SURROUNDS**

**DESIGNATED ASSETS IN THE SITE**

DWA3190	LB	HENBROOK FARMHOUSE	II	305794	305794	4221
---------	----	--------------------	----	--------	--------	------

**DESIGNATED ASSETS IN THE SURROUNDS OF THE SITE**

Listed Buildings

ID	Rec Name	Grade,	Pref	Ref,C	National	Re,C,30
DWA1590	LB GROVE END	II	305793	305793	2696	
DWA1592	LB BETWEEN TOWNS	II	305822	305822	2698	
DWA1827	LB SPRINGFIELD HOUSE	II	305814	305814	2917	
DWA1832	LB STONE CROFT	II	305821	305821	2921	
DWA2069	LB BRAILES HILL FARMHOUSE	II	305819	305819	3155	
DWA2167	LB BRAILES POST OFFICE AND OLD POST COTTAGE	II	305811	305811	3243	
DWA2273	LB BRAILES HOUSE	II	305806	305806	3347	
DWA2847	LB ROAD BRIDGE OVER SUTTON BROOK	II	1185463	305808	3885	
DWA2851	LB FANTHILL FARMHOUSE	II	305828	305828	3889	
DWA2966	LB THE OLD FORGE	II	305815	305815	4003	
DWA2967	LB MANOR FARMHOUSE	II	305827	305827	4004	
DWA3610	LB SUNNYSIDE	II	305785	305785	4628	
DWA3613	LB SPRINGFIELD LODGE	II	305813	305813	4631	
DWA3614	LB MILESTONE APPROXIMATELY 100 METRES SOUTH OF FANTHILL FARMHOUSE	II	305818	305818	4632	
DWA3685	LB GEORGE HOTEL AND ATTACHED CARRIAGE ENTRANCE AND BARN	II	305810	305810	4702	
DWA3686	LB MIDWAY, NORTHVIEW AND GARAGE PART TO RIGHT	II	305812	305812	4703	
DWA4002	LB KITCHEN GARDEN WALLS APPROXIMATELY 200 METRES NORTH OF BRAILES HOUSE	II	305807	305807	5006	
DWA4004	LB SUNNYVIEW AND COTTAGE TO LEFT	II	305829	305829	5008	
DWA4181	LB HILLSIDE HOUSE	II	305820	305820	5090	
DWA4409	LB COMPTON COTTAGE	II	305790	305790	5417	
DWA4411	LB THE GATE INN	II	305816	305816	5419	

Scheduled Monuments

1018858	Castle Hill Motte	SM			430750
---------	-------------------	----	--	--	--------

Sheet1

240068

Page 2

# Supporting Statement

## **Proposed single-storey extensions and conservatory**

Grove End Farm, Henbrook Lane, Upper Brailes, OX15 5BA

### **Introduction**

Grove End Farm is a two-storey, four-bedroom house located on the west side of Henbrook Lane at Grove End. The site includes a detached garage/store and a range of redundant pigsties located to the south of the house. The house is listed grade II.

The present owners, Paul and Janet Clark, have owned and occupied Grove End Farm for 20 years. Their children have now left home but regularly return with their families, so all bedrooms remain in frequent use. There is now a need for study accommodation as the family business is now administered from Grove End Farm.

The alterations proposed will enhance the setting of the rear of the farmhouse by replacing some ugly garden structures and some defective twentieth-century alterations. The proposed additions are set well away from the most historically significant element of the building and do not interfere with the fabric or appearance of that range.



*Fig. 1 The application site, view from west. The proposed extensions would be situated around the corner of the lawn (photo centre), replacing the timber shed and tall hedges, behind and against the ground floor of the slated range.*

### **Ground Levels**

Ground levels will not be altered from those existing.

### **Access**

The proposals would not affect the access to Grove End Farm.

## **Architectural and Historic Significance.**

Grove End Farmhouse is a grade II listed building, list entry number 1024379, first listed 30<sup>th</sup> June 1986. The list entry summary is at annex 1. The List Entry name for the property is incorrect.

Grove End Farm comprises three principal elements:

- A stone-built and thatched, 1½ storey, three-bay house, substantially constructed in the seventeenth century.
- A brick and stone built, grey-slated, two-storey extension, built mid-nineteenth century.
- A brick-built, grey-slated, single-storey outshot, built mid-nineteenth century as an outhouse.

The historic significance of the building is principally associated with the thatched house, which follows the traditional local vernacular architectural style of the seventeenth century. The two-storey north extension was constructed as first-floor domestic accommodation and ground-floor dairy/cellar. The outshot, originally with a sloping floor, was described as a 'Bucket House' in 1868 and therefore probably constructed to facilitate cleaning processes associated with Dairy farming.

## **Planning History**

### **1982 Planning consent S82/0962**

Significant alterations to the nineteenth-century ranges:

- Alterations to fenestration and internal partitions of the two-storey extension:
  - West (rear) elevation: Original iron casement windows replaced with mock Georgian multi-pane casement French windows. Sills of ground-floor windows lowered to within 34cm of floor level. One new first-floor single casement window inserted.
  - East (front) elevation: One first-floor window removed, one original first-floor window repositioned. One new ground-floor non-opening window inserted.
  - North (side) elevation: Two original ground-floor windows blocked up.
  - Internal: One original ground-floor partition wall removed and one doorway blocked off.
- Alterations to external walls of the single-storey outshot:
  - West (rear) elevation: New floor-to-eaves fenestration in west wall replacing timber cladding, two doors and one small window.
  - North (side) elevation: Brick wall (110mm thick) replacing timber cladding. One reclaimed industrial style cast-iron frosted-glass window inserted.

### **1992 Planning consents S92/00004/FUL & S92/00002/LBC**

New glazed porch attached to west elevation of thatched house

### **2014 Planning consent 14/02331/LBC**

New garage doors inserted in garage/store to south of house.

## **Proposed alterations**

The proposed alterations and extensions would be located to the rear and side of the house, against the west and north elevations, and comprise the following elements:

- **New single-storey extension to west.**
- **New single-storey extension to north, replacing existing boiler house**
- **New conservatory oriented east-west, in line with north extension.**
- **New garden store, oriented north-south, with south elevation abutting spine wall.**
- **Internal works to create new study and utility room**

These are summaries as follows:

- **New single-storey extension to west.**
  - Grey slate, single pitch roof.
  - West elevation to replicate the existing ground floor façade except two similarly styled doorways instead of French windows.
  - South elevation red 'Brailes' brick matching adjacent brick wall of house. Elevation partly adjoins the single-storey extension with an internal dividing wall and low parapet with coping tile separating the two roofs.
  - North elevation adjoins the conservatory (see below) with glazed doorway.
- **New single-storey extension to north, replacing existing boiler house.**
  - Grey slate single pitch roof.
  - East elevation timber clad with part glazed doorway.
  - North elevation timber clad, no fenestration towards neighbouring cottage.
  - West elevation solid wall internal partition with conservatory, stone parapet with coping tile.
- **New conservatory oriented east-west, in line with north extension.**
  - Parapet wall with tiled coping adjoining conservatory.
  - North wall of north extension continues west to act as spine wall between conservatory and garden store. North elevation in local stone with tile coping.
  - Single pitch roof against spine wall, part grey slate where adjoining roof of west extension, remainder of roof glazed.
  - South elevation glazed with bi-fold doorway.
  - West elevation glazed with single door.
- **New garden store, oriented north-south, with south elevation abutting spine wall.**
  - Gabled roof, green corrugated bitumen sheeting.
  - North elevation timber clad, part fenestration. Single doorway.
  - East elevation timber clad, no fenestration.
  - West elevation, timber clad, no fenestration, double doorway.
- **Internal works to create new study and utility room**
  - Replace internal partition wall and access door removed in 1982 alterations to restore earlier room. Move hearth (hearth created in 1982 alterations)
  - Modify existing east (front) window, created in 1982 alterations. Add opening casement(s).
  - Move internal doorway accessing sitting room.
  - Move utility room to existing space.

## **Objectives and justification of proposed alterations**

The proposed alterations fulfil three principal objectives:

- 1. Improve access to, and enjoyment of, the rear garden.**
- 2. Increase solar catchment to the rear of the building.**
- 3. Provide new study accommodation.**
- 4. Provide new service room and storage**

### **1. Improving access to, and enjoyment of, the rear garden.**

One of the principal assets of Grove End Farm is its large garden with aspects across its own land and the pasture slopes of Gillett's Hill and Brailes Hill. The present access to the rear garden is poor with a single full-sized doorway located at one end of the house which provides access to the kitchen garden and garage/store. However, the main focus of the garden is at the other end of the house, which at the present time has no external access. A doorway through the outshot, at the centre of the house, is too small for general use due to the low eaves of that part of the building. The glazing added to the outshot in 1982, is below average eye height and heating the room is inappropriate due the nature of the structure. These issues greatly limit the domestic use of this room, and restrict its occupation to summer only. The rear windows of the rest of the building are limited except for the two-storey extension. The ground-floor windows here, significantly altered in 1982, are unfit for purpose and require modernising. The present arrangement of Grove End Farm is therefore inclined to detachment from, rather than inclusion of, its gardens.

A resolution would be to demolish the outshot and rebuild to modern standards. However, it is recognised that this is significant historic fabric which, despite the 1982 replacement of its timber cladding with glazing, retains its original structure and contributes to the interpretation of the building when it was a farmhouse for a dairy farm.

The historic significance of the two-storey extension has been substantially compromised by the 1982 alterations to its fenestration and internal arrangements. The proposed west extension involves some loss of historic fabric and but this is considered minimal as most of the loss is to 1982 fabric. In replacing the internal partition and re-opening the blocked doorway the proposed alterations go some way to recovering the original layout and circulation. The west extension restores the space lost to the existing room due to the insertion of the new study. The proposed glazed doorways improve the connection and access with the garden and landscape as well as enabling the proposed conservatory to be included within the house's internal circulation, rather than being a detached building.

The proposed conservatory, with glazed south and west elevations and wide access bi-fold doors further enhance the building's engagement with, and the occupant's enjoyment of the rear garden.



**2. Increase solar catchment of the building by lengthening periods of sunshine to the rear elevations.**

The house is oriented north-south and receives limited sunshine to the rear because of the high south western horizons imposed by Brailes Hill. Very little winter sunshine reaches the rear of the building.

The proposed conservatory, oriented east-west with fully glazed south and west elevations, sited away from shading by the house, addresses this issue, as well as enhancing the occupant's enjoyment of the rear garden.

**3. Provide new study accommodation.**

The accommodation is currently reduced to three bedrooms due to permanent need for a business study. Mr & Mrs Clark would prefer to stay at Grove End Farm rather than move to larger accommodation so are looking for the most appropriate way to compensate for the loss of a bedroom. Reinstatement of an original room within the house provides an appropriate means of increasing the accommodation with the minimum effect upon the listed building. The proposed west extension compensates for the space lost to the sitting room in restoring the front room.

**4. Provide new service room**

Most of the services to the current building were installed in 1982 and will require updating within the near future. The existing oil heating boiler is currently housed within an inappropriate lean-to shed with inadequate access for servicing and no heat or sound insulation. The proposed north extension will accommodate a new service room, replacing the boiler shed and providing additional space to allow the heating system to be updated to modern specifications. The service room will also facilitate modernisation of other services to the house permitting minimal intrusion into the historic fabric of the building.

**Effects of the proposed alterations upon the Listed Building and surrounding landscape**

**Effect upon the Listed Building fabric**

All alterations are to the nineteenth-century ranges and generally replace fabric inserted in 1982.

The historic significance of the nineteenth-century ranges was greatly compromised by the 1982 alterations which are considered unsympathetic to the historic building. We believe the proposed alterations do not further degrade the historic significance, and by removing some of the 1982 additions, improve the building's appearance, setting and amenities.

**Effect upon the setting of the Listed Building**

- **Front (Public Highway):** Minimal change, generally hidden by house, adjacent cottage and fencing. Modified ground-floor window inserted into nineteenth-century north range in 1982.
- **Rear:** Improvement to setting by replacing clutter of garden shed and greenhouse. Removal of Leylandii hedges from boundary.

- Side (north): Replacement of Leylandii hedging with single-storey timber clad wall and grey-slate roof.
- Side (south): No changes

### **Impact of the proposed alterations upon the neighbouring vicinity and the wider landscape**

The proposed structures will be screened by existing buildings and mature trees from neighbouring properties and all significant public views. Where the site is viewed at a distance from a public footpath that element of the proposed structure will be replacing dilapidated garden buildings.

### **Views from immediate neighbouring properties.**

The two neighbouring properties to the north and east will be substantially screened behind existing mature evergreen hedging. The neighbouring property to the south west is fully screened behind mature beech hedging and high timber fencing.

### **Views from the Public Highway, Public Footpaths and surrounding landscape.**

- Public Highway: Minimal change, see note above.
- Public footpath SS59 (to north): Neighbouring buildings and hedges screen the site from the footpath.
- Public footpath SS61C (to south): The garage/store and farmhouse beyond are visible from the footpath. The proposed extensions and greenhouse are substantially screened by the farmhouse except when viewed from a short length of an elevated section of the footpath approximately 200-220meters distance. Deciduous trees would screen the west extension and most of the conservatory in winter and summer. There would be limited views of the conservatory but this would replace current limited views of the garden shed.
- Public footpath SS58: Grove End Farm is fully screened by hedging and mature woodland along Henbrook.
- Public footpath SS60 (to east): Grove End Farm is screened by neighbouring buildings
- Landscape between the south-west and north-west: The ground rises steeply at about 500M to Cawleys Covert and fields on the base of Brailes Hill. There is no public access to these areas, which provide the only distant views from the site.

## **Annex 1**

### **List entry Description**

List reference number 1024379

BRAILES HENBROOK LANE SP3039 (West side) Upper Brailes 14/31 Henbrook Farmhouse

GV II

Three cottages, now house. Mid to late C17 with later additions. Ironstone banded with limestone. Steeply pitched thatched roof. Stone end and ridge stacks. 3-unit plan. Single storey plus attic. 3-window range. Entrance in centre to right has wood door-frame and renewed plank door. C20 gabled stone porch. To left a C20 window with renewed wood lintel. To far left a 3-light stone-mullioned window with hood mould and label stops. To right a 3-light stone-mullioned window (ovolo section) with hood mould and label stop. Attic has a 2-light stone-mullioned window to left with hood mould and label stops, 3-light wood-mullioned window (ovolo section) and a 3-light wood-mullioned window with opening casement. Wrought-iron casement fasteners. 2-storey C19 limestone extension to right has Welsh slate roof. Interior: stop-chamfered beams and stop-chamfered joists, inglenook fireplaces with stop-chamfered bressumers, plank doors, stone flags.

Listing NGR: SP3052839232

National Grid Reference: SP 30528 39232

**Appendix 4: The OASIS form**

# OASIS DATA COLLECTION FORM: England

[List of Projects](#) | [Manage Projects](#) | [Search Projects](#) | [New project](#) | [Change your details](#) | [HER coverage](#) | [Change country](#) | [Log out](#)

## Printable version

**OASIS ID: martinco1-317136**

### Project details

Project name	Grove End Farm Upper Brailes
Short description of the project	Evaluation at Grove End Farm Upper Brailes
Project dates	Start: 25-04-2018 End: 20-05-2018
Previous/future work	Yes / Not known
Any associated project reference codes	17/02414/FUL - Planning Application No.
Any associated project reference codes	DWA3190 - Related HER No.
Type of project	Field evaluation
Site status	Local Authority Designated Archaeological Area
Current Land use	Other 5 - Garden
Monument type	FARMYARD Post Medieval
Significant Finds	POTTERY Post Medieval
Methods & techniques	"Documentary Search", "Sample Trenches"
Development type	Rural residential
Prompt	Voluntary/self-interest
Position in the planning process	Between deposition of an application and determination

### Project location

Country	England
Site location	WARWICKSHIRE STRATFORD ON AVON BRAILES Grove End Farm Upper Brailes Warwickshire
Study area	5 Square metres
Site coordinates	SP 30528 39232 52.050216235935 -1.554770883421 52 03 00 N 001 33 17 W Point

### Project creators

Name of Organisation	Martin Cook BA MCIfA
----------------------	----------------------

Project brief originator	Self (i.e. landowner, developer, etc.)
Project design originator	Martin Cook BA MCIfA
Project director/manager	Martin Cook BA MCIfA
Project supervisor	Martin Cook BA MCIfA
Type of sponsor/funding body	Landowner

### Project archives

Physical Archive recipient	Warwickshire Museum
Physical Contents	"Ceramics"
Digital Archive recipient	ADS
Digital Contents	"none"
Digital Media available	"Images raster / digital photography", "Text"
Paper Archive recipient	Warwickshire Museum
Paper Contents	"Ceramics"
Paper Media available	"Context sheet", "Drawing", "Photograph", "Report"

### Project bibliography 1

Publication type	Grey literature (unpublished document/manuscript)
Title	Archaeological evaluation at Grove End Farm, Henbrook Lane, Upper Brailes, Banbury, OX15 5BA
Author(s)/Editor(s)	Cook, M. and MacLeod, S.
Date	2018
Issuer or publisher	Martin Cook BA MCIfA
Place of issue or publication	Sundowner, Circus Field Basin, Aylesbury
Description	A4, blue card cover with transparent front cover

Entered by	Martin Cook (office@martinjcook.com)
Entered on	15 May 2018