



YORK ARCHAEOLOGICAL TRUST



Building Recording at 77-79 Micklegate, York

By Becky Wilson

YAT Building Report 2019/136 September 2019



YORK ARCHAEOLOGICAL TRUST



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York Archaeological Trust, Cuthbert Morrell House, 47 Aldwark, York YO1 7BX

Phone: +44 (0)1904 663000 Fax: +44 (0)1904 663024

Email: archaeology@yorkat.co.uk Website: <http://www.yorkarchaeology.co.uk>

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Abbreviations

AOD- Above Ordnance Datum

CYC- City of York Council

BGL- Below Ground Level

YAT- York Archaeological Trust

NON-TECHNICAL SUMMARY

On the 12th September 2019 a programme of Building Recording was undertaken by York Archaeological Trust at 77- 79 Micklegate, York, YO1 6LJ (SE 59900 51600).

The work was undertaken for Mr and Mrs Stagman to help inform a planning application that was under consideration by the City of York Council (17/03012/FUL and amendments 19/00754/LBC and 19/00750/FUL).

The building recording was solely for the ground floor of the property which is to be converted from a shop to a residential dwelling per the planning application. The property, a Grade II Listed building, was built c.1790. Alterations were made to the building during the 19th century and the store frontage added in the 20th century. Further works to alter the upper floors and the ground floor occurred during the early 21st century.

During works to convert the ground floor retail area to a residential dwelling the removal of the lath and plaster ceiling, as well as internal ply board, exposed the remains of original features. This included the location of a dividing wall for the 18th century layout of the reception rooms, original brickwork and a section of skirting board, and the remains of a chimney breast and hearth.

KEY PROJECT INFORMATION

Project Name	77- 79 Micklegate, York, YO1 6LJ
YAT Project No.	6100
Document Number	2019/136
Type of Project	Building Recording
Client	Mr and Mrs Stagman
Planning Application No.	17/03012/FUL and amendments 19/00754/LBC and 19/00750/FUL
NGR	SE 59900 51600
OASIS Identifier	yorkarch1-368079

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1 INTRODUCTION

On the 12th September 2019 a programme of Building Recording was completed by York Archaeological Trust at 77- 79 Micklegate, York, YO1 6LJ (SE 59900 51600) (Figure 1). The extent of the works involved a Level 2 recording of the ground floor retail area.

The work was undertaken for Mr and Mrs Stagman to help inform a planning application that was under consideration by CYC (17/03012/FUL and amendments 19/00754/LBC and 19/00750/FUL).

The property is an 18th century Grade II listed building and was originally a single residential dwelling. The use and layout of the property has altered since its construction, most significantly with the conversion of the ground floor to a retail area with shop frontage at the turn of the century. During works to convert the ground floor to a residential dwelling the removal of the lath and plaster ceiling and the ply board internal structure exposed a number of significant original features that are indicative of the 18th century layout of the property.

2 METHODOLOGY

A Level 2 recording of the ground floor of the property was completed to Historic England guidelines set out in *Understanding Historic Buildings: A Guide to Good Recording Practice* (2016). This involved a photographic and written record of the property.

The photographic record included digital photographs of the structure with detail shots of features such as skirting boards, cornicing and wall remains. The direction and number of photographs were recorded on a plan of the building (Figure 2). The photographs were taken using a Nikon D5300 and saved as a RAW format.

The written record included a building description and property history detailing the structure's form, function, date and sequence of development.

3 LOCATION, GEOLOGY & TOPOGRAPHY

3.1 Location and Topography

The property is a three-storey 18th century end-terrace dwelling which is Grade II Listed. It is located on the east corner of the Micklegate/ Trinity Lane intersection. The property fronts onto Micklegate to the northwest and Trinity Lane to the southwest. To the rear of the property is a brick garage associated with other properties on Micklegate. Opposite the property is the remains of the Holy Trinity Church precinct and the medieval church hall, now known as Jacob's Well, which is a Grade I Listed building. The stone arch-way entrance to the precinct and the 15th century wooden door canopy to Jacob's Well are visible from the property.

The property is located towards the top of the slope on which Micklegate sits. The height of the street decreases from 19.8m AOD to the southwest near Priory Street to 18m AOD to the northeast. Levels at the rear of the property at Jacob's court indicate a height of around 18.6m AOD though there is a slight incline on Trinity lane from the southeast to the junction with Micklegate.

3.2 Geology

Bedrock in the area is sandstone from the Sherwood Sandstone Group formed in the Permian and Triassic periods. The was overlain by the superficial drift geology of the area is York Moraine Member, a sandy clay and gravels deposit formed during the Quaternary period (<https://www.bgs.ac.uk/data/>).

4 DESIGNATIONS AND CONSTRAINTS

The property is a Grade II Listed building dating from the late 18th century. The property lies within the City Centre Area of Archaeological Importance and the Historic Core Conservation Area. As such the building is under the purview of Historic England and the City of York Council Conservation Officer.

5 ARCHAEOLOGICAL AND HISTORICAL BACKGROUND

The property is located in a highly significant area of York from both an archaeological and historical perspective. The form of the building, an 18th century end-terrace, is typical of the central stretch of terrace buildings on Micklegate and is essential to the character of the area. The building and street also reflect the archaeological record below ground. The following section briefly summarises the historical background of the area as well as the specific development of 77-79 Micklegate.

Prehistoric

As with much of York, no definitive prehistoric deposits or features have been encountered in the area, although findspots of prehistoric flint have been found around the city.

Roman

The property lies within the bounds of the *Colonia*, the civilian centre of the Roman city of *Eboracum* (RCHME; 1962). Archaeological interventions on Micklegate have encountered stratified Roman deposits at Minster Car Hire (YAT; 2019), the south west street extent, and at the Queen's Hotel, the northeast street extent (YAT Annual Report; 1988). No works in greater proximity to 77-79 Micklegate have encountered Roman deposits but this is likely due to the depth of such deposits.

Anglian

Anglian York is, as with prehistoric York, difficult to define; however, the larger Micklegate area includes the only confirmed pre-conquest ecclesiastical structure in the city with the church tower at St Mary's Bishophill Junior (RCHME; 1972). Potential Anglian deposits were also encountered at Queen's Hotel (YAT Annual Report; 1988).

Anglo-Scandinavian

Micklegate, meaning 'Great Street' in Old Norse, was created during the Anglo-Scandinavian period when the centre of the city changed from the roman river crossing near St Helen's Square to the Anglo-Scandinavian centre near the convergence of the River Foss and the River Ouse (RCHME; 1972). No standing structures remain from the period but the influence of Anglo-Scandinavian architecture is visible in the plot widths (4.5m to 5m wide) of current Micklegate

properties including 77-79 Micklegate. The width of the property amounts to two Anglo-Scandinavian plots combined.

Medieval

The south-end of Micklegate was dominated by ecclesiastical buildings and associated church complexes and precincts during the early medieval period. Mapping from the late medieval period, including Speed's 1610 Town Plan, illustrate some form of buildings fronting onto Micklegate which predate 77-79 Micklegate. Archaeological interventions in the Micklegate area indicate that the medieval street level is similar in height to the current street level; at Minster Car Hire medieval structures were encountered at less than 1m BGL (YAT;2019).

Post-medieval

During the post-medieval period Micklegate continued to develop and the street front developed into the familiar Georgian architecture that dominates current street frontage. The property was constructed in c.1790 and has a number of features typical of the period (RCHME; 1972). The 1774 Buildings Act greatly influenced the style of fenestrations (recessing windows and doors) as well as the rise in rectangular windows and flat arch lintels which were cheaper to make than the previously popular gauged arches. The property also showcases stucco render which became increasingly popular during the Regency period (Gordon et al; 2004).

19th century to present

Baine's 1822 Town Plan is the first major survey that features 77-79 Micklegate (Figure 3). The plan illustrates the original rectangular building with a small number of out buildings to the rear. Both the 1852 and 1892 OS Maps illustrate a small rectangular building to the rear which is potentially the rear ground floor addition (Figure 4 and 5). The 1892 plan also shows the extension attached to a further structure at the end of the plot; in the 1907 OS Map there is a space between the extension and rear building (possibly what is now an open-front garage) (Figure 6). The 1907 map is also the first clear illustration of the current extent of the property.

The ground floor of the property was converted into a shop with a storefront during the mid-19th century while the upper floors remained residential. As well as the shop conversion, stucco render was added to the north and west elevations and the windows were re-glazed. The property was owned and occupied by Mr Carrack until 1827 when it was let to Robert Carr, a druggist (RCHME; 1972). This is potentially when the conversion into a shop occurred. The property continued to be occupied by both residential lodgers and as a commercial property throughout the 19th century, though both the lodgers and the use as a shop or commercial space were varied. In 1840 77 Micklegate was occupied by Ann Bayne, a dressmaker, and 79 by Christopher Simpson, a saddler (White; 1840). By 1851 77 Micklegate had become inhabited by John Frederick Day, a veterinarian, who worked on Skeldergate, while 79 remained occupied by Christopher Simpson (Francis White & Co; 1851). In the 1885 directories the property continues to be divided between occupiers and trades (Stevens; 1885). 77-78 Micklegate is occupied by Thomas Cariss, a confectioner and corn merchant; 79a, potentially the extension to the rear, was a boot and shoe warehouse; and 79 was occupied by E. C. Parker, a hairdresser and perfumer.

In the 20th century the property continued to be used for commercial and trade purposes. No reference to the property was made in the 1913 trade directory though Thomas Cariss confectionaries were still operating at 76 Micklegate and another confectioner, James Baker,

was operating from 73 Micklegate (pub. Kelly's Directories Ltd; 1913). Further alterations were made to the frontage during the mid-20th century when single pane display windows became popular and the norm. Later alterations to the ground floor shop in 20th century is possibly when the internal dividing wall between the two ground floor reception rooms was removed to create an open-plan retail space. Planning applications from the early 21st century indicate that the entire property had been in commercial use prior to 2007 with the upper floors serving as further retail areas and offices. The upper floors were converted back into a residential dwelling between 2007 and 2010 while the retail area changed use to professional services. The conservation-style skylights in the rear 19th century extension were added during the same period.

6 BUILDING DESCRIPTION

6.1 Setting

The property fronts onto Micklegate to the northwest and Trinity Lane to the southwest. Its location on the corner of Micklegate and Trinity Lane is a prominent location on a street with a high historical significance (Plate 1). Micklegate is a major thoroughfare into the city with views of the property from the north and south of the street. The architecture of Micklegate is characterised by 18th and 19th century three-storey terraces in the Georgian style. The property also sits opposite the Holy Trinity Church precinct with a 15th century church hall.

6.2 Description

The building recording completed at 77-79 Micklegate included only the ground floor retail area which is under a current planning application. The exterior description of the building does include the entire building in order to fully understand the age and historical significance of the structure.

Exterior

The property is a three-storey end-terrace constructed in the late 18th century. Originally a rectangular terrace, an addition to the ground floor at the rear during the 19th century created an L-shaped ground floor. The elevations fronting onto Micklegate and Trinity Lane are stucco incised to resemble ashlar. The rear is exposed brick in a stretcher bond. The roof is a low angled hipped roof comprised of slate tiles attached to 73-75 Micklegate to the northeast. The ground floor has been greatly altered from its original external appearance as it was converted into a shop frontage at the turn of the 19th and 20th centuries.

The northwest elevation fronts onto Micklegate (Plate 2). The ground floor consists of two bays. The first bay features a recessed doorway accessed by stone steps and threshold. The doorway is comprised of narrow pilasters with a triglyph frieze and a moulded cornice hood supported by fluted console brackets. The second bay features a large display window which form the main component of the storefront. The window surrounds share similar features to the original doorway and are comprised of square-based pilasters with corniced panelling supporting an undecorated panelled frieze with corncing. The panel below the window features projecting rectangular moulding.

The retail unit is accessed by a canted corner door which has altered the rectangular shape of the ground floor by recessing the doorway (Plate 3). The original shape of the building is visible in the triangular hood that over hangs the door. The door is comprised of metal and is hinged.

It features a lower and upper panelled light. A rectangular fanlight is visible above. The door is accessed by a curved stone step and threshold.

The upper floors consist of three bays each featuring recessed two-on-two sash windows. The small number of window panes are indicative that the windows have been altered post-construction. The window surrounds are flush with the wall, typical of late 18th century architecture post-1774 Buildings Acts. The window sills are rectangular and align with a projecting sill course. The form of the lintels, flat arches, have been incised into the stucco. The windows flank central blind openings on each floor.

The southwest elevation is nearly identical to the northwest elevation (Plate 4). The most significant difference is on the ground floor where the two bays are both occupied by storefront display windows (Plate 5). The feature and form of the fenestrations are identical to the storefront on the northwest elevation. Further to the south east the brick ground extension is visible with pitched roof and two skylights.

The rear elevation, facing south east, is largely absent of windows (Plate 6). A few small casement windows are visible on the upper floors but these are later additions. The rear ground floor extension features a gable end with a doorway and infilled window (Plate 7 and 8). Both the window and door feature flat cement lintels. The window sill is composed of curved corbel decorative bricks.

Interior Front room

The interior of the ground floor currently consists of a small corridor on the northeast side of the building which serves as access to the upper floors. The retail unit in the ground floor is accessed via the metal door in the west corner of the building. The current layout of the retail unit is a large sub-rectangular front room with a doorway in the south east wall accessing a smaller rectangular rear room; the ground floor extension.

The front room has a number of original features but has been altered significantly throughout the 19th and 20th century. The north wall is dominated by the large display window (Plate 9). The window is supported by a large timber on the western side. Between the window and the original timber ceiling is an internal wooden structure consisting of a small joist and supports. The window sill consists of a thin plank of timber. Below the sill is a section of original brick with some surviving plaster.

To the west of the window a small recessed area survives which exposes the original timber structure (Plate 10). This included timber posts and brace with brick infilling. At the base of the wall is a section of surviving skirting board (Plate 11). At the return of the north wall and east wall a small section of the interior lath and plaster internal wall structure remains. At the top of the north west wall is a large support beam original to the construction.

The east wall is an internal wall separating the entrance hall from the retail unit (Plate 12). The shape of the wall alters towards the centre of the room where the room narrows and is indicative of the original layout when the rear area was a separate reception room. A small cupboard is attached to the wall on the left and behind a small section of the internal retail wall survives. At the base of the wall a section of skirting board associated with the internal structure survives in front of a section of the original skirting board. There are two panelled doors in the wall, one in the wider area of the room, one in the narrower area. The first door is original to

the building with a corniced door surround; the second door is simpler with a narrow door surround. The second door was encountered during the stripping of the room and had been previously infilled, likely when the two rooms were joined (Plate 13) (Heritage Statement; 2019); it has been restored to a doorway. The remains of the original skirting board height are visible as a scar in the wall paint. The centre of the wall, as with the southwest elevation, is dominated by the two vertical I-beams and steel support I-beams (Plate 14). The beams are the result of alterations that removed a central dividing wall from the ground floor. Typical 18th century dwellings feature two reception rooms on the ground floor, these have been combined into one at 77-79 Micklegate. The posts have been infilled with a small amount of breeze blocks at the base of the wall with cement mortar infilling the majority of the cavity. A further steel I-beam supports the east wall on a north/south alignment to the rear of the room (Plate 15).

The south wall features an opening on the left which accesses the 19th century extension to the rear (Plate 16). A significant amount of subsidence in the floor is visible in the southwest corner of the room, against the south wall. New timber planks have been installed in the area but the floor has continued to drop up to 100mm in the corner (Plate 17).

The west wall features two large display windows similar to that of the north wall and steel posts where the original dividing wall for the reception rooms has been removed (Plate 18). Between the steel posts a section of brick work has been exposed as well as rubble infill. Above the left display window, the support beam is steel not timber, reflecting an identical beam running parallel in the east wall. The structure around the right window is timber with a wooden threshold exposed at the base of the wall near the canted corner doorway (Plate 19).

Front room ceiling structure and floor

The sub-ceiling structure of the ground floor has been largely removed during the works and the timber joist floor for the upper level has been exposed (Plate 20). A large beam supports the floor above, aligned north/south and 300mm wide. The joists, aligned east/west, are 150mm wide and occur at 500mm intervals. This is shown on Figure 7, supplied by the client.

The remains of a suspended lath-and-plaster ceiling are visible in the form of hangars affixed to the timber floor joists by timber brackets. The hangars do not appear in the rear of the open-plan main room which was a separate reception room in the original 18th century layout. Nails and staining potentially associated with a lath-and-plaster ceiling are visible on the joists in the rear of the room though the ceiling itself has been removed (Plate 21); it is possible that this is the remains of the original ceiling structure whereas the hangers in the front of the room are part of alterations that occurred during the conversion to a shop. The hangers are irregular shaped and vary from 30mm to 50mm wide. Nail and plaster staining are visible on a majority of the hangars. A number of the smaller hangers have deteriorated as well as the end of a significant proportion of the larger planks (Plate 22).

In the centre of the ceiling, where the dividing wall was removed and replaced by two steel support I-beams, the remains of a fireplace is visible (Plate 23). A stone hearth and brick flue, corresponding with the chimney stack for the rear room, were exposed during the removal of the lath-and-plaster ceiling, as well as rubble associated with a fireplace. This included a decorated metal fireback wedged between the support beams (Plate 24). A diagonal joist above the right display window supports the chimney flue (Plate 25). To the left was the remains of a further brick chimney for the front room which has been supported and repaired by a number

of timber offcuts and braces similar to those for the lath-and-plaster ceiling; potentially the chimney breast had been repaired at a similar period to the installation of the ceiling (Plate 26).

The wooden floor is currently constructed of a number of different size planks in different alignments which is indicative of multiple alterations. The floor has deteriorated in a number of places but most severely in the aforementioned southwest corner and in the northeast corner.

Interior Rear room

The rear room is a smaller rectangular shape with no features of note besides the infilled rear window in the south wall (Plate 27). The backdoor to the property is on the right of the south wall, next to the infilled window. The timber roof structure has been left exposed and two conservation skylights added.

7 DISCUSSION

The property at 77-79 Micklegate has seen numerous alterations since its construction in c.1790, predominantly in the conversion of the ground floor from residential to commercial use. The conversion of the property back into a residential dwelling, including restoring the frontages onto Micklegate and Trinity Lane to the original facades, is intended to help restore the aesthetic of building and reflect the character of the Micklegate area. The current works are focused on the ground floor of the property. During the stripping of the ground floor rooms and the removal of the lath-and-plaster ceiling features associated with the original construction, particularly skirting boards, exposed brick work and the remains of a fireplace, were exposed as well as the alignment of an original dividing wall. Below is an overview of the historical features and their significance with reference to the works to be completed at the property (Figure 8).

The dividing wall

The remains of the dividing wall in the front room were exposed during the stripping of the interior which revealed it had been replaced by two large steel I-beams. Structural steel did not become common until the late 19th century at the earliest, suggesting that the removal of the dividing wall was a later alteration to the property and did not occur during the initial conversion into a shop. The design of the new residential dwelling has been altered to reflect the discovery of the original partition wall alignment and the depth of the wall is to be reflected as a built-in wardrobe in the bedroom.

The lath-and-plaster ceiling

The lath-and-plaster ceiling likely dates from the conversion of the property to a shop in the early to mid-19th century. The hangers associated with the ceiling are only present in the front of the room so indicate that the partition wall between the reception rooms was still present when the ceiling was installed. There has been deterioration in the wooden hangers, particularly in the planks towards the west wall display window. In order to retain the remains of the lath-and-plaster sub-ceiling structure the client intends to create a single cavity space between the ceiling and floor above with insulation, fireproofing and the requisite services. This will ensure that the new dwelling is fireproofed and insulated while also retaining the remains of the historic lath-and-plaster ceiling structure associated with the shop conversion.

Skirting board, cornicing, flooring and original openings

A number of small sections of original skirting board have survived behind the internal retail structure. The style of the surviving skirting board is intended to be used as part of the new residential dwelling. No original cornices were encountered during the works and appear to have been removed prior to the most recent shop fitting. The door towards the rear of the front room is intended to be blocked again but will remain visible in the entrance corridor for the upper floors. The floor has been frequently altered and is suffering from subsidence in the southwest and northeast corners; works are intended to replace the floor under the supervision of an archaeological watching brief. The large display windows will be replaced with windows which match the openings in the first floor, which will improve the aesthetic appeal of the ground floor in respect to the historical 18th century character of the Micklegate area and restore the property to its original aesthetic. The location of the windows has been indicated by lintels exposed during the stripping works.

In conclusion 77-79 Micklegate is a fairly typical late 18th century end-terrace which has had extensive alterations throughout the 19th and 20th centuries in order to facilitate the use of the ground floor as a commercial entity. Initial conversion of the property in the mid-19th century retained a large proportion of the original layout of the ground floor which remained as two separate rooms with the addition of the lath-and-plaster ceiling. Further alteration in the late 19th and early 20th century saw the removal of the partition wall to create a larger ground floor space as well as the addition of the large display windows and canted corner door. The works should return the original appearance of the property externally while returning the interior to the original layout. The remains of the mid-19th century lath-and-plaster ceiling will be protected within a new ceiling structure as a significant amount of the hangers have deteriorated.

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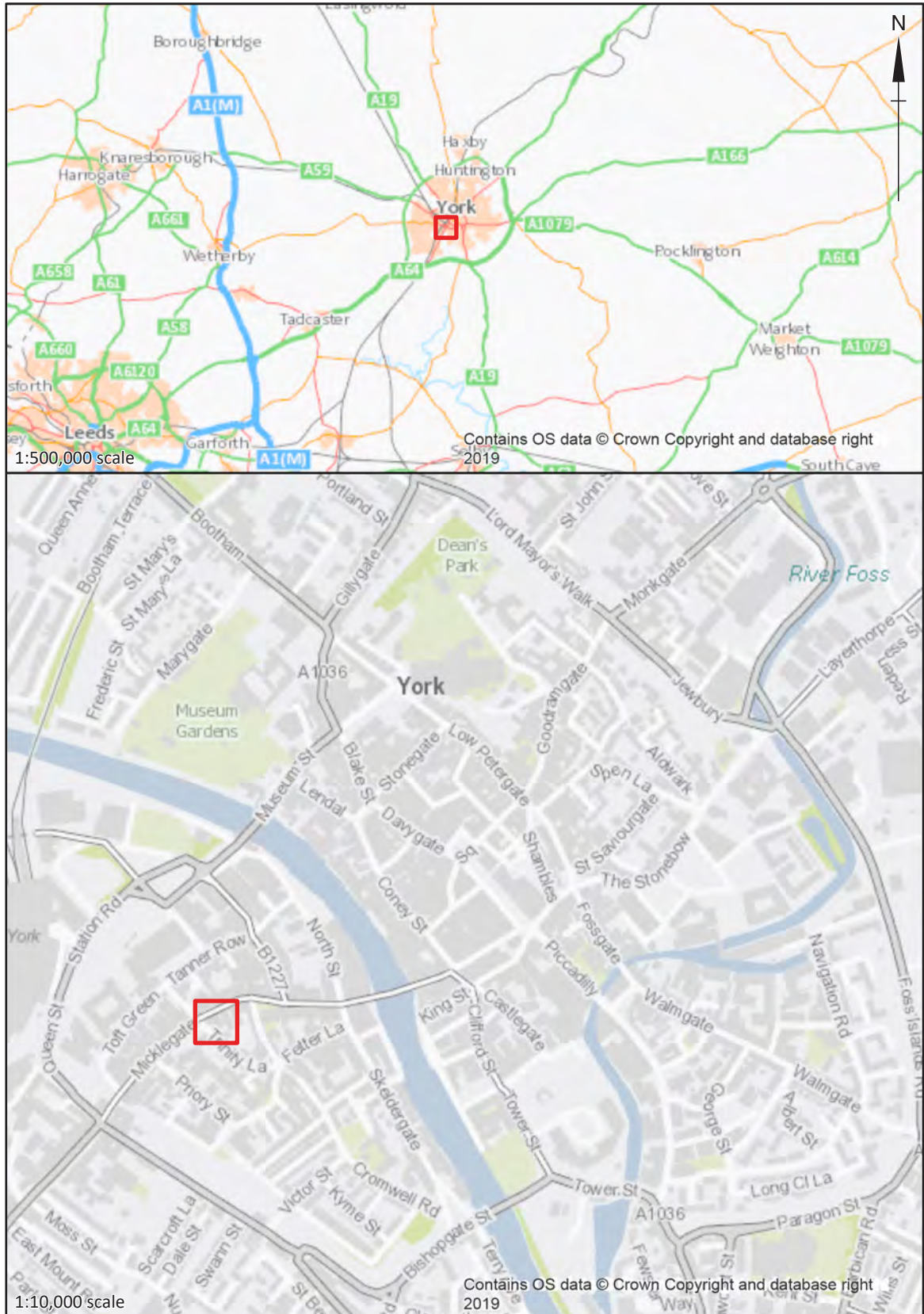
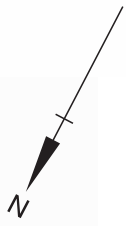
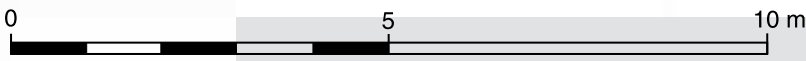
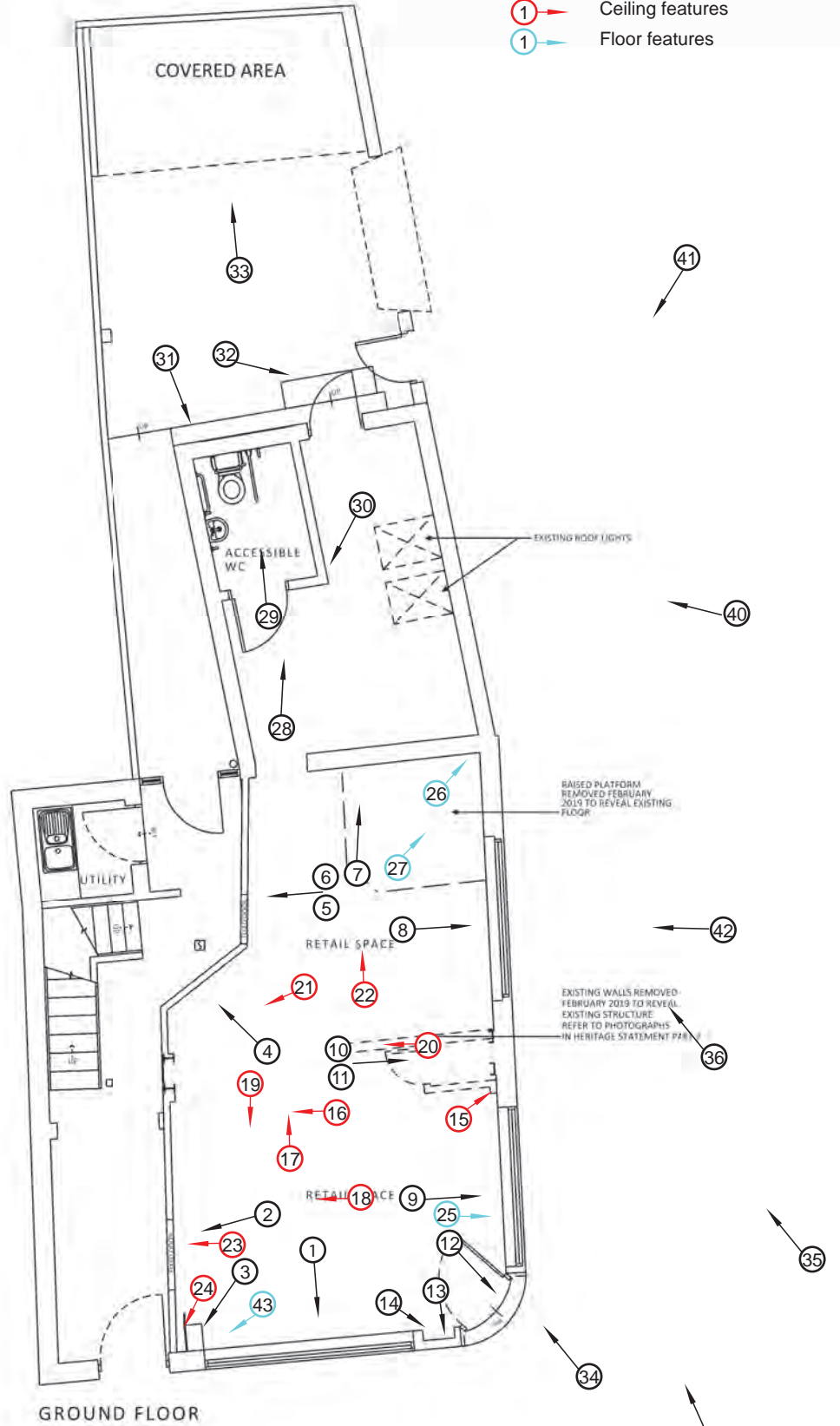


Figure 1. Site Location.



Key

- ① → Walls features
- ① → Ceiling features
- ① → Floor features



39

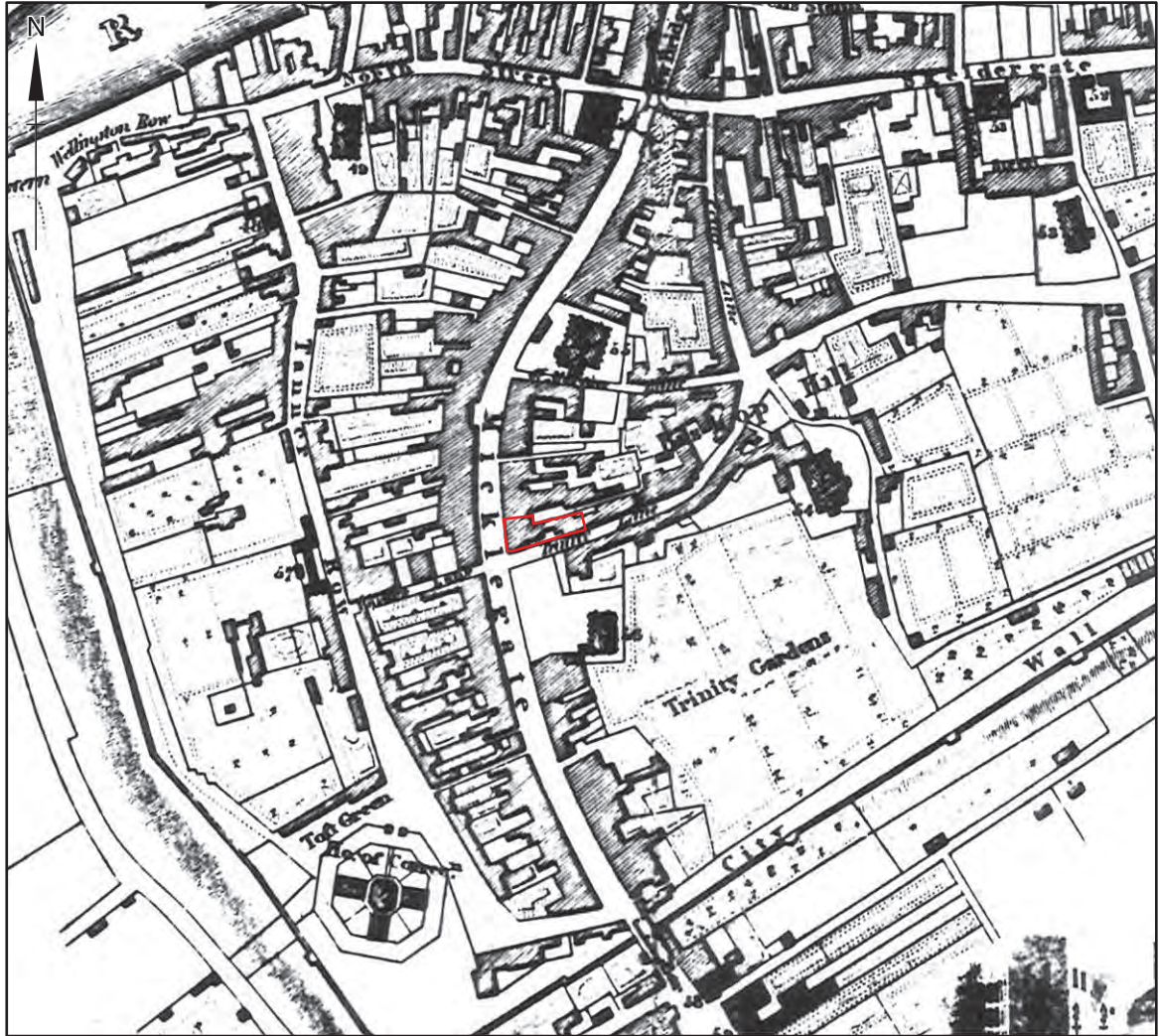


Figure 3. Map with site location outlined in red.
(Baines 1822)



Figure 4. Map with site location outlined in red.
(York OS 1852)

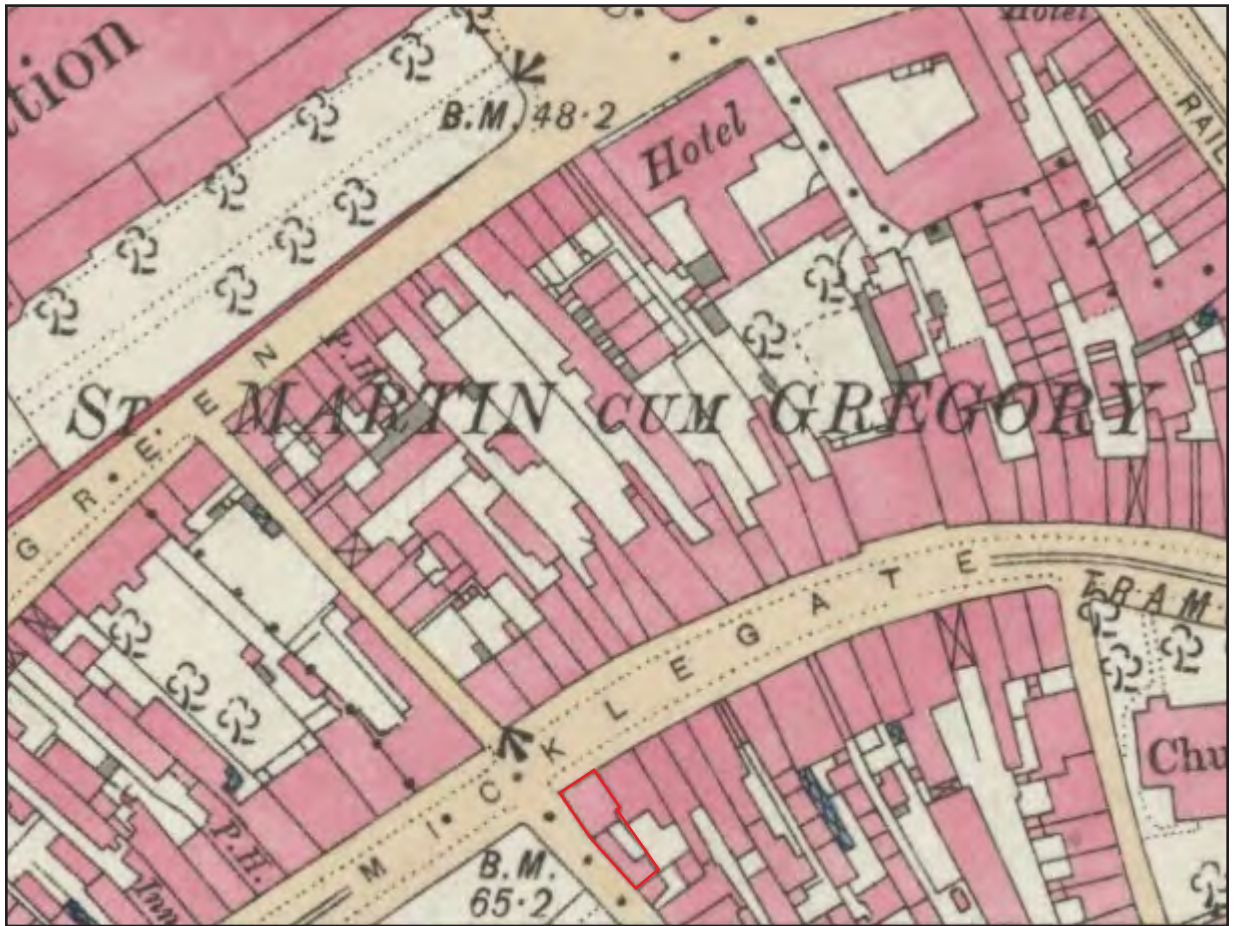


Figure 5. Map with site location outline in red.
(York OS 1892)



Figure 6. Map with site location outline in red.
(York OS 1907)

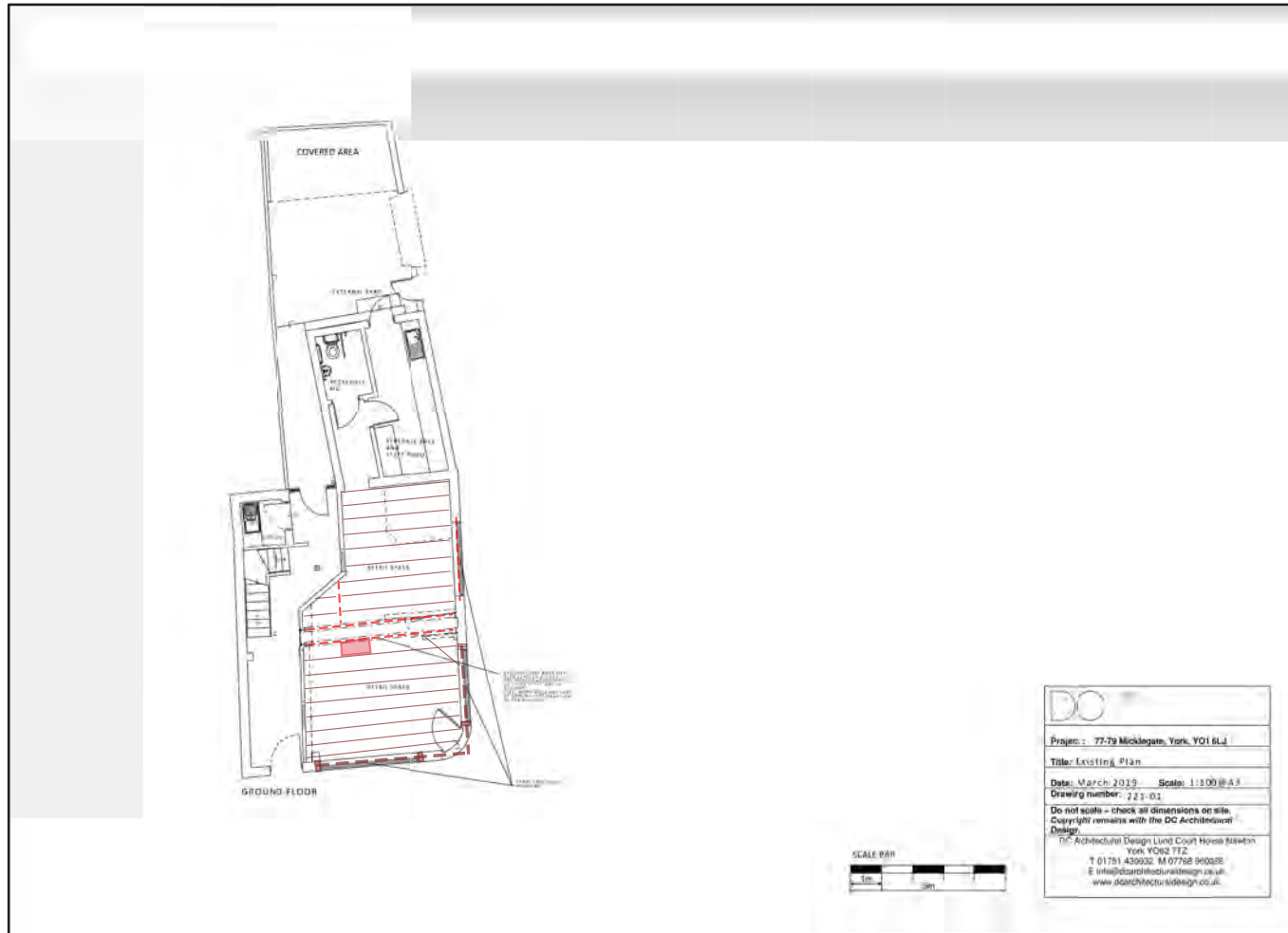


Figure 7. Site plan with location of timber beams, joists, and steel beams.
(From Client)

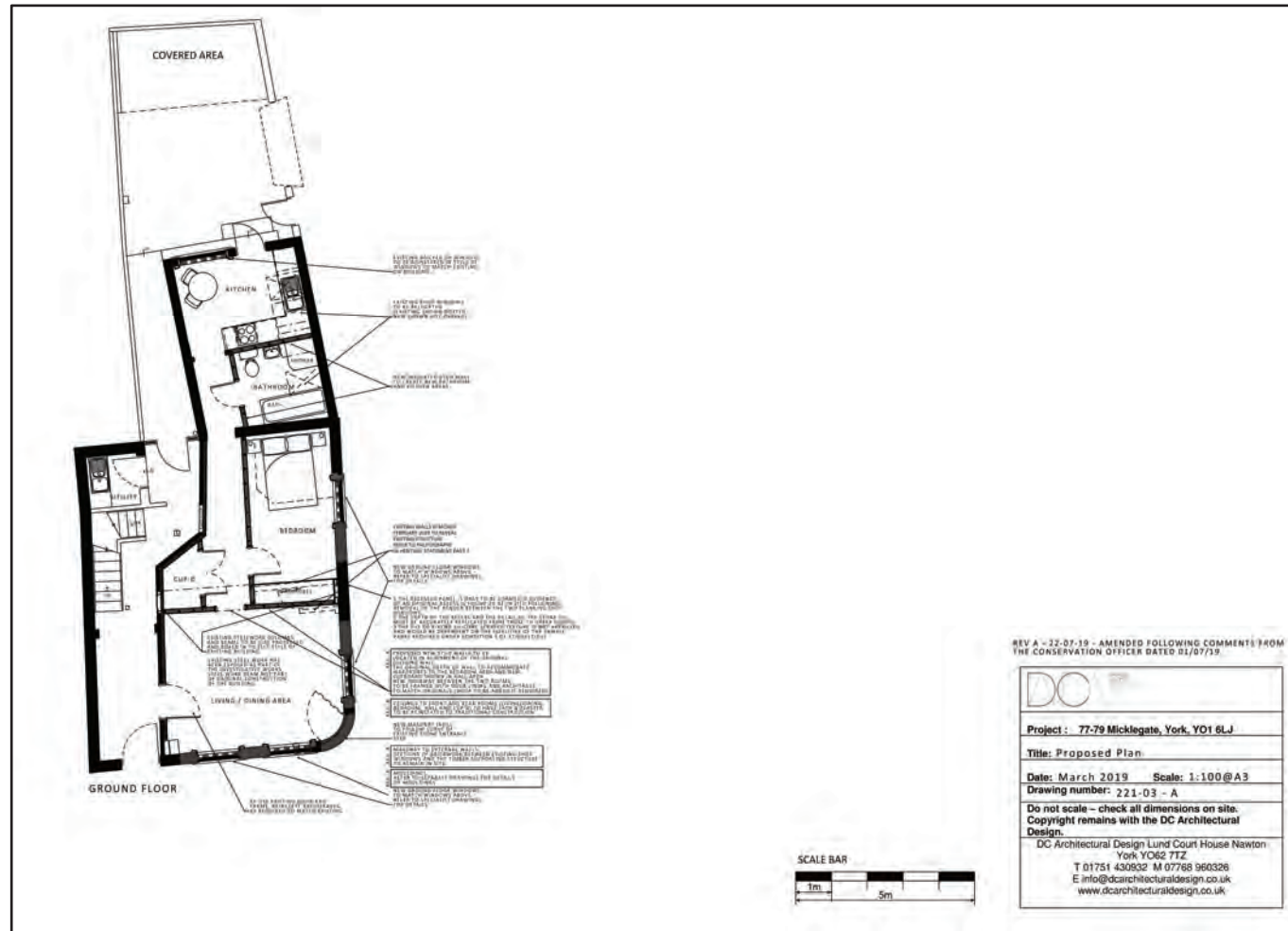


Figure 8. Proposed Site Plan. (From Client)

PLATES



Plate 1 The property with views down Micklegate, looking southeast.



Plate 2 North facing elevation fronting onto Micklegate.



Plate 3 West facing elevation fronting on to Trinity Lane.



Plate 4 Canted corner door, mid-20th century addition.



Plate 5 Example of shop frontage style on west facing elevation.



Plate 6 South facing elevation including rear elevation.



Plate 7 Infilled window in the rear extension.



Plate 8 Rear door and infilled window with decorative brick sill.



Plate 9 North wall and interior display window.



Plate 10 Recessed section of wall with exposed brick with timber brace. Original skirting detail.



Plate 11 Original skirting detail.



Plate 12 East wall with steel beams and re-opened interior doorway.



Plate 13 East wall with interior doorway and skirting board scarring.



Plate 14 Structural steel beams replacing original dividing wall.



Plate 15 Structural steel beams aligned east/west and north/south.



Plate 16 South wall with opening to rear extension.



Plate 17 Floor alteration and subsidence.

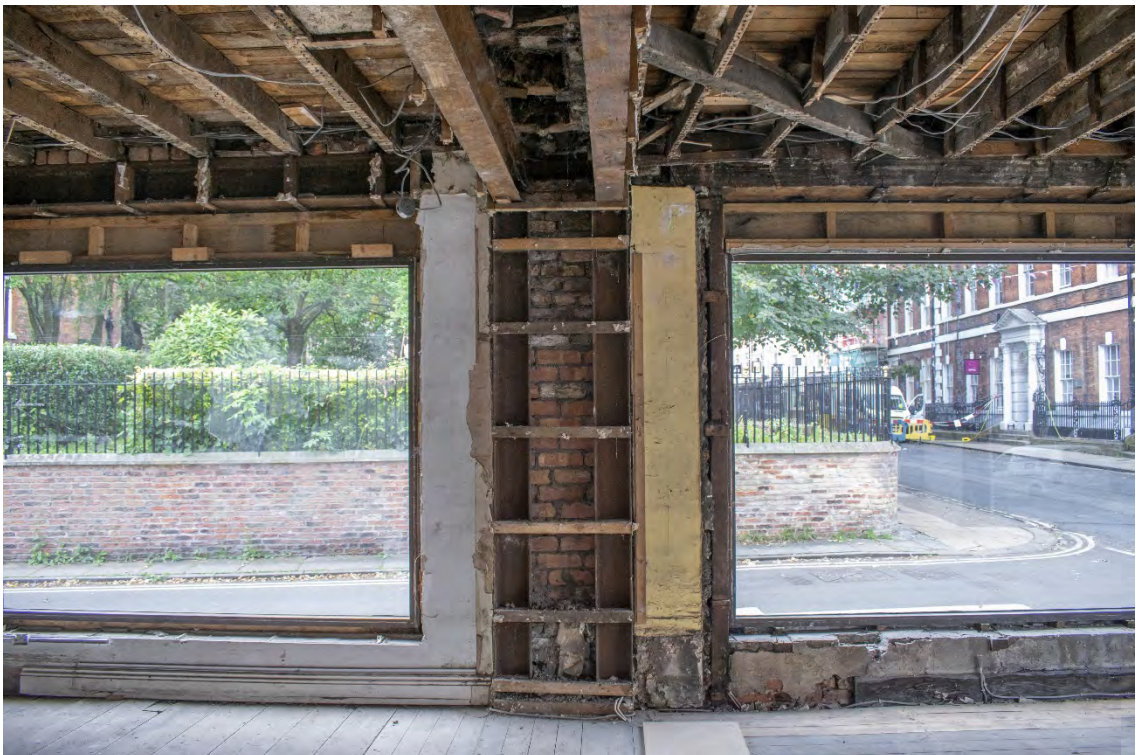


Plate 18 West wall with display windows observing the Holy Trinity precinct. Also features steel support beams and the different form of lath-and-plaster ceiling in the front and rear of the rooms.



Plate 19 Original timber threshold beneath display window.



Plate 20 Original beam and joist timber floor with remains of lath-and-plaster timber sub-ceiling.



Plate 21 Rear ceiling and floor structure.



Plate 22 Detail of lath-and-plaster hangers and deterioration of plank ends.



Plate 23 Chimney stone hearth and flue.



Plate 24 Metal fireback plate within rubble between steel beams.



Plate 25 Diagonal support beam for chimney flue.



Plate 26 Brick chimney hearth with timber supports.



Plate 27 Rear extension with infilled window and skylights.

APPENDIX 1 LISTED BUILDING

Overview

Heritage Category: Listed Building

Grade: II

List Entry Number: 1257318

Date first listed: 14-Jun-1954

Statutory Address: 77 AND 79, MICKLEGATE

This copy shows the entry on 25-Sep-2019 at 15:26:24.

Location

Statutory Address: 77 AND 79, MICKLEGATE

The building or site itself may lie within the boundary of more than one authority.

District: York (Unitary Authority)

National Grid Reference: SE 59904 51598

Details

YORK

SE5951NE MICKLEGATE 1112-1/15/663 (South side) 14/06/54 Nos.77 AND 79

GV II

House. c1790, with mid C19 alteration and C20 shopfront. Front of stucco incised to resemble ashlar; rear of orange-red brick in stretcher bond; timber modillion cornice to hipped slate roof with scrolled corner brackets and brick stack. EXTERIOR: 3 storeys; 3 bays on both fronts of corner site. Shopfront on Micklegate, retaining earlier cornice, returns along Trinity Lane, with canted corner door, approached by shaped stone step. At left end of Micklegate front, upstairs door of 6 fielded panels beneath overlight, approached by stone steps, recessed in doorcase of narrow pilasters with triglyph frieze and moulded cornice hood on fluted console brackets. Upper floors of both fronts have blind openings in centre, flanked by 4-pane sashes, all beneath incised wedge lintels. Sill bands to both floors and raised second floor band return on Trinity Lane front. INTERIOR: ground floor: moulded cornice to entrance hall; round arch to staircase hall, on pilaster responds with fluted keyblock and impost. Open string staircase with shaped treads, slender turned balusters and ramped-up moulded handrail rises from ground floor to attic. Original fireplaces with cast-iron grates survive throughout. In attic, one plank and muntin partition wall survives. No.79 listed on 01/07/68. (City of York: RCHME: South-west of the Ouse: HMSO: 1972-: 81).

Listing NGR: SE5990451598

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 464021

Legacy System: LBS

Sources

Books and journals

An Inventory of the City of York III South West, (1972), 81

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.



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York Archaeological Trust, Cuthbert Morrell House, 47 Aldwark, York YO1 7BX

Phone: +44 (0)1904 663000 Fax: +44 (0)1904 663024

Email: archaeology@yorkat.co.uk Website: <http://www.yorkarchaeology.co.uk>

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